ABINGTON TOWNSHIP

APRIL 7, 2020

BOARD AGENDA

TOWNSHIP OF ABINGTON

BOARD OF COMMISSIONERS
Regular Public Meeting

A G E N D A
April 7, 2020
7:00 PM

CALL TO ORDER

ROLL CALL **THOMPSON, BRODSKY, BOLE, CARSWELL, ROTHMAN, LUKER, SCHREIBER, VAHEY, WINEGRAD, DiPLACIDO, MYERS, ZAPPONE, BOWMAN, HECKER, SPIEGELMAN**

PLEDGE OF ALLEGIANCE

BOARD PRESIDENT ANNOUNCEMENTS

PRESENTATIONS

PUBLIC COMMENT ON AGENDA ITEMS

CONSENT AGENDA

a. **Minutes** Motion to approve the Minutes from the Board of Commissioners Regular Meeting of March 13, 2020 and the Board of Commissioners Special Meeting of March 23, 2020.

UNFINISHED BUSINESS

NEW BUSINESS

BOARD OF COMMISSIONERS

a. **BOC-01-040720** Motion to consider Tax Resolution No 20-017 extending the County and Township Real Estate Tax discount period from April 6, 2020 to June 8, 2020.

b. **BOC-02-040720** Motion to approve the extension of the Business Privilege Tax payment deadline from April 15, 2020 to July 15, 2020.

c. **BOC-03-040720** Motion to consider approving Resolution No. 20.019 extending the Declaration of Disaster.

PUBLIC WORKS COMMITTEE

a. **PW-01-040720** Motion to accept James D. Morrissey, Inc. as the lowest responsible bidder for the 2020 Engineered Retaining Wall System Materials Bid and enter into a contract for $10,000.00 with James D. Morrissey, Inc. for the purchase and delivery of retaining wall system materials as per the bid specifications.

TOWNSHIP OF ABINGTON

BOARD OF COMMISSIONERS
Regular Public Meeting

A G E N D A
April 7, 2020
7:00 PM

LAND USE COMMITTEE

a. **LU-01-040720** Motion to approve the Land Development Application of JJLH Associates, LTD. for the property located at 966 & 968 Old York Road to demolish two existing buildings and convert property for vehicle storage associated with the nearby Faulkner Nissan Automobile Dealership.

b. **LU-02-040720** Consider the waiver of the 90- day recording requirement of the Subdivision and Land Development Ordinance of the Township of Abington by Steven Kozlowski, Meinel Road.

PUBLIC SAFETY COMMITTEE

a. **PS-01-040720** Motion to approve the agreement between the Township of Abington, and the Abington Township Police Association, Inc. of the Police Department of Abington Township, a law enforcement agency to be effective January 1, 2020, and to continue in full force and effect until December 31, 2023

FINANCE COMMITTEE

a. **Receive Treasurer's Report:** Township Treasurer, Jay W. Blumenthal

b. **FC-01-040720** Motion to approve investments for the month of February 2020. It was noted that investments for the month totaled $3,117,000.00. Interest rate yields ranged from 1.500% to 1.550%.

c. **FC-02-040720** Motion to approve the February 2020 expenditures in the amount of $2,359,978.59 and salaries and wages in the amount of $1,904,182.71 and authorizing the proper officials to sign vouchers in payment of bills and contracts as they mature through the month of May 2020.

(Motion and Roll Call)

d. **FC-03-040720** Motion to approve the Clearing Fund, the Deferred Revenue/Expense activity and Petty Cash balances for the month of February 2020. Clearing fund receipts and disbursements for the month of February 2020 were $2,249.25 and ($451.07), respectively. Deferred Revenue/Expense receipts and disbursements for the month of February 2020 were $0.00 and ($2,935.30) respectively.

e. **FC-04-040720** Motion to approve the Travel Expense activity for February 2020. Travel Expenses are for February 2020 were $6,434.67 and two-month expenses totaled $6,434.67.

f. **FC-05-040720** Motion to adopt Resolution No. 20-018 authorizing the disposition of certain Human Resources Office records as set forth in Exhibit "A".

PUBLIC COMMENT

ADJOURNMENT

TOWNSHIP OF ABINGTON

BOARD OF COMMISSIONERS
Regular Public Meeting

A G E N D A
April 7, 2020
7:00 PM

BOARD POLICY ON AGENDA ITEMS

For information Purposes Only

Board President Announcements
This item on the Board of Commissioners Agenda is reserved for the Board President to make announcements that are required under law for public disclosure, such as announcing executive sessions, or for matters of public notice.

Public Comment
Public Comment on Agenda Items is taken at the beginning of regularly scheduled Public Meetings prior to any votes being cast. When recognized by the presiding Officer, the commenter will have three minutes to comment on agenda items at this first public comment period. All other public comment(s) not specific to an agenda item, if any, are to be made near the end of the public meeting prior to adjournment. Public comment on agenda items at regularly scheduled Board of Commissioner Committee meetings will be after a matter has been moved and seconded and upon call of the Chair for public comment.

Presentations
Should the Board of Commissioners have an issue or entity that requires time to present an issue to the Board, that is more than an oral description relating to an agenda item under consideration, The Board may have that matter listed under Presentations. If nothing is listed under presentations, then there is no business to conduct in that manner.

Consent Agenda
Items of business and matters listed under the Consent Agenda are considered to be routine and non-controversial and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired by Board of Commissioner Members, that item is to be identified by the Board member and will be identified and removed from the Consent Agenda, and will be considered separately at the appropriate place on the Agenda.

Unfinished Business
Items for consideration as unfinished business are matters that have been considered for action at a public Board Meeting and have not been tabled to a date certain or voted upon.

New Business
Items for consideration as new business are matters that have been considered for action at the Board Committee Meeting. It is Board practice to not introduce new business at Board Committee Meetings.

TOWNSHIP OF ABINGTON

BOARD OF COMMISSIONERS
Regular Public Meeting

A G E N D A
April 7, 2020
7:00 PM

BOARD POLICY ON PUBLIC PARTICIPATION

For information Purposes Only

The Township shall conduct business in accordance with the Commonwealth of Pennsylvania Laws governing the conduct of public meetings and only establish guidelines that shall govern public participation at meetings consistent with the law.

Each commenter shall:

- Direct their comments to the Presiding Officer;
- Speak from the podium or into a microphone designated by the presiding officer;
- State their name for the record;
- Either orally or in writing provide their address for the record;
- Have a maximum of three minutes to make their comments. Each commenter when speaking to a specific agenda item, is to keep their comments relative to that identified agenda item;
- Speak one time per agenda item;
- When commenting on non-agenda items, the commenter is to keep their comments related to matters of the Township of Abington, Montgomery County, Pennsylvania.
- State a question to the Presiding Officer after all commenters have spoken, and;
- Be seated after speaking or upon the request of the presiding officer;
- Not engage in debate, dialogue or discussion;
- Not disrupt the public meeting, and;
- Exercise restraint and sound judgement in avoiding the use of profane language, and the maligning of others.

ABINGTON TOWNSHIP
1176 OLD YORK ROAD,
ABINGTON, PENNSYLVANIA 19001-3713
P. 267.536.1024 F. 215.572.3935
www.abington.org

Office of the Treasurer
&
Tax Collector

JAY W. BLUMENTHAL

MONIES RECEIVED FROM VARIOUS DEPARTMENTS DEPOSITED INTO REPUBLIC BANK
MARCH 2020 & YEAR TO DATE

		This Month		Year to Date
Code Enforcement		98,231		317,667
Engineering		1,367		28,787
Finance Department		491,117		1,043,988
Finance ACHs & Credit Cds		2,290,583		5,571,292
Tax Office Real Estate Taxes		5,195,482		6,222,285
Fire Marshal's Office		2,085		20,429
Parks and Recreation		1,541		39,087
Plumbing		6,165		17,694
Police		46,221		118,748
Refuse		1,140		9,664
Tax Office				
Business Privilege Tax	735,410		1,072,046	
Mercantile Tax	367,845		466,433	
Local Services Tax	112,537		351,597	
Business Tax Audits	0		0	
Tax Office Total		1,215,792		1,890,076
	TOTALS	9,349,724		15,279,717
	LAST YEAR	9,473,704		15,555,755
	INCREASE/(DECREASE)	(123,980)		(276,038)

DEPOSITS OF REAL ESTATE TAXES AND FEES TRANSFERRED TO FINANCE DEPARTMENT

MONTH OF **March 2020** YEAR TO DATE

	RECEIPTS			
	Adjusted Assessments	Month	Year To Date	Balance To Collect
Township	13,574,686	2,378,986	2,851,529	10,723,157
Fire	3,177,001	556,785	667,392	2,509,609
Sewer Fees	7,711,747	1,283,696	1,531,429	6,180,318
Refuse Fees	5,016,975	976,015	1,171,935	3,845,040
TOTALS	29,480,409	5,195,482	6,222,285	23,258,124
PERCENTAGE	100%		21%	79%

COMMENTS: March 2019 5,623,608

Decrease 428,126

Respectfully Submitted,
Jay W. Blumenthal
Treasurer

TOWNSHIP OF ABINGTON

John L. Spiegelman, *President*
Thomas Hecker, *Vice President*
Richard J. Manfredi, *Township Manager*
Jay W. Blumenthal, *Treasurer*

RESOLUTION # 20-019
DECLARATION OF DISASTER AND EMERGENCY

April 7, 2020

WHEREAS, COVID-19 has been declared by the World Health Organization and the Centers for Disease Control and Prevention a "public health emergency of international concern"; **and**

WHEREAS, both the Commonwealth of Pennsylvania and Montgomery County have declared a state of emergency due to the identification of COVID-19 infected citizens; **and**

WHEREAS, on or about March 16, 2020 COVID-19 has caused or threatens to cause injury, damage, and suffering to the persons and property of Abington Township; **and**

WHEREAS, this incident has or is about to continue endangering the health, safety and welfare of a substantial number of persons residing in Abington Township and threatens to create problems greater in scope than Abington Township may be able to resolve; **and**

WHEREAS, Section 74-2.A of the Code of Ordinances of the Township of Abington requires that the Board of Commissioners ratify a Declaration of Emergency within seventy-two (72) hours; **and**

WHEREAS, emergency measures are required to reduce the severity of this disaster and emergency to protect the health, safety, and welfare of affected residents in Abington Township;

NOW, THEREFORE, pursuant to the provisions of Section 7501 of the Pennsylvania Emergency Management Services Code, 35 Pa. C.S.A, Section 7101 et seq., do hereby declare the existence of a disaster emergency in Abington Township and pursuant to the provision of Chapter 74 - Public Emergencies in the Abington Township Municipal Code, the President of the Board of Commissioners of the Township of Abington is authorized to declare a state of emergency and take any one or more of the specified measures per the legislation, and that the state of emergency in Abington Township is extended, the seventy two (72) duration requirement is waived, and the disaster declaration is affirmed for an additional seven (7) days subject to ratification by the Board of Commissioners at a future date.

FURTHER, the Abington Township Emergency Management Coordinator is directed to coordinate the activities of the emergency response, to take all appropriate action needed to alleviate the effects of this disaster, to aid in the restoration of essential public services, and to take any other emergency response action deemed necessary to respond to this disaster emergency.

STILL FURTHER, the Abington Township Manager is to act as necessary to meet the current exigencies as legally authorized under this Proclamation, namely, and to include, by the employment of temporary workers, by the rental of equipment, and by entering into such contracts and agreements as may be required to meet the emergency, all without regard to those time consuming procedures and formalities normally prescribed by law, mandatory constitutional requirement excepted.

STILL FURTHER, the Board of Commissioners hereby waives the provisions of Section 74-2.A of the Code of Ordinances of the Township of Abington to the extent that ratification of the declaration of emergency is required within 72 hours of the declaration, and to the extent that further formal ratification is required pursuant to the Township Ordinance.

This declaration shall take effect immediately this seventh day of April 2020.

John L. Spiegelman
President, Abington Township Board of Commissioners

ATTEST:

Date: April 7, 2020

CONSENT AGENDA

NEW BUSINESS

BOARD OF COMMISSIONERS

AGENDA ITEM

April 1, 2020

DATE

BOC-01-040720

AGENDA ITEM NUMBER

Office of the Township Manager

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☐

PUBLIC BID REQUIRED
Cost > $20,600.
Yes ☐ No ☐

AGENDA ITEM:

Resolution No 20-017 Extending the Real Estate Property Tax and Business Privilege Tax Deadlines.

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Motion to consider Tax Resolution No 20-017 extending the County and Township Real Estate tax discount period from April 6, 2020 to June 8, 2020.

BOARD OF COMMISSIONERS

AGENDA ITEM

April 1, 2020

DATE

BOC-02-040720

AGENDA ITEM NUMBER

Office of the Township Manager

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☐

PUBLIC BID REQUIRED
Cost > $20,600.
Yes ☐ No ☐

AGENDA ITEM:

Business Privilege Tax payment deadline

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Motion to approve the extension of the Business Privilege Tax payment deadline from April 15, 2020 to July 15, 2020.

TOWNSHIP OF ABINGTON
MONTGOMERY COUNTY, PENNSYLVANIA

RESOLUTION NO. 20-017

WHEREAS, On March 8, 2020, a widespread outbreak of Corona Virus (CoVID-19) occurred, affecting the residents of Montgomery County, causing severe suffering to persons of Montgomery County and has overwhelmed first responders, healthcare providers and businesses within Montgomery County, necessitating the issuance of a Disaster Declaration by the Montgomery County Commissioners on March 8, 2020 and a Stay-at-Home order by the Governor on March 23, 2020; and

WHEREAS, The Pennsylvania Local Tax Collection Law (72 P.S. § 5511.1 et seq.) grants to municipalities such as Abington Township the authority to establish the rates of taxes and penalties on Real Estate taxes, including providing for the two (2) percent discount for those making payment of the whole amount thereof within two months after the date of the tax notice.; and

WHEREAS, 72 P.S. § 5511.13 requires that Tax Collectors hold open, in-person office hours in the period leading up the end of the discount period; and

WHEREAS, Given the Stay-at-Home order issued by the Governor, compliance with 72 P.S. § 5511.13 is both impractical and contrary to public health, as well as the financial burden now facing many residents as a result of the CoVID-19 crisis, Montgomery County has requested that all municipalities within the County consider moving the discount deadline; and

WHEREAS, the County has advised that municipalities may retroactively move the date of the issued tax notices in order to comport with the requirements of 72 P.S. § 5511.10; and

WHEREAS, Abington Township recognizes the need for moving the Real Estate Tax discount period;

NOW THEREFORE BE IT RESOLVED that, for the purposes of 72 P.S. § 5511.10 of the Local Tax Collection Law, the Board of Commissioners of Abington Township hereby establishes that the date of issued Real Estate Tax notices for 2020 is now April 6, 2020, with the discount period closing as of June 8, 2020 and the Face value period closing July 15, 2020.

TOWNSHIP OF ABINGTON

Attest:

_____ By:_____

Richard J. Manfredi,
Township Manager & Secretary

John L. Spiegelman, President
Board of Commissioners

PUBLIC WORKS COMMITTEE

AGENDA ITEM

March 31, 2020

DATE

PW-01-040720

AGENDA ITEM NUMBER

Public Works

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☑ No ☐

PUBLIC BID REQUIRED
Cost > $20,100
Yes ☑ No ☐

AGENDA ITEM:

2020 Engineered Retaining Wall System Materials Bid

EXECUTIVE SUMMARY:

This particular bid was first bid in February of this year and was rejected for the bid received being incomplete and there being only one bid received.

This current bid was advertised in the Intelligencer on Tuesday, March 10, 2020 and again on Friday, March 13, 2020. The bid was also posted in the Construction Journal, Dodge Data and Analytics, the Township's website and emailed to several companies.

Two bids were received. Bids were opened at a meeting open to the public at 10:00 AM on Monday, March 23, 2020. James D. Morrissey, Inc. was the lowest responsible bidder. James D. Morrissey, Inc. has worked with the township in the past and we are satisfied with their product and service.

A copy of the bid tabulation sheet is included for your review.

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Motion to accept James D. Morrissey, Inc. as the lowest responsible bidder for the 2020 Engineered Retaining Wall System Materials Bid and enter into a contract for $10,000.00 with James D. Morrissey, Inc. for the purchase and delivery of retaining wall system materials as per the bid specifications.

Township of Abington

Office of the Township Manager

Richard J. Manfredi
Township Manager

FISCAL NOTE

AGENDA ITEM NUMBER: PW-01-040720 **DATE INTRODUCED:** March 30, 2020

FISCAL IMPACT AMOUNT: $10,000.00 **FUND:**

FISCAL IMPACT: ☑ YES ☐ NO

FISCAL IMPACT

Cost > $10,000.

Yes ☑ No ☐

SUMMARY

Public Works, Construction Services and Parks and Recreation will all benefit from this bid for completing capital improvement projects, in-kind services for grants and various projects throughout the Township and at Township facilities.

ANALYSIS

The 2020 Capital Improvement Projects are approved and funded as well as the committed in-kind services for grant work. Both the in-house construction services crew and proposed in-kind services significantly reduces the Township match portion of the grants providing a substantial savings to the township.

Township of Abington

2020 Engineered Retaining Wall System Materials Bid Tabulation

Bid Opening: Monday, March 23, 2020 at 10:00 AM

Bidder Name & Address	Bid Complete	Deviations/Substitutions	Bid Items	
James D. Morrissey, Inc.	Yes	No	41" Base Sections: *$107.00*	28" Base Sections: *$105.00*
851 County Line Road			41" Riser Sections: *$107.00*	28" Riser Sections: *$105.00*
Huntingdon Valley, PA 19006			41" Top Sections: *$105.00*	28" Top Sections: *$103.00*
			41" Half Sections: *$53.50*	28" Half Sections: *$52.50*
			**Delivery Charge per truck load: *$375.00*	
E.P. Henry Corporation	No	Yes -	48"x24" Standard Block: *$136.00*	
201 Park Avenue	Missing-	Alternate Bid Product	48"x24" Top Block: *$136.00*	
Woodbury, NJ 08096	Exp. Record	Submitted	24"x24" Half Block: *$68.00*	
Bill Albertson	Fin. Statement		48"x24" Corner Block: *$204.00*	
	Non-Collusion Affidavit		48" Mass Extender Blk: *$216.00* /	60" Mass Extender Blk: *$216.00*
	Bid Bond		**Delivery Charge per truck load: *$385.00*	

LAND USE COMMITTEE

AGENDA ITEM

March 31, 2020

DATE

LU-01-040720

AGENDA ITEM NUMBER

Engineering

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☑

PUBLIC BID REQUIRED
Cost > $20,100
Yes ☐ No ☑

AGENDA ITEM:

Land Development Application LD-19-10, JJLH Associates, LTD. (966 & 968 Old York Road) Abington, PA

EXECUTIVE SUMMARY:

The applicant proposes to consolidate the existing properties into a single property that will consist of a total net lot area of 0.6625 acres. The existing site consists of an existing two-story building (restaurant/apartment) and a one-story building (automotive service) with associated parking and utilities. The proposed land development consists of the demolition of the existing buildings and proposes construction of a 92-space parking lot utilitized for vehicular storage in support of the nearby Faulkner Nissan Automobile Dealership. One (1) driveway is proposed to access Old York Road. Stormwater management, landscaping and lighting are also proposed.

Review Period Expiration: Waived

PREVIOUS BOARD ACTIONS:

Planning Commission recommended approval of the Land Development Application of JJLH Associates, LTD at their regularly scheduled meeting on February 25, 2020.

RECOMMENDED BOARD ACTION:

Motion to approve the Land Development Application of JJLH Associates, LTD. for the property located at 966 & 968 Old York Road to demolish two existing buildings and convert property for vehicle storage associated with the nearby Faulkner Nissan Automobile Dealership.

TOWNSHIP OF ABINGTON

Office of the Township Manager

Richard J. Manfredi
Township Manager

FISCAL NOTE

AGENDA ITEM NUMBER:

DATE INTRODUCED: 3/16/2020

FISCAL IMPACT AMOUNT:

FUND:

FISCAL IMPACT: ☐ YES ☑ NO

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☑

SUMMARY

The proposed land development consists of the demolition of the existing buildings and proposes construction of a 92-space parking lot utilized for vehicular storage in support of the nearby Faulkner Nissan dealership. One (1) driveway is proposed to access Old York Road. Stormwater management, landscaping and lighting are also proposed. The application received dimensional varances from the Zoning Hearing Board on May 22, 2019.

ANALYSIS

N/A

PLANNING COMMISSION RECOMMENDATION FORM

APPLICANT INFORMATION:

LD-19-10
Application Number

February 25, 2020
Date

JJLH Associates, Ltd. (Faulkner Nissan)
Name

966 & 968 Old York Road, Abington, PA 19001
Full Address:

Overview:

The applicant proposes to consolidate the existing properties into a single property that will consist of a total net lot area of 0.6625 acres. The existing site consists of an existing two story building (restaurant/apartment) and a one-story building (automotive service) with associated parking and utilities. The proposed land development consists of the demolition of the existing buildings and proposes construction of a 92-space parking lot utilized for vehicular storage in support of the nearby Faulkner Nissan dealership. One (1) driveway is proposed to access Old York Road. Stormwater management, landscaping and lighting are also proposed. The application received dimensional variances from the Zoning Hearing Board on May 22, 2019. The property is located within the MS-H Main Street High-Density/Intensity District of Ward 7.

Requested Waivers:

1. **Section 146-11.B.(7) – Utilities**
   From the requirement to provide all utility information within 400 feet of the subject property;
2. **Section 146-11.J. – Recreational Facilities Plan**
   From the requirement to provide recreational facilities;
3. **Section 146-43.C.(3)(a). – Cut and Fill Slopes**
   From the requirement cut and fill slopes not to exceed 15% or steeper. Proposed swale, landscape berm, and rain garden slopes exceed 15% but shown not greater than 33%(3:1).

PLANNING COMMISSION COMMENTS AND RECOMMENDATIONS:

The Planning Commission recommended approval of the land development application for property located on the western side of Old York Road located at 966 and 968 Old York Road subject to the condition that the applicant clarifies whether the verge will be brick pavers and/or vegetation; approval of stormwater management for the site as well as approval of waivers as listed.

TOWNSHIP OF ABINGTON
MONTGOMERY COUNTY, PENNSYLVANIA

[X] APPROVED [ ] DENIED VOTE: 8 OF 0

Signature: Maria Wyrita Date: 2-26-2020

FAX: (215) 576-7791 PHONE: (215) 887-2165

CHARLES E. SHOEMAKER, INC.

ENGINEERS AND SURVEYORS
SOUTHEAST CORNER OF EASTON & EDGE HILL ROADS
1007 EDGE HILL ROAD
ABINGTON, PENNSYLVANIA 19001

February 13, 2020

Amy Montgomery
Director of Engineering & Code
Abington Township
1176 Old York Road
Abington, PA 19001

RE: REVISED WAIVER LIST
966 & 968 OLD YORK ROAD
JJLH Associates, Ltd. (Faulkner Nissan)
966 & 968 Old York Road
Co. Parcel No. 30-00-49316-00-1, & 30-00-49320-00-6

Dear Ms. Montgomery:

The following is a list of waivers from the Subdivision and Land Development Ordinance being requested by the Applicant for consideration by the Planning Commission and Board of Commissioners.

WAIVER LIST:

1. **Section 146-11.B.(7) - UTILITIES**
From the requirement to provide all utility information within 400 feet of the subject property;

2. **Section 146-11.J. – RECREATIONAL FACILITIES PLAN**
From the requirement to provide recreational facilities;

3. **Section 146-43.C.(3)(a). – CUT AND FILL SLOPES**
From the requirement cut and fill slopes not to exceed 15% or steeper. Proposed swale, landscape berm, and rain garden slopes exceed 15% but shown not greater than 33% (3:1).

Please present our waivers for consideration during review of the project.

Sincerely,

Gary A. Tilford, PLS
Charles E. Shoemaker, Inc

cc: Tom Joyce, JJLH Associates, Ltd. (email)
Gavin R. Laboski, Esq., Laboski Law (email)
Rachel Vahey, RLA, InFocus Planning (email)
CES File #25857A

APPLICATION FOR SUBDIVISION/LAND DEVELOPMENT

PROJECT TITLE: 966 & 968 Old York Road

APPLICANT NAME: JJLH Associates, Ltd. c/o Tom Joyce

TO BE COMPLETED BY THE TOWNSHIP
Submission Information:

Application Number: LD-19-10
Received By: MARK PENECALE
File Date: 11/12/19

Date Complete: 11/13/19
90 Day Date: 2/18/19
Ward No. 7

REQUIRED MATERIAL FOR ALL SUBDIVISION/LAND DEVELOPMENT APPLICATIONS:

1. This form **MUST** be completed and submitted.
2. A Subdivision/ Land Development Application MUST include all of the items listed in the application checklist in Section V to be considered complete.
3. Incomplete application will **NOT** be placed on the Planning Commission agenda. Incomplete applications will be returned to the applicant.
4. Complete applications must be received at least 45 DAYS (see schedule) prior to the Planning Commission meeting at which it will be heard
5. One (1) digital copy, ten (10) full size paper copies, and one (1) 11x17 reduced copy of the plans, plus three (3) copies of each report or study are to be submitted in the initial submission of the complete application.

   ***It is highly encouraged to submit applications in a digital format**

I. CONTACT INFORMATION

Applicant Information

JJLH Associates, Ltd c/o Tom Joyce
Name

4437 East Street Road, Trevose, PA 19053
Address

215-364-3980 — Phone
215-364-0706 — Fax

tjoyce@faulknertobesure.com
Email Address

Property Owners Information (if different than applicant)

JJLH Associates, Ltd (Equitable Owner)
Name

Same as above
Address

Phone
Fax

Email Address

Architect/ Planner

N/A
Name

Address

Phone
Fax

Email Address

Engineer/ Surveyor

Charles E. Shoemaker, Inc. c/o Gary Tilford, PLS
Name

1007 Edge Hill Road, Abington, PA 19001
Address

Engineer/ Surveyor Cont'd

215-887-2165
Phone

215-576-7791
Fax

gtilford@ceshoemaker.com
Email Address

Attorney

Labowski Law c/o Gavin R. Laboski, Esquire
Name

314 West Broad Street, Suite 124, Quakertown, PA 18951
Address

215-536-3800
Phone

215-536-3801
Fax

gavin@laboskilaw.com
Email Address

II. PROJECT INFORMATION

Application Type:

- [ ] Minor Subdivision
- [ ] Preliminary Major Subdivision
- [ ] Final Major Subdivision
- [ ] Minor Land Develop.
- [ ] Prelim. Major Land Develop.
- [ ] Final Major Land Develop.
- [x] Preliminary Major SD & LD
- [x] Final Major SD & LD

Full street address of the property: 966 & 968 Old York Road, Abington, PA 19001

Tax Parcel No.: #966 30-00-49316-00-1 #968 30-00-49320-00-00 County Deed Book No.: 3094 5997 Page No.: 180 2202

Description of Proposed Work: Demolish two existing buildings and convert priperty for vehicle storage associated with Faulkner Nissan Automobile dealership located at 900 Old York Road

Total Tract Acreage: 0.6625 Acres Project Acreage: 0.6625 Acres

Zoning District: MS-H Existing Number of Lots: Two Proposed Number of Lots: One

Existing Sewer Flows: _____ Proposed Sewer Flows: 0 gpd

Proposed Land Use:

- [ ] Single Family Detached
- [ ] Single Family Attached
- [ ] Single Family Semi-Detached
- [ ] Multi-Family
- [x] Commercial
- [ ] Office
- [ ] Industrial
- [x] Other (Describe): Automobile Sales Agency vehicle storage

III. REVIEW

Please complete the following section by circling a response:

- Have you met with the Zoning Officer regarding this plan? Yes ◉ No ◯
- Are there known variances/any zoning relief necessary for this project?* Yes ◉ No ◯
- If YES, have you submitted an application to the Zoning Hearing Board? Yes ◉ No ◯
- Has this plan been heard by the Zoning Hearing Board? Yes ◉ No ◯

*Please be advised that if any variances are found to be necessary during the course of the review of this plan, you will be required to go to the Zoning Hearing Board prior to proceeding to the Planning Commission. In addition, you will be requested to grant the Township a waiver to the 90-day action period or an immediate denial of this application will be made, and you will be required to resubmit the application.

It is recommended that ALL Land Development and Major Subdivision applications have a pre-submission meeting to discuss the project prior to full application submittal.

Minor Subdivision applications may request a pre-submission meeting; if one is desired.

Meetings are held the fourth Tuesday of each month beginning at 9:30 a.m. at the Township Administrative Offices.

Applicants assume responsibility of any fees associated with this meeting.

_____ _____
Applicant signature Date

To schedule a pre-submission meeting, please contact the office of the Township Manager at 267-536-1003 or email tcastorina@abingtonpa.gov

IV. WAIVERS

List of Requested Waivers: Attach separate sheet if required.

Section/Requirement:	Relief Requested:
Section 146-11.B.(7) - UTILITIES	From the requirement to provide all utility information within 400 feet of the subject property.
Section 146-11.J. - RECREATIONAL FACILITIES PLAN	From the requirement to provide recreational facilites.
Section 146-11.L. - ARCHITECTURAL PLANS	From the requirement to provide architectual building plans. No new buildings proposed.
Section 146-9.A. - PLAN REVIEW STAGES	Plan filed as both Preliminary and Final Plan

V. SUBMISSION

APPLICATION CHECKLIST

The applicant is responsible for the submission of a complete application. This checklist will aid both the applicant and staff in ensuring that all applications are complete. The following is a per item submission checklist for all Subdivision, Land Development and Conditional Use Applications for the Township of Abington.

- ☑ **Application Form: completed and signed by the owner/applicant**
- ☑ **10 (ten) copies of the proposed plan, folded to legal file size. Plan should not be smaller than 1" = 50' and not exceed a sheet size of 24"x 36"**
- ☑ **One (1) reduced copy of the proposed plan, no larger than 11"x17"**
- ☑ **One (1) Digital PDF file of the proposed plan**
- N/A **Two (2) sets of tentative architectural plans for all applications proposing construction or land development**
- N/A **One (1) copy of the Recreation Facilities Plan (if required by §146-40)**
- N/A **Letter of Sanitary Sewer availability from the Township Wastewater Treatment Department**
- N/A **Two (2) copies of Sewage Facilities Planning Module Applications**
- N/A **Letter of Water availability from AQUA PA**
- ☑ **One (1) copy of any previous Zoning Hearing Board decisions related to the subject property**
- ☑ **Application Fee: Check made payable to the Township of Abington**
- ☑ **Escrow Fee: Check made payable to the Township of Abington. Separate check from application fee**

VI. SIGNATURE

The undersigned represents that to the best of his/her knowledge and belief, all the above statements are true, correct, and complete.

Signature of Applicant — Date: 11/8/2019

Signature of Property Owner (if different than applicant) — Date: 11/8/2019

THE FOLLOWING IS FOR INTERNAL USE ONLY:

PAYMENT

☑ Application Fee Amount: $ 1,000.00 Check No.: # 3109

☑ Review Escrow Fee Amount: $ 10,000.00 Check No.: # 3108

DECISION INFORMATION

Approval ☐ Denial ☐ Decision Date: _____

Comments/Conditions:

PLANNING PROCESS EXTENSION AGREEMENT

FOR

966 & 968 Old York Road

PROJECT NAME

The Pennsylvania Municipality Planning Code (MPC) and the Abington Township Subdivision and Land Development Ordinance state that action must be taken by the Township within ninety (90) days after a complete application is filed with the Township. In the Township, complicated, unique, and community impactful projects have or may require additional time in order to complete a thorough review before being considered for approval. As such, an applicant may voluntarily waive the timing requirement at any time, but is encouraged to submit this waiver with the completed application.

I, the applicant, hereby voluntarily waive the timing requirement as set forth in the MPC (Section 53 P.S. 10508) and the Abington Township Subdivision and Land Development Ordinance (Section 146-13). Applicant acknowledges that this waiver can be revoked at any time upon written notice to the Township Manager. The time limitations set forth in 53 P.S. 10508 and Section 146-13 of the Abington Township Code shall be calculated from the date that the written revocation is received by the Township Manager.

Signed: _____ Date: 11/8/2019
Applicant

Received: _____ Date: 11/13/19
Township

ESCROW AGREEMENT FOR PROFESSIONAL REVIEW FEES FOR SUBDIVISION/LAND DEVELOPMENT APPLICATIONS

The undersigned hereby agrees to post an escrow to cover the costs of the review of subdivision and land development applications by the Township's Planner, Engineer, and Solicitor. The amount of said escrow shall be according to the attached "Schedule of Fees" and shall be posted at the time of initial submission of an application to the Township. Said fees shall be placed in an escrow account and any balance remaining shall be returned to the applicant subsequent to the receipt of final approval.

The applicant is advised that the "Schedule of Fees" represents only an estimate of the costs associated with plan review. The completeness and quality of the submission, the complexity of the project, the number of revisions and other factors may cause costs to exceed the established escrow amounts. If during the course of a subdivision/land development review an escrow amount falls to 10% of the original escrow amount or $250, whichever is greater, the Township may require the posting of additional escrow.

NOTE: NO FINAL APPROVALS, CONSTRUCTION, BUILDING OR OCCUPANCY PERMITS SHALL BE ISSUED UNTIL ALL OUTSTANDING PROFESSIONAL REVIEW FEES HAVE BEEN SATISFIED.

Signed: _____ Applicant

Date: 11/8/2019

966 Old York Road

AGREEMENT OF SALE

THIS AGREEMENT OF SALE (this "**Agreement**") is made and entered into this 20th day of July, 2018 (the "**Effective Date**"), by and between **LARMON PHOTO, INC.**, a Pennsylvania corporation ("**Seller**"), and **JJLH Associates, LTD**, a Pennsylvania limited partnership ("**Buyer**").

BACKGROUND:

A. Seller is the fee owner of that certain tract of real property, and the buildings constructed thereon, located at 966 Old York Road, Abington Township, Montgomery County, Pennsylvania, being known as Montgomery County Parcel Identification Number 30-00-49316-00-1 (the "**Property**").

B. By separate agreement, Buyer intends to purchase that certain tract of real property located at 980 Old York Road (the "**Corner Property**") and redevelop the Property and the Corner Property together as one project (the "**Project**").

C. Seller desires to sell to Buyer, and Buyer desires to purchase, the Property in accordance with the terms and conditions hereof.

NOW, THEREFORE, in consideration of the covenants contained herein, and intending to be legally bound hereby, Seller and Buyer agree as follows:

1. INCORPORATION. The background recitals set forth above are hereby incorporated into this Agreement by reference as if set forth in full.

2. PURCHASE AND SALE. Seller agrees to sell to Buyer, and Buyer agrees to purchase, the Property, together with all improvements, easements, rights and appurtenances thereon, in accordance with the terms and conditions of this Agreement (the "**Transaction**").

3. PURCHASE PRICE. The purchase price for the Property shall be [redacted] "**Purchase Price**"), which amount shall be paid to Seller by title company check or immediately available wired funds at Closing (as defined in Section 7 below), plus or minus any applicable adjustments hereunder.

4. FIXTURES. All permanent fixtures, systems, equipment and landscaping owned by Seller and located on the Property as of the Effective Date shall be conveyed to Buyer as part of the Transaction.

5. POSESSION. Seller shall deliver the Property to Buyer at Closing free and clear of all tenancies of any kind and all parties in possession thereof, except as otherwise provided hereunder.

6. TITLE. Seller shall transfer the Property to Buyer by special warranty deed ("**Deed**"), conveying good and marketable fee simple title, insurable at regular rates, pursuant to

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement of Sale on the day and year first written above.

SELLER:
LARMON PHOTO INC., a Pennsylvania corporation

By: _____
Name: David Harrar
Title: Pres.

BUYER:
JJLH ASSOCIATES, LTD., a Pennsylvania limited partnership

By: _____
Name: Robert E. Lewis
Title: Manager of HF Management, LLC
G.P. of JJLH Associates, LTD

A64040121

968 Old York Roc

AGREEMENT OF SALE

THIS AGREEMENT OF SALE (this "**Agreement**") is made and entered into this 3rd day of December 2018 (the "**Effective Date**"), by and between **LEILA C. GRAD AND SANFORD BRUCK AS TRUSTEES UNDER THE WILL OF RENA H. GRAD DATED DECEMBER 4, 1995; HARRY K. SCHWARTZ; SUSAN B. UDIN and DAVID UDIN, as Tenants in Common** (together, "**Seller**"), and **JJLH ASSOCIATES, LTD**, a Pennsylvania limited partnership ("**Buyer**").

BACKGROUND:

A. Seller is the owner of that certain tract or parcel of real property, and the building constructed thereon, located at 968 Old York Road, Abington Township, Montgomery County, Pennsylvania, being known as Montgomery County Tax Parcel Number 30-00-49320-00-6, as more particularly described in that certain Deed dated March 25, 2016 and recorded May 6, 2016 in the Office of the Recorder of Deeds in and for Montgomery County, Pennsylvania in Book 5997, Page 2202 (the "**Property**"); and

B. Seller desires to sell to Buyer, and Buyer desires to purchase, the Property in accordance with the terms and conditions hereof.

NOW, THEREFORE, in consideration of the covenants contained herein, and intending to be legally bound hereby, Seller and Buyer agree as follows:

1. **INCORPORATION**. The background recitals above are hereby incorporated into this Agreement by reference as if set forth in full.

2. **PURCHASE AND SALE**. Seller agrees to sell to Buyer, and Buyer agrees to purchase, the Property, together with all improvements, easements, rights and appurtenances thereon, in accordance with the terms and conditions of this Agreement (the "**Transaction**").

3. **PURCHASE PRICE**. The purchase price for the Property shall be [redacted] (the "**Purchase Price**"), which amount shall be paid by Buyer to Seller as follows:

(a) an earnest money deposit (the "**Earnest Money Deposit**") in the amount of Forty Thousand Dollars ($40,000.00) shall be delivered to the Title Company (as defined in Section 6 below) upon the execution of this Agreement and held in an interest-bearing escrow account pending the disposition thereof in accordance with the terms and conditions of this Agreement (the Earnest Money Deposit, and interest earned thereon, shall be non-refundable to Buyer after the end of the Due Diligence Period (as defined in Section 9 below), except in the event of Seller's default hereunder, and shall be credited against the Purchase Price at Closing (as defined in Section 7 below) or delivered to whichever party is entitled its receipt as otherwise provided hereunder); and

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement of Sale on the day and year first written above.

SELLER:

LEILA C. GRAD AND SANFORD BRUCK, AS TRUSTEES UNDER THE WILL OF RENA H. GRAD DATED DECEMBER 4, 1995

Leila C. Grad

Leila C. Grad, Trustee

Sanford Bruck, Trustee

Harry K. Schwartz

Susan B. Udin

David Udin

BUYER:

JJLH ASSOCIATES, LTD., a Pennsylvania limited partnership

By: HF Management LLC, its General Partner

By: [signature]
Name: Robert E. Lewis
Title: Manager

[Signature Page to Agreement of Sale]

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement of Sale on the day and year first written above.

SELLER:

LEILA C. GRAD AND SANFORD BRUCK, AS TRUSTEES UNDER THE WILL OF RENA H. GRAD DATED DECEMBER 4, 1995

Leila C. Grad, Trustee

Sanford Bruck, TRUSTEE

Sanford Bruck, Trustee

Harry K. Schwartz

Susan B. Udin

David Udin

BUYER:

JJLH ASSOCIATES, LTD., a Pennsylvania limited partnership

By: HF Management, LLC, its General Partner

By:
Name Robert E. Lewis
Title Manager

[Signature Page to Agreement of Sale]

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement of Sale on the day and year first written above.

SELLER:

LEILA C. GRAD AND SANFORD BRUCK, AS TRUSTEES UNDER THE WILL OF RENA H. GRAD DATED DECEMBER 4, 1995

_____
Leila C. Grad, Trustee

_____
Sanford Bruck, Trustee

_____
Harry K. Schwartz

_____
Susan B. Udin

_____
David Udin

BUYER:

JJLH ASSOCIATES, LTD., a Pennsylvania limited partnership

By: HF Management LLC, its General Partner

By: _____
Name: Robert E. Lewis
Title: Manager

[Signature Page to Agreement of Sale]

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement of Sale on the day and year first written above.

SELLER:

LEILA C. GRAD AND SANFORD BRUCK, AS TRUSTEES UNDER THE WILL OF RENA H. GRAD DATED DECEMBER 4, 1995

Leila C. Grad, Trustee

Sanford Bruck, Trustee

Harry K. Schwartz

Susan B. Udin

Susan B. Udin

David Udin

BUYER:

JJLH ASSOCIATES, LTD., a Pennsylvania limited partnership

By: HF Management, LLC its General Partner

By

Name Robert E. Lewis

Title Manager

[Signature Page to Agreement of Sale]

IN WITNESS WHEREOF, Seller and Buyer have executed this Agreement of Sale on the day and year first written above.

SELLER:

LEILA C. GRAD AND SANFORD BRUCK, AS TRUSTEES UNDER THE WILL OF RENA H. GRAD DATED DECEMBER 4, 1995

_____
Leila C. Grad, Trustee

_____
Sanford Bruck, Trustee

_____
Harry K. Schwartz

_____
Susan B. Udin

_____
David Udin

BUYER:

JJLH ASSOCIATES, LTD., a Pennsylvania limited partnership

By: HF Management LLC, its General Partner

By: _____
Name: Robert E. Lewis
Title: Manager

[Signature Page to Agreement of Sale]

Boucher & James, Inc.
CONSULTING ENGINEERS

AN EMPLOYEE OWNED COMPANY
INNOVATIVE ENGINEERING

Fountainville Professional Building
1456 Ferry Road, Building 500
Doylestown, PA 18901
215-345-9400
Fax 215-345-9401

2756 Rimrock Drive
Stroudsburg, PA 18360
570-629-0300
Fax 570-629-0306
Mailing:
P.O. Box 699
Bartonsville, PA 18321

559 Main Street, Suite 230
Bethlehem, PA 18018
610-419-9407
Fax 610-419-9408

www.bjengineers.com

February 18, 2020

Mr. Richard Manfredi, Manager
Abington Township
1176 Old York Road
Abington, PA 19001

**SUBJECT: 966 & 968 OLD YORK ROAD, JJLH ASSOCIATES, LTD.
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN REVIEW NO. 2
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
PROJECT NO. 1926017R**

Dear Mr. Manfredi:

Pursuant to the Township's request, we have completed our second review of the Preliminary/Final Land Development Plan Application for JJLH Associates, Ltd. The submitted information consists of the following items.

- Response letter prepared by Charles E. Shoemaker, Inc., dated February 4, 2020.
- Revised Waiver List prepared by Charles E. Shoemaker, Inc., dated February 13, 2020.
- Stormwater Management & Erosion and Sediment Control Plan Narrative prepared by Charles E. Shoemaker, Inc., dated October 25, 2019, revised January 31, 2020.
- Landscape Plan & Details, Lighting Plan & Details, and Site Pier & Fence Details (3 sheets total) prepared by InFocus Planning, dated October 25, 2019, revised January 31, 2020.
- Preliminary/Final Land Development Plan (15 sheets), 966 & 968 Old York Road, JJLH Associates, Ltd. prepared by Charles E. Shoemaker, Inc., dated October 25, 2019, revised January 31, 2020.

BACKGROUND INFORMATION

The Owner/Applicant, JJLH Associates, Ltd., is proposing a land development on properties located on the western side of Old York Road (S.R. 0611) at 966 and 968 Old York Road. The properties are bordered by residential dwellings to the west and by commercial uses to the north and south.

The existing properties are located within the MS-H, Main Street High-Density/Intensity Zoning District. The existing properties consist of two (2) commercial buildings that include a restaurant, apartment, and automotive service station with associated parking and two (2) driveways taking access from Old York Road (S.R. 0611).

The Owner/Applicant is proposing to consolidate the existing properties into one (1) that will have

a total net lot area of 28,857 acres (29,157 acres gross).

The proposed land development consists of the demolition of the existing buildings. The proposed construction will include a 92-space parking lot utilized for vehicular storage in support of a nearby Nissan dealership. One (1) driveway is proposed to access Old York Road (S.R. 0611). Stormwater management, landscaping, and lighting are also proposed.

Based on our review of the above information and our previous letter dated December 4, 2019, we offer the following comments and/or recommendations for your consideration.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. In accordance with Section 146-11.B.(7), existing waterlines, sanitary sewer lines, storm sewer lines, electric lines, telephone lines, gas mains, fire hydrants, and streetlights located on and within 400 feet of the project site must be shown on the plan. ***(Previous Comment 4) A waiver from Section 146-11.B.(7) is requested. Existing utilities immediately adjacent to the project site are shown on the plan and an aerial photograph showing existing features within 400-feet of the project site has been provided.***

2. Calculations and details in support of the proposed swale along the southern property line must be provided in accordance with Section 146-11.F.(4)(c). ***(Previous Comment 7) Calculations in support of the curve number utilized in Hyd. No. 44, To Swale, shall be submitted.***

3. In accordance with Section 146-11.H.(2)(e), the plan must include a planting schedule indicating the species, and number and size of all proposed and required plantings. The following comments are related to our review of the Landscape Plan & Details (Sheet LP-1) and associated Plant Schedule. ***(Previous Comment 8)***

    a. The symbols shown for the proposed 'GB' and 'GT' trees are inconsistent in plan view and the plan should be revised. ***(Previous Comment 8.c) The symbols must still be revised for consistency.***

4. In accordance with Section 146-11.J, a narrative describing recreation facilities in the proposed open space areas shall be submitted. ***(Previous Comment 9) A waiver from Section 146-11.J is requested to not require recreational facilities.***

5. An improvement and completion guarantee must be provided in accordance with Section 146-17. A detailed construction cost estimate with specific line items must be submitted for review. ***(Previous Comment 12) The response indicates a construction cost estimate will be provided.***

6. In accordance with Section 146-20.B.(2)(c), a Pennsylvania Department of Transportation Highway Occupancy Permit is required for work proposed along Old York Road (S.R. 0611). All submissions to and correspondence from PennDOT and the HOP Permit must be provided to the Township. ***(Previous Comment 13) This comment has been***

acknowledged. Reference to the HOP Plan must be provided on the Land Development Plan.

7. In accordance with Section 146-27.E, sidewalks shall be extended to the curbline with ramps for adequate and reasonable access across curbs by physically handicapped persons, including those in wheelchairs. The plan must include detailed ramp design consisting of dimensions, spot elevations, and slopes for each proposed ramp. We suggest larger scaled detailed plans be provided for clarity. Review of all handicap ramps will be completed upon receipt of the detailed plans. Any ramp design associated with the required PennDOT HOP must also be provided to the Township. ***(Previous Comment 15) The northern proposed handicap ramp has a slope of 6.2%± and requires a landing area having a maximum slope of 2%. The landing area must be shown on the plan with spot elevations and slope. Detectable warning surfaces shall be provided at both proposed handicap ramps and the plan must be revised accordingly. In addition, construction details of the proposed ramps shall also be provided on the plan.***

8. In accordance with Section 146.33.B.(1), calculations must be provided in support of the proposed swale along the southern property line. ***(Previous Comment 16) Refer to Comment 2.***

9. In accordance with Section 146-33.C, a minimum of 2-feet of cover shall be provided over the top of the proposed storm sewer. Less than 1-foot of cover is proposed over the storm sewer from inlet I-1 to the proposed Infiltration Bed, and the plan must be revised. ***(Previous Comment 17) Only 1.45-feet of cover is provided over the 15-inch storm sewer at inlet I-1 and less than 2-feet of cover is provided at the westernmost curb shown in the Proposed Trench Drain (T-1) to Infiltration Bed (DB-1) profile on Sheet 8. The plan must be revised accordingly.***

10. In accordance with Section 146-43.C.(3)(a), cut and fill slopes may not be 15% or steeper. Grading along the southern property line is shown at a 33% slope and must be revised, or a waiver requested. ***(Previous Comment 19) A waiver from Section 146-43.C.(3)(a) is requested to permit 3 to 1 (33%) slopes along the proposed swale and rain garden. Erosion control blankets are proposed along these proposed slopes.***

STORMWATER MANAGEMENT ORDINANCE COMMENTS

The proposed development is located within the Pennypack Watershed and the B Management District. The proposed land development is considered a redevelopment and has a disturbed area of 0.60 acres. Therefore, Article III and the requirements of Sections 404, 405, 406, and 409 must be followed.

11. In accordance with Section 302.B.9, an Operation and Maintenance plan, per Section 702, must be provided and shall include notes related to all proposed best management practices. ***(Previous Comment 21) Operation and maintenance procedures are now provided on Sheet 8. Sheet 8 shall be listed as "to be recorded" on Sheet 1 or the procedures shall be moved to a plan sheet intended for recordation.***

12. In accordance with Section 302.C.4, a PennDOT Highway Occupancy Permit is required for the discharge from the proposed Rain Garden toward Old York Road (S.R. 0611). ***(Previous Comment 22) This comment has been acknowledged.***

13. -In accordance with Section 701.A, a financial guarantee is required for the proposed stormwater management improvements. A detailed cost estimate with specific line items must be submitted for review. ***(Previous Comment 27) The response indicates a construction cost estimate will be provided.***

14. In accordance with Sections 702.A and 704, an operation and maintenance plan and agreement must be provided. ***(Previous Comment 28) Operation and maintenance procedures are now provided on the plan. Refer to Comment 11. The required operation and maintenance agreement is acknowledged.***

MISCELLANEOUS COMMENTS

15. On Sheet 6, demolition is shown on the adjacent northern property and immediately adjacent to the southern property line. Temporary construction easements will be required for the demolition and other proposed work (i.e., stabilization, grading, etc.). ***(Previous Comment 40) The response indicates temporary construction easements will be shown on the plan once agreed upon by the respective property owners.***

16. All comments received from the traffic engineer, shade tree commission, and fire marshal must be addressed to their satisfaction. ***(Previous Comment 48)***

17. The Abington Township Application number (LD-19-10) must be added to all plan sheets. ***(Previous Comment 49) The Township Application number must still be provided on Sheets 15, LP-1, LP-2, and LP-3.***

PLAN REVISION COMMENTS

18. The legends on Sheets 3 and LP-1 list "new asphalt pavement" and "proposed asphalt pavement," respectively. The legends shall be revised for consistency with the hatching shown in plan view. ***(New Comment)***

19. On Sheet 9, the 18" silt fence shall be removed from the legend. ***(New Comment)***

20. On Sheet 13, the Rain Garden Detail notes that the landscape plan will include rain garden planting information, however that information does not appear to be provided on Sheet LP-1. The plan shall be revised accordingly. ***(New Comment)***

The above comments represent a thorough and comprehensive review of the information submitted with the intent of giving the Township the best direction possible. However, due to the nature of the comments, the receipt of a revised plan submission may generate new comments.

In order to facilitate an efficient re-review of revised plans, the Design Engineer shall provide a letter, addressing item by item, their action in response to each of our comments.

We recommend the above comments be addressed to the satisfaction of Abington Township prior to approval of the proposed Land Development Plan.

If you should have any questions regarding the above, please call me.

Sincerely,

Melissa E. Prugar, P.E.
Municipal Engineer

MEP/cg

cc: Amy Riddle Montgomery, Director of Engineering and Code – Abington Township
Michael P. Clark, Esquire, Rudolph Clarke, LLC – Abington Township Solicitor
Tom Joyce, JJLH Associates, Ltd. – Applicant/Owner
Gavin R. Laboski, Esquire, Laboski Law – Applicant's Attorney
Gary A. Tilford, P.L.S., Charles E. Shoemaker, Inc. – Applicant's Engineer
Rachel Vahey, RLA, InFocus Planning – Applicant's Landscape Architect
Michael Narcowich, Montgomery County Planning Commission

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Township of Abington

Engineering & Code Department

Wayne C. Luker, President
Steven N. Kline, Vice President

Richard J. Manfredi, *Manager*
Amy R. Montgomery, *P.E., Director*

Mr. Thomas Joyce
JJHL Associates, LTD
4437 E. Street Road
Trevose, Pa. 19053

December 3, 2019

Re: Staff review comments on the reverse subdivision and land development of 966 & 968 Old York Road, Abington, Pa. 19001. This application is known as LD-19-10.

Dear Mr. Joyce,

The plan set prepared by Charles E. Shoemaker, Inc., dated October 25, 2019 has been reviewed by the Fire Marshal's Office, Traffic Safety Office and the Planning & Zoning Office of the Township of Abington. The following is a list of comments that are required to be addressed to the satisfaction of the Board of Commissioners of the Township of Abington. They are as follows:

Fire Marshal's Office:

1. The plan set has been reviewed and this office has no comment at this time.

Traffic Safety Office:

2. The plan set has been reviewed and this office has no comment at this time.

Planning & Zoning Office:

3. This application was approved by the Zoning Hearing Board of the Township of Abington as Case #19-02 on May 22, 2019.

4. Permits are required for the demolition of the existing buildings on the sites. The applicant is required to submit cap-off certifications for water, electric and gas services. In addition, a permit is required for the capping of the sanitary sewer laterals.

5. The applicant is required to provide a detail of the light standard that is proposed to be installed as part of this development. A note is currently on the plan that states that the light fixture is mounted at sixteen feet in height. However, no detail has been provided.

6. The fencing proposed to be installed along the front property line is shown as four feet in height. However, the piers to support this fencing are listed as five feet in height. The piers are also limited to no greater than four feet in height. Please refer to Section 2102.A, Use A-13 of the Zoning Ordinance of the Township of Abington.

7. In accordance with Section 2401.A.2.d.2 of the Zoning Ordinance, Note 1 of the Tree Protection Detail on Sheet 11 must be revised to include the requirements of the tree protection fence being place a minimum of one foot outside of the existing dripline.

8. In accordance with Section 2402,B.2 and Section 2402.B.c of the Zoning Ordinance, one street tree per every 40 feet of property frontage shall be planted along Old York Road. Street trees must be planted between 5 feet and 15 feet behind the right-of-way of Old York Road. Four street trees are required and 4 trees are proposed, however only three are as required. The proposed Ginko tree at the southeastern corner is located approximately twenty-one feet from the right-of-way line. The tree is required to be relocated to comply with the requirements of the zoning ordinance.

9. In accordance with the requirements of Section 2403.B.4.a, Figure 24.5 of the Zoning Ordinance, a high intensity buffer is required to be installed along the western property line. Please provide a detailed landscape plan that show compliance with the requirements of this section of the Zoning Ordinance. Please be aware that an eight-foot high fence may be installed as per the Zoning Hearing Board approval.

10. The landscape chart on Sheet LP-1 references Option B and we believe it should be revised to reference Option D.

11. In accordance with Section 2403.B.4.a.1, Section 2403.B.4.a.3.a and Section 2403.B.4.a.3.d, canopy trees must have a caliper of 2.5 inches and shrubs must have a minimum height of 24-inches at the time of planting. The Plant Schedule on Sheet LP-1 lists 2-inch caliper canopy trees and 18-inch to 24-inch shrubs. The Plant Schedule must be revised to comply with the requirements of the Zoning Ordinance.

12. In accordance with Section 2403.B.4 and Figure 24.5 of the Zoning Ordinance, a low intensity buffer consisting of one canopy tree, two under story trees and two evergreen trees are required to be planted per every 100 feet along the southern property line. Three canopy trees, five understory trees and five evergreen trees are required. Three canopy trees, four understory trees and five evergreens trees are proposed. Therefore, one understory tree is required to be added to the revised plan.

13. In accordance with Section 2403.C.6.b and Figure 24.7 of the Zoning Ordinance, a Medium Intensity Screen is required around the perimeter of the display parking area. A minimum six-foot high opaque fence with shrubs spaced no further than three feet on center, or an evergreen hedge row having a minimum height of six feet at the time of planting and spaced three feet on center is required. The Landscape Requirements Chart indicates that this requirement is satisfied by the perimeter buffer.

14. In accordance with Section 2500.A.1 of the Zoning Ordinance, the proposed street wall along Old York Road must be revised to include breaks that are spaced a minimum of 30 feet apart and a maximum of 50 feet apart. Pedestrian access to the project site must also be provided.

15. In accordance with Section 2502 of the Zoning Ordinance, street furniture is required along the Old York Road frontage. Please provide a detail of the type and location of the proposed street furniture.

16. In accordance with Section 2504.A of the Zoning Ordinance, the proposed sidewalk is required to be constructed of durable and attractive materials like brick, stone or colored or textured concrete accented with pavers. The concrete sidewalk detailed on Sheet #12 only specifies 4,000 psi concrete with no indication of texture or accents. The plan must be revised to include this detail.

17. Testimony was provided to the Zoning Hearing Board that this site will be unmanned after business hours. Please provide a security plan as to how this site will be monitored after business hours. Please include details on how car alarms will be addressed.

A copy of the plans for this development have been forwarded to Shade Tree Commission, the Environmental Advisory Council and the Township's reviewing engineer. Review comments from these groups will be forwarded to you under separate cover. If there are any questions that you may have, please feel free to contact me directly.

Sincerely,

Mark A. Penecale
Planning & Zoning Officer
Township of Abington

Cc: Amy Montgomery, P.E.; Director of Engineering & Code Department
File Copy (2)

MONTGOMERY COUNTY
BOARD OF COMMISSIONERS

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MONTGOMERY COUNTY
PLANNING COMMISSION
MONTGOMERY COUNTY COURTHOUSE • PO BOX 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

JODY L. HOLTON, AICP
EXECUTIVE DIRECTOR

December 13, 2019

Mr. Rich Manfredi, Manager
Abington Township
1176 Old York Road
Abington, Pennsylvania 19001-3713

Re: 19-0276-001
966-968 Old York Road
at Woodcrest Road
Tract Size: 0.66 Acres
Abington Township

Dear Mr. Manfredi:

We have reviewed the above-referenced plan as you requested on November 13, 2019. We forward this letter as a report of our review.

BACKGROUND

JJLH Associates, Limited, the applicant, has submitted a plan that would consolidate two lots into one 0.66 acre lot. 966 Old York Road is 0.23 acres and 968 Old York Road is 0.43 acres. The applicant proposes demolition of an existing two-story, mixed-use building and an existing one-story, automotive services building (the two buildings share a party wall) and replacing them with a parking lot—a portion of which will consist of pervious paving. A rain garden will be located between the parking lot and the street. The parking lot would be used by an automotive sales business on a noncontiguous site. The parking lot would share access to Woodcrest Road with an adjacent retail-office use. The site is located in the MS-H Main Street High Intensity-Density District and is served by public sewer and water. The applicant has submitted a preliminary and final plan, dated April 15, 2019.

CONSISTENCY WITH COMPREHENSIVE AND OTHER PLANS

The proposed improvements are generally consistent with *MONTCO2040: A Shared Vision, The Montgomery County Comprehensive Plan*. The plan shows the subject property as located in the

"Community Mixed Use and Services Area." These areas are local community focal points that are typically located on major roads.

The proposed improvements are also generally consistent with the Abington Township Comprehensive Plan Update (2007).

The proposal does not seem consistent with the Old York Road Corridor Improvement Study (2010). That study says that parking should be located behind buildings, off the corridor frontage.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and Township may wish to consider. Our comments are as follows:

REVIEW COMMENTS

LAND USE

A. Accessory Use Definition. This use appears to be a use that is accessory to a use on another property. However, the zoning ordinance defines accessory use as "A minor use of a building, structure, lot, or premises; located on the same lot or premises with an established principal use; and clearly incidental or subordinate to, and operated in conjunction with, the principal use ["Use, Accessory", p.14]." The plan refers to the use as "C-2: Automotive Sales", which is a principal use. However, this proposal does not appear to fit the use regulation of C-2: Automotive Sales.

LANDSCAPING

A. Decorative Verge. What will the decorative verge consist of? At least 25% of the decorative verge area shall be landscaped with a mix of ground cover, shrubs, and trees [§2504.E].

B. Hemlock Buffer. We recommend the applicant consider alternatives such as hollies for the proposed hemlock buffer, since hemlocks are affected by pests such as the woolley adelgid.

C. Existing Trees. We suggest the applicant use care when planting the proposed buffer along the residential property lines in the interest of preserving existing trees.

D. Rain Garden. The applicant proposes a rain garden on the south side of the Old York Road vehicular access point. We recommend also creating one on the north side of that vehicular access point.

PLAN INFORMATION

A. Class 2 Use.

1. The zoning requirements table and the dimensions drawn on the plan show the requirements for a Class 1 Use; however, the C-2 Automotive Sales use is a Class 2 use.

Please update the table and plan accordingly [Zoning: Comprehensive Use Matrix, p.347]. To cite a few examples,

a. Minimum side yard should be "30 feet", not "15 feet".
b. Minimum rear yard should be "35 feet", not "20 feet".
c. Minimum green area should be "35%", not "25%".

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve the Township's planning objectives for the Old York Road corridor.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Sincerely,

Mike Narcowich, AICP
Assistant Section Chief: Community Planning
610.278.5238 - mnarcowi@montcopa.org

c: JJLH Associates, Limited, Applicant
Gary Tilford, Charles E. Shoemaker, Inc., Applicant's Representative
Amy Montgomery, P.E., Township Engineer
Michael P. Clarke, Esq., Rudolph Clarke, LLC, Township Solicitor

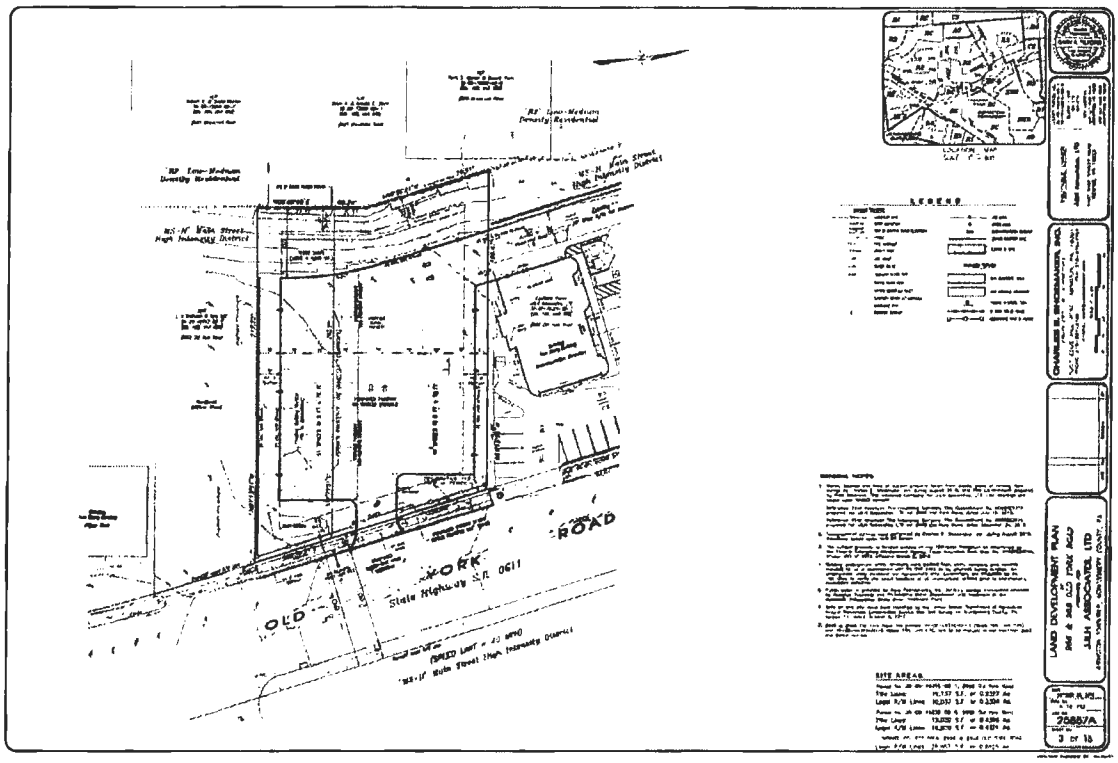
Attachments: Aerial Image, Project Site
Applicant's Plan

Aerial Image, Project Site

966 & 968 Old York Road
MCPC #190276001

Montgomery County Planning Commission
Montgomery County Courthouse • Planning Commission
PO Box 311 • Norristown PA 19404-0311
(o) 610.278.3722 • (f) 610.278.3041
www.montcoplan.org/plancom
Year 2017 aerial photography provided by Pictometry

Applicant's Plan



FAX: (215) 576-7791 PHONE: (215) 887-2165

CHARLES E. SHOEMAKER, INC.

ENGINEERS AND SURVEYORS
SOUTHEAST CORNER OF EASTON & EDGE HILL ROADS
1007 EDGE HILL ROAD
ABINGTON, PA 19001

February 4, 2020

Amy Montgomery
Director of Engineering & Code
Abington Township
1176 Old York Road
Abington, PA 19001

RE: LAND DEVELOPMENT SUBMISSION #2
966 & 968 OLD YORK ROAD
JJLH Associates, Ltd. (Faulkner Nissan)
966 & 968 Old York Road
Co. Parcel No. 30-00-49316-00-1, & 30-00-49320-00-6

Dear Ms. Montgomery:

We are in receipt of review letters by Boucher & James, Inc. dated December 4, 2019, Montgomery County Planning Commission dated December 13, 2019, and Abington Township Staff dated December 3, 2019.

Responses to landscape recommendations, from Township and County review letters, have been provided by Rachel Vahey, RLA of Infocus Planning.

This application package includes the following:

- One (1) Revised Land Development Plan set last revised January 31, 2020;
- One (1) complete plan set reduced on 11x17 paper;
- One (1) copy of the Stormwater Management & Erosion Control Plan Narrative and Drainage Area Plans last revised January 31, 2020;
- CD (PDF Format) containing all plans and Stormwater and Erosion Control Report.

By copy of this correspondence, we are sending one (1) copy of the revised plans and stormwater report directly to Melissa E. Prugar, P.E. of Boucher & James, Inc., at their Bethlehem office.

Original review comments are provided in *italic* type with our response followed in **bold** type.

Boucher & James, Inc. review comments dated December 4, 2019

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. *A waiver from Section 146-9.A is requested to permit the submission of a preliminary/final land development plan. Due to the nature of the proposed development, submission of a preliminary/final land development plan is permitted and the waiver request is not required. The request shall be removed from the Waivers Requested on Sheet 4 and from the submitted List of Land Development Waivers.*
   Request for waiver on sheet 4 has been removed.

2. *In accordance with Sections 146-11.A.(4) and 146-11.B.(3), the existing properties within 400-feet of the project site must be shown on the plan with owner names, tax parcel numbers, and areas. Sheet 2 shows neighboring property information and an aerial photograph is provided showing existing features within 400-feet of the project site. However, the aerial photograph*

does not provide the required property information and must be revised. In addition, Sheet 2 must also be revised to include the areas of the abutting properties.
Neighboring property information including owners name, tax parcel number, and parcel areas within 400 feet of subject properties, has been provided on plan sheets 2, 3 and 15.

3. *In accordance with Sections 146-11.A.(8) and 146-11.B.(2), the existing cartway width of Old York Road (S.R. 0611) must be dimensioned on the plan.*
See plan sheets 2 and 3 for width of existing cartway of Old York Road.

4. *In accordance with Section 146-11.B.(7), existing waterlines, sanitary sewer lines, storm sewer lines, electric lines, telephone lines, gas mains, fire hydrants, and streetlights located on and within 400 feet of the project site must be shown on the plan. A waiver from Section 146-11.B.(7) is requested. Existing utilities immediately adjacent to the project site are shown on the plan and an aerial photograph showing existing features within 400-feet of the project site has been provided.*
Waiver is requested.

5. *In accordance with Sections 146-11.E.(3), 146-43.E.(2), and 146-43.E.(3), erosion and sedimentation control plan approval by the Township Engineer is required. The proposed disturbance is less than one (1) acre, therefore we have reviewed the submitted Erosion and Sediment Control Plan, Notes, and Details, and the Stormwater Management & Erosion and Sediment Control Narrative. The following are comment(s) related to our review.*

    a. *A Standard Filter Fabric Fence (18") detail and a Slope Installation detail are provided on Sheet 11, however none are shown in plan view on Sheet 9. The sheets must be revised accordingly.*
    The silt fence detail has been removed from detail sheet 11, and slope protection is provided for grading in excess of 15 percent. See Erosion Plan, sheet 9.

6. *In accordance with Section 146-11.F.(4)(b)[6], details in support of the proposed endwall/end section and rock riprap at the discharge point into the proposed Rain Garden must be provided on the plan.*
The discharge point into the proposed Rain Garden is a 6" pipe with a capacity of 0.52 CFS, neither of which is able to be represented on Figure 9.3 – Riprap Apron Design (PADEP Erosion and Sediment Pollution Control Program Manual). The chart has been provided in the Narrative for clarification. The discharge point utilizes an apron of river rock to account for the very minimal erosion.

7. *Calculations and details in support of the proposed swale along the southern property line must be provided in accordance with Section 146-11.F.(4)(c).*
Calculations and details in support of the proposed swale have been provided on page 34 of the Stormwater report. The area to the swale includes the entire parking lot, in case of pervious pavement/infiltration bed failure.

8. *In accordance with Section 146-11.H.(2)(e), the plan must include a planting schedule indicating the species, and number and size of all proposed and required plantings. The following comments are related to our review of the Landscape Plan & Details (Sheet LP-1) and associated Plant Schedule.*

a. *The Plant Schedule lists four (4) 'AR' trees while the plan view shows four (4) 'CP' trees. The Plant Schedule or plan view must be revised accordingly.*
Labels on the landscape plan have been revised accordingly.

b. *It appears the 'TC' trees proposed to the north and south of the proposed driveway taking access from Old York Road (S.R. 0611) should be identified as 'TI' trees for consistency with the Plant Schedule. The Plant Schedule or plan view must be revised.*
Label on the landscape plan has been revised accordingly.

c. *The symbols shown for the proposed 'GB' and 'GT' trees are inconsistent in plan view and the plan should be revised.*
Symbols shown on the Landscape Plan pertain to the requirements the plant material is fulfilling. A Landscape Legend has been added to the plan for clarity.

9. *In accordance with Section 146-11.J, a narrative describing recreation facilities in the proposed open space areas shall be submitted. A waiver from Section 146-11.J is requested.*
See listing of waivers on sheet 4.

10. *A waiver from Section 146-11.L is requested in order to not provide architectural plans. A building is not proposed therefore architectural plans are not applicable and the waiver request is not required. The request shall be removed from the Waivers Requested on Sheet 4 and from the submitted List of Land Development Waivers.*
Waiver request has been removed from sheet 4.

11. *The note in Section 146-12.E.(5) must be provided on the plan.*
See note #8 on Land Development Plan, sheet 3.

12. *An improvement and completion guarantee must be provided in accordance with Section 146-17. A detailed construction cost estimate with specific line items must be submitted for review.*
Escrow estimate will be provided after plan and permit approvals.

13. *In accordance with Section 146-20.B.(2)(c), a Pennsylvania Department of Transportation Highway Occupancy Permit is required for work proposed along Old York Road (S.R. 0611). All submissions to and correspondence from PennDOT and the HOP Permit must be provided to the Township. Reference to the HOP Plan must be provided on the Land Development Plan.*
HOP permitting acknowledged. See note #8 on Land Development Plan, sheet 3.

14. *In accordance with Section 146-25.D, curblines shall be rounded by a tangential arc having a minimum radius of 20-feet. The northern curb radius at the proposed driveway taking access from Old York Road (S.R. 0611) is shown as 15-feet and must be revised.*
Curb radius has been increased to 20 feet.

15. *In accordance with Section 146-27.E, sidewalks shall be extended to the curbline with ramps for adequate and reasonable access across curbs by physically handicapped persons, including those in wheelchairs. The plan must include detailed ramp design consisting of dimensions, spot elevations, and slopes for each proposed ramp. We suggest larger scaled detailed plans be provided for clarity. Review of all handicap ramps will be completed upon receipt of the detailed plans. Any ramp design associated with the required PennDOT HOP must also be provided to the Township.*

See Grading Plan, sheet 7 for ramp grading details.

16. *In accordance with Section 146.33.B.(1), calculations must be provided in support of the proposed swale along the southern property line.*
Calculations and details in support of the proposed swale have been provided on page 34 of the Stormwater report.

17. *In accordance with Section 146-33.C, a minimum of 2-feet of cover shall be provided over the top of the proposed storm sewer. Less than 1-foot of cover is proposed over the storm sewer from inlet I-1 to the proposed Infiltration Bed, and the plan must be revised.*
Depth of storm pipe between inlet I-1 and infiltration bed has been adjusted to provide two foot of cover under proposed pavement section. See profile on sheet 8.

18. *In accordance with Section 146-39.C, all required landscaping shall be guaranteed by the subdivider/developer for a period of one (1) year after the Township has issued an occupancy permit for the property. It shall be the responsibility of the subdivider/developer to protect, maintain, and feed both new and existing plant materials during this period. An inspection shall be made by the Township at the end of the one (1) year period and any materials unacceptable at the time of inspection shall be replaced in order to satisfy the landscaping requirements of the Township. A note to this effect must be placed on the plan.*
See landscape planting guarantee note on sheet 4 and note added below the Plant Schedule on the Landscape Plan to indicate the one (1) year guarantee.

19. *In accordance with Section 146-43.C.(3)(a), cut and fill slopes may not be 15% or steeper. Grading along the southern property line is shown at a 33% slope and must be revised, or a waiver requested.*
A new waiver to this requirement is requested in order to provide swale and berm grading along the southern property line and rain garden. See plan sheet 4 for listing of proposed waivers.

STORMWATER MANAGEMENT ORDINANCE COMMENTS

The proposed development is located within the Pennypack Watershed and the B Management District. The proposed land development is considered a redevelopment and has a disturbed area of 0.60 acres. Therefore, Article III and the requirements of Sections 404, 405, 406, and 409 must be followed.

20. *In accordance with Sections 302.A.6, 302.B.23, 401.A, 401.D, and 403.A, erosion and sedimentation control plan approval is required. The proposed disturbance is less than one (1) acre, therefore we have received the submitted Erosion and Sediment Control Plan, Notes, and Details, and the Stormwater Management & Erosion and Sediment Control Narrative. The following are comment(s) related to our review.*

    a. *A Standard Filter Fabric Fence (18") detail and a Slope Installation detail are provided on Sheet 11, however none are shown in plan view on Sheet 9. The sheets must be revised accordingly.*
    The silt fence detail has been removed from detail sheet 11, and slope protection is provided for grading in excess of 15 percent. See Erosion Plan, sheet 9.

21. *In accordance with Section 302.B.9, an Operation and Maintenance plan, per Section 702, must be provided and shall include notes related to all proposed best management practices.*
A operation and maintenance procedures have been added to the Utility Plan, sheet 8.

22. *In accordance with Section 302.C.4, a PennDOT Highway Occupancy Permit is required for the discharge from the proposed Rain Garden toward Old York Road (S.R. 0611).*
Acknowledged

23. *In accordance with Section 308, upon completion of construction the developer shall be responsible for providing as-built plans of all stormwater management facilities shown on the approved plans. A note to this effect must be placed on the plans.*
See note 9 on the Land Development Plan, sheet 3.

24. *In accordance with Sections 401.L and 410.D, all calculations utilizing the Rational Method shall use rainfall intensities from the NOAA 14 Precipitation-Frequency Atlas of the United States (2004, revised 2006). In addition, times-of-concentration shall be calculated utilizing the methodology presented in Chapter 3 of Urban Hydrology for Small Watersheds, NRCS, TR-55. Reference to the NOAA precipitation shall be provided in the Stormwater Management & Erosion and Sediment Control Plan Narrative and the calculations shall be revised where necessary. In addition, calculations in support of the time of concentrations shall be provided. Per the TR-55 Manual, a minimum time of concentration of 6 minutes shall be utilized. The hydrographs shall be revised accordingly.*
Hydrographs have been revised in appendix B of the stormwater report.

25. *In accordance with Section 405.A.I.e, pretreatment shall be provided prior to infiltration.*
A pretreatment plan (vacuuming quarterly/or as needed) is added to the operation and maintenance for the pervious pavement/infiltration basin on sheet 8.

26. *In accordance with Section 410.E, runoff coefficients (c) for both existing and proposed conditions shall be obtained from Table E-2 in Appendix E. Type 'A' soils exist on the project site, however only type 'C' soils are utilized in the Weighted C calculations. The calculations must be revised accordingly.*
Although type 'A' soils are shown on the soil survey, the site has been heavily worked during previous construction activities. Based on soil testing, the soils more closely resemble type 'C' soils.

27. *In accordance with Section 701.A, a financial guarantee is required for the proposed stormwater management improvements. A detailed cost estimate with specific line items must be submitted for review.*
A detailed cost estimate will be provided upon approval of the stormwater management system.

28. *In accordance with Sections 702.A and 704, an operation and maintenance plan and agreement must be provided.*
Operation and maintenance procedures are provided on sheet 8. The Applicant acknowledges an agreement will be made with the Township.

STORM SEWER AND STORMWATER MANAGEMENT DESIGN COMMENTS

29. *Calculations in support of the rock riprap shown at the discharge point into the proposed Rain Garden must be provided for review.*
The discharge point into the proposed Rain Garden is a 6" pipe with a capacity of 0.52 CFS, neither of which are able to be represented on Figure 9.3 – Riprap Apron Design (PADEP Erosion and Sediment Pollution Control Program Manual). The chart has been provided in the Narrative for clarification. The discharge point utilizes an apron of river rock to account for the very minimal erosion.

30. *The Bypass to Old York Road via LC Wellness drainage area and the Ex. To Old York Road (Off-Site LC Wellness) drainage area include lawn areas in plan view. The Weighted C calculations utilize forest areas for both drainage areas and the calculations must be revised.*
The Weighted C calculations have been revised to include lawn areas. (The change was negligible; the Weighted C did not change).

31. *It appears Hyd. No. 33 and Hyd. No. 34 should be revised to utilize the area and Weighted C for the Bypass to Old York Road (Offsite-LC Wellness) drainage area.*
Hyd. No. 33 and Hyd. No. 34 were provided to exhibit that the total bypass to the neighboring property was negligible. The only areas that these hydrographs utilize are our onsite bypass that flows to the neighboring property before entering Old York Road (Hyd. No. 28 and Hyd. No. 29). There is redundancy in the report because the "Bypass to York via LC Wellness" is the only area that is in the "Total to York Road via LC Wellness". This sub-area is provided to illustrate that the total area/runoff to the neighboring property from our site has been reduced immensely from existing conditions.

The Offsite-LC Wellness Drainage Area is not included on our onsite/managed calculations. It is provided as an offsite are to exhibit the total to the POI #1, but is same in the existing and the proposed.

32. *The Pervious Pavement Infiltration Bed Pond Report utilizes a width of 26-feet. The plan view and Section A-A of the Typical Section Along Curb/Pervious Pavement Interface with Level Stone Seepage Bed detail show a width of 25-feet. The Pond Report, or plan and detail must be revised.*
The plan and detail have been revised to show a width of 26-feet.

33. *The grate elevation shown for DB5 in the plan view on Sheet 8 is high when compared to the proposed grading and the plan must be revised.*
The proposed grate elevation for DB5 has been revised (298.00).

34. *The top of berm elevation shown in the Propose Infiltration Bed (DB-3) to Rain Garden profile on Sheet 8 is inconsistent with that specified in the Rain Garden Detail on Sheet 13. The plan must be revised for consistency.*
The berm elevation has been updated (296.50 on plan and on profile).

MISCELLANEOUS COMMENTS

35. *On Sheet 1, the sheet numbers for the Landscape/Lighting Plans are listed as L-1, L-2, and L-3. In addition, the note listing the plans to be recorded also specifies the Landscape/Lighting Plans as L-1, L-2, and L-3. The plan sheets are labeled as LP-1, LP-2, and LP-3. Sheet 1 must be revised for consistency.*

Cover Sheet, sheet 1 has been revised in both places.

36. *On Sheet 2, leaders are shown at the northwestern and southwestern corners of 968 Old York Road with no description and the plan must be revised.*
Leader lines are pointing to dimensions to title line and PennDOT legal right-of-way lines.

37. *The lot line proposed to be removed must be labeled as such on Sheet 2. In addition, General Note 7 on Sheet 3 should also be provided on the Lot Line Consolidation Plan, Sheet 2.*
Lot line proposed to be removed has been labeled and note #7 added to sheet 2.

38. *The proposed 6-inch curb along the western curbline shown on Sheet 3 is inconsistent with the 8-inch curb shown on Sheet 7. The plan must be revised.*
All concrete curb is proposed with six (6) inch reveal with the exception of the western curb line along the rear to have eight (8) inch reveal. This is proposed to help hold back the slope behind curb.

39. *On Sheet 5, General Note 8 must be completed.*
The soil testing date has been added to note #8.

40. *On Sheet 6, demolition is shown on the adjacent northern property and immediately adjacent to the southern property line. Temporary construction easements will be required for the demolition and other proposed work (i.e., stabilization, grading, etc.).*
The Applicant will propose a temporary construction easement with the neighbor along the south property line. The easement upon agreement, will be added to the submission set.

41. *On Sheet 7, the top of curb elevation of 300.50 along the northern curbline at the bottom of curb elevation 301.00 is incorrect and must be revised.*
This error has been corrected.

42. *On Sheet 8, the top of curb and grate elevations at I-1 in the Proposed Trench Drain (T-1) to Infiltration Bed (DB-1) profile are low when compared to the bottom and top of curb elevations shown on Sheet 7. The plan or profile must be revised accordingly.*
The inlet hood is designed with a six inch hood to match curb reveal. The elevations have been revised.

43. *On Sheet 12, the Driveway Depression and Apron Detail, Driveway Apron Detail, and Concrete Sidewalk detail list 2B stone. The Pennsylvania Department of Transportation no longer specifies 2B stone in Publication 408 and the details shall be revised accordingly.*
AASHTO #57 stone replaces the former specification for 2B stone.

44. *On Sheet 14, the Abington Township — No Parking Sign detail shows a sign that reads "No Parking by Order of Fire Marshal" while the Traffic Sign Schedule references a "No Parking Fire Lane" sign. The detail and/or sign schedule must be revised for consistency.*
Detail and sign schedule have been revised to indicated "No Parking Fire Lane".

45. *On Sheet 14, Signage Note 1 in the Abington Township-No Parking Sign detail references Plymouth Township and must be revised.*
Detail revised to indicate "Abington".

46. *General Note 6 on Sheets 2, 3, 5, and 6 must be revised to also include UgD soils.*
    UgD soils have been added to the list in each instance.

47. *The four (4) hatched areas at the curb cuts proposed along the southern and southeastern curb lines must be identified in plan view.*
    The location for curb openings, part of the stormwater design directing surface flow to the swale and raingarden, have been labeled on the plans.

48. *All comments received from the traffic engineer, shade tree commission, and fire marshal must be addressed to their satisfaction.*
    Acknowledged

49. *The Abington Township Application number (LD-19-10) must be added to all plan sheets.*
    Each civil plan sheet has the Township Application number located in the lower right corner of the plans.

Abington Staff review dated December 3, 2019

Fire Marshal's Office:

1. *The plan set has been reviewed and this office has no comment at this time.*
   Acknowledged

Traffic Safety Office:

2. *The plan set has been reviewed and this office has no comment at this time.*
   Acknowledged

Planning & Zoning Office:

3. *This application was approved by the Zoning Hearing Board of the Township of Abington as Case #19-02 on May 22, 2019.*
   Acknowledged

4. *Permits are required for the demolition of the existing buildings on the sites. The applicant is required to submit cap-off certifications for water, electric and gas services. In addition, a permit is required for the capping of the sanitary sewer laterals.*
   Acknowledged

5. *The applicant is required to provide a detail of the light standard that is proposed to be installed as part of this development. A note is currently on the plan that states that the light fixture is mounted at sixteen feet in height. However, no detail has been provided.*
   A detail is provided on lighting plan LP-2.

6. *The fencing proposed to be installed along the front property line is shown as four feet in height. However, the piers to support this fencing are listed as five feet in height. The piers are also limited to no greater than four feet in height. Please refer to Section 2102.A, Use A-13 of the Zoning Ordinance of the Township of Abington.*
   The proposed piers have been revised to be 4 feet in height. Fencing is now shown to be 3.5 feet height..

7. *In accordance with Section 2401.A.2.d.2 of the Zoning Ordinance, Note 1 of the Tree Protection Detail on Sheet 11 must be revised to include the requirements of the tree protection fence being place a minimum of one foot outside of the existing dripline.*
   Note 1 of the Tree Protection Detail on civil sheet 11 has been revised to include the requirement of the tree protection fence being placed a minimum of one foot outside the existing dripline.

8. *In accordance with Section 2402,B.2 and Section 2402.B.c of the Zoning Ordinance, one street tree per every 40 feet of property frontage shall be planted along Old York Road. Street trees must be planted between 5 feet and 15 feet behind the right-of-way of Old York Road. Four street trees are equired and 4 trees are proposed, however only three are as required. The proposed Ginko tree at the southeastern corner is located approximately twenty-one feet from the right-of-way line. The tree is required to be relocated to comply with the requirements of the zoning ordinance.*
   The tree Ginkgo tree noted is proposed as a parking lot tree, not a Street tree. A Landscaping Legend has been added to illustrate which trees are meeting which requirements. The Street tree locations conform to the requirements of Zoning sections 2402.B.2 and 2402.B.c.

9. *In accordance with the requirements of Section 2403.B.4.a, Figure 24.5 of the Zoning Ordinance, a high intensity buffer is required to be installed along the western property line. Please provide a detailed landscape plan that show compliance with the requirements of this section of the Zoning Ordinance. Please be aware that an eight-foot high fence may be installed as per the Zoning Hearing Board approval.*
   The proposed landscape and fencing conforms (or exceeds) to the requirements of the high intensity buffer.

10. *The landscape chart on Sheet IP-1 references Option B and we believe it should be revised to reference Option D.*
    The landscape chart has been revised accordingly.

11. *In accordance with Section 2403.B.4.a.I, Section 2403.B.4.a.3.a and Section 2403.B.4.a.3.d, canopy trees must have a caliper of 2.5 inches and shrubs must have a minimum height of 24-inches at the time of planting. The Plant Schedule on Sheet IP-1 lists 2-inch caliper canopy trees and 18-inch to 24-inch shrubs. The Plant Schedule must be revised to comply with the requirements of the Zoning Ordinance.*
    This comment was discussed with the Zoning Officer and the plant schedule sizes proposed deemed correct.

12. *In accordance with Section 2403.B.4 and Figure 24.5 of the Zoning Ordinance, a low intensity buffer consisting of one canopy tree, two under story trees and two evergreen trees are required to be planted per every 100 feet along the southern property line.*
    Three canopy trees, five understory trees and five evergreen trees are required. Three canopy trees, four understory trees and five evergreens trees are proposed. Therefore, one understory tree is required to be added to the revised plan.
    This comment was discussed with the Zoning Officer and confirmed that five (5) understory trees are proposed in accordance with Section 2403.B.4.

13. *In accordance with Section 2403.C.6.b and Figure 24.7 of the Zoning Ordinance, a Medium Intensity Screen is required around the perimeter of the display parking area. A minimum six-foot high opaque fence with shrubs spaced no further than three feet on center, or an evergreen hedge row having a minimum height of six feet at the time of planting and spaced three feet on center is required. The Landscape Requirements Chart indicates that this requirement is satisfied by the perimeter buffer.*
    The Zoning Ordinance does not require a "Screen" for the C-2 Automotive Sales use. Under the Ordinance Use Regulations, Article XXI, when a screen is required the use regulations specify such a requirement in the enumerated regulations for each specific use (See Uses C-18 and C-29 as an example). Moreover, it is likely the intent of the Ordinance to not require a screen of the Automotive Sales use since such screen would prevent the public from viewing the automobiles that were for sale.

14. *In accordance with Section 2500.A.1 of the Zoning Ordinance, the proposed street wall along Old York Road must be revised to include breaks that are spaced a minimum of 30 feet apart and a maximum of 50 feet apart. Pedestrian access to the project site must also be provided.*
    Section 2500.A.1 does not apply to this development. This section only applies "where parking...is permitted between (a) the building and (b) the street/main access drive/private street." Here, the property is being used as a "vehicle display area" as that term is used in the C-2 use regulations. The vehicle display area is not a "parking area" between a building and

the street and therefore no Street Wall is required. During discussions with the Township prior to submitting the plan, the applicant proposed a wall in order to meet the spirit of the Ordinance and as a way to provide additional security for the site.

15. *In accordance with Section 2502 of the Zoning Ordinance, street furniture is required along the Old York Road frontage. Please provide a detail of the type and location of the proposed street furniture.*
The Applicant has added a pedestrian bench along the street frontage. See Landscape Plan LP-3 for specification details.

16. *In accordance with Section 2504.A of the Zoning Ordinance, the proposed sidewalk is required to be constructed of durable and attractive materials like brick, stone or colored or textured concrete accented with pavers. The concrete sidewalk detailed on Sheet #12 only specifies 4,000 psi concrete with no indication of texture or accents. The plan must be revised to include this detail.*
The street scape sidewalk has been designed with brick accent pavers between the curb and five foot wide concrete walk.

17. *Testimony was provided to the Zoning Hearing Board that this site will be unmanned after business hours. Please provide a security plan as to how this site will be monitored after business hours. Please include details on how car alarms will be addressed.*
A sliding gate and fence is being provided across the Old York Road frontage. In addition, monitored security cameras were recently installed at the dealership with plans for expanding the system to include this property.
Car alarms on newer models are not as sensitive to vibration as older cars. Faulkner has a key system that allows identification of a cars location without employees using the alarm as locators.

Montgomery County Planning Commission review dated December 13, 2019

LAND USE

A. *Accessory Use Definition. This use appears to be a use that is accessory to a use on another property. However, the zoning ordinance defines accessory use as "A minor use of a building, structure, lot, or premises; located on the same lot or premises with an established principal use; and clearly incidental or subordinate to, and operated in conjunction with, the principal use ["Use, Accessory", p.14]." The plan refers to the use as "C-2: Automotive Sales", which is a principal use. However, this proposal does not appear to fit the use regulation of C-2: Automotive Sales.*
The Zoning Officer ruled this storage facility for automobiles is complimentary to the Faulkner Nissan automotive sales facility located within the same block.

LANDSCAPING

A. *Decorative Verge. What will the decorative verge consist of? At least 25% of the decorative verge area shall be landscaped with a mix of ground cover, shrubs, and trees [§2504.E].*
Area between the sidewalk and street wall (fence & pillars) consist of shrubs and groundcover. Trees are required to be behind the ROW line so they have been located behind the street wall.

B. *Hemlock Buffer. We recommend the applicant consider alternatives such as hollies for the proposed hemlock buffer, since hemlocks are affected by pests such as the woolley adelgid.*
Species has been changed to American Holly.

C. *Existing Trees. We suggest the applicant use care when planting the proposed buffer along the residential property lines in the interest of preserving existing trees.*
Acknowledged

D. *Rain Garden. The applicant proposes a rain garden on the south side of the Old York Road vehicular access point. We recommend also creating one on the north side of that vehicular access point.*
Rain garden is not proposed to the north side of the vehicular driveway per soil investigation and depth of bedrock.

FAX: (215) 576-7791 PHONE: (215) 887-2165

CHARLES E. SHOEMAKER, INC.
ENGINEERS AND SURVEYORS

PLAN INFORMATION

A. Class 2 Use.

1. The zoning requirements table and the dimensions drawn on the plan show the requirements for a Class 1 Use; however, the C-2 Automotive Sales use is a Class 2 use.
The zoning table and Land Development Plan have been revised to illustrate "class 2" criteria of the Main Street District regulations.

Please contact our office should you have any comments concerning the designs and plans, or if additional copies are required.

Sincerely,

Gary A. Tilford, PLS
Charles E. Shoemaker, Inc.

cc: Tom Joyce, JJLH Associates, Ltd. (email)
Bob Lewis, Faulkner Organization, (email)
Gavin R. Laboski, Esq., Laboski Law (email)
Rachel Vahey, RLA, InFocus Planning (email)
Melissa E. Prugar, P.E., Boucher & James, Inc. w/ enclosures
CES File #25857A

Township of Abington

Engineering & Code Department

Wayne C. Luker, President
Steven N. Kline, Vice President

Richard J. Manfredi, *Manager*
Amy R. Montgomery, *P.E., Director*

May 23, 2019

Gavin Laboski, Esq.
245 W. Broad Street
Quakertown, Pa. 18951

Re: Application #19-02: 966 & 968 Old York Road, Jenkintown, Pa. 19046.

Dear Mr. Laboski,

I am pleased to inform you that on Wednesday, May 22, 2019 the Zoning Hearing Board of the Township of Abington approved the application of JJLH Associates, Ltd, for the dimensional variances requested from Section 2504.B.1 {sidewalks}, Section 2402.A.2 {landscape islands}, Section 2402.A.5 {perimeter buffer width}, Section 2402.A.6 {green space location}, Section 2402.B {property line buffer} and Section 2103.A {fence height} of the Zoning Ordinance of the Township for the above listed properties. The properties are zoned within the Main Street High District of Ward #7 of the Township of Abington.

The land development application for this proposal must be submitted within 180 days of the date of this letter. In the event that the required construction permits are not submitted within 180 days of the date of this letter, the approval is voided. If there are any questions that you may have, please feel free to contact me at 267-536-1010.

Sincerely,

Mark A. Penecale
Planning & Zoning Officer
Township of Abington

Cc: Stuart Winegrad, Commissioner Ward #7
Thomas Joyce, 4437 E. Street Road, Trevose, Pa. 19053
Zoning Hearing Board Members
Bruce E. Eckel, Esq.
Engineering & Code Department Staff

Township of Abington
Zoning Hearing Board
1176 Old York Road
Abington, Pennsylvania, 19001

John DiPrimio, Zoning Hearing Board, Chairperson
Michael O'Connor, Zoning Hearing Board, Vice Chairperson
Jose Casalina, Zoning Hearing Board, Secretary
Gertrude M. Hackney, Esq. Zoning Hearing Board Member
Barbara M. Wertheimer, Zoning Hearing Board Member
Bruce J. Eckel, Zoning Hearing Board Solicitor

DECISION

19-02: This is the application of **JJLH Associates, Ltd.**, applicant for the properties located at 966 & 968 Old York Road, Abington, Pa. 19001. The applicant proposes to demolish the existing buildings on the sites and redevelop the properties as a parking lot for the storage of up to 94 vehicles. Variances have been requested from Section 2504.B.1, to allow the sidewalks within the public right-of-way to remain at their current width, Section 2402.A.2, to eliminate the required landscaped islands every 15 stalls and at the end of each row, Section 2402.A.5, to reduce the width of the required perimeter buffer, Section 2402.A.6, to waive the requirement for an additional 15, 000 square feet of green space be required over the 37.6% already provided, Section 2402.B, property line buffers of at least 15 feet in width and Section 2103.A for the installation of an eight foot fence along the shared property line with the residential properties. The property is zoned within the Main Street High District of Ward #7 of the Township of Abington.

Hearing Dates: April 16, 2019
Decision Date: May 23, 2019
Copy Mailed: May 23, 2019

You are hereby notified that your application has been DENIED/APPROVED/APPROVED WITH THE FOLLOWING CONDITIONS, by decision rendered on May 23, 2019.

BOARD SIGNATURES	Vote	CONDITION(S)
John DiPrimio Chairperson, Zoning Hearing Board	Aye: ✓ Nay:	Parking space as outlined in RED on Exhibit A-3 will be removed & become part of the buffer area.

Michael O'Connor
Vice Chair, Zoning Hearing Board

Aye: ✓
Nay: _____

Jose Casalina
Secretary, Zoning Hearing Board

Aye: ✓
Nay: _____

_____
Gertrude H. Hackney, Esq.
Zoning Hearing Board

Aye: _____
Nay: _____

Barbara M. Wertheimer, Esq.
Zoning Hearing Board Member

Aye: ✓
Nay: _____

Dated: May 23, 2019

There is a 30-day period after the date of this decision for an aggrieved person to file an appeal in court to contest an approval or denial by the Zoning Hearing Board. Applicants that take action on a Zoning Hearing Board approval during the 30-day appeal period, do so at their own risk.

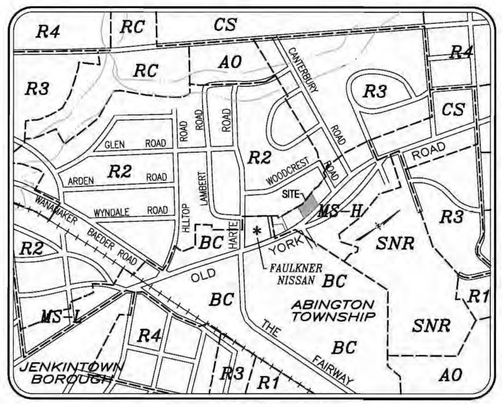
All applicable application and/or permits must be secured from the Township of Abington within six months of the date of this decision or this decision becomes null and void.

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

966 & 968 OLD YORK ROAD

JJLH ASSOCIATES, LTD

ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA



LOCATION MAP
SCALE: 1" = 600'

OWNER / DEVELOPER

JJLH ASSOCIATES, LTD
c/o TOM JOYCE
4437 EAST STREET ROAD
TREVOSE, PA 19053
215-364-3980

SITE ADDRESS

966 OLD YORK ROAD
&
968 OLD YORK ROAD
JENKINTOWN, PA 19046

* PLAN SHEETS 1, 2, 3 AND 4 TO BE RECORDED WITH THE COUNTY RECORDER OF DEEDS OFFICE. PLAN SHEETS 5 THROUGH 15, LANDSCAPE AND LIGHTING PLANS LP-1 THROUGH LP-3 INCLUSIVE, ON RECORD AT ABINGTON TOWNHIP, SHALL BE CONSIDERED A PART OF THE APPROVED FINAL PLAN AS IF RECORDED WITH SAME.

	SHEET No.	CIVIL SITE PLANS	LAST REVISED
*	1 OF 15	COVER SHEET	1/31/2020
*	2 OF 15	LOT LINE CONSOLIDATION PLAN	1/31/2020
*	3 OF 15	LAND DEVELOPMENT PLAN	1/31/2020
*	4 OF 15	PROJECT NOTES	1/31/2020
	5 OF 15	EXISTING RESOURCE & SITE ANALYSIS MAP	1/31/2020
	6 OF 15	SITE DEMOLITION PLAN	1/31/2020
	7 OF 15	SITE GRADING PLAN	1/31/2020
	8 OF 15	SITE UTILITY PLAN	1/31/2020
	9 OF 15	EROSION & SEDIMENT CONTROL PLAN	1/31/2020
	10 OF 15	EROSION & SEDIMENT CONTROL NOTES	1/31/2020
	11 OF 15	EROSION & SEDIMENT CONTROL DETAILS	1/31/2020
	12 OF 15	CONSTRUCTION DETAILS	1/31/2020
	13 OF 15	CONSTRUCTION DETAILS	1/31/2020
	14 OF 15	PAVEMENT MARKINGS & SIGNAGE PLAN	1/31/2020
	15 OF 15	AERIAL PHOTO PLAN	1/31/2020

SHEET No.	LANDSCAPE / LIGHTING PLANS InFocus Planning, Landscape Architecture	
LP-1	LANDSCAPE PLAN & DETAILS	1/31/2020
LP-2	LIGHTING PLAN & DETAILS	1/31/2020
LP-3	SITE PIER & FENCE DETAILS	1/31/2020

ATTORNEY

GAVIN LABOSKI
245 W. BROAD STREET
QUAKERTOWN, PA 18951
215-536-3800

LANDSCAPE ARCHITECTURE

InFOCUS PLANNING
7715 CRITTENDEN STREET #343
PHILADELPHIA, PA 19119
267-336-7411

CIVIL ENGINEERS / LAND SURVEYORS

CHARLES E. SHOEMAKER, INC.
1007 EDGE HILL ROAD
ABINGTON, PA 19001
215-887-2165

COMMONWEALTH OF PENNSYLVANIA — REGISTERED PROFESSIONAL — RICHARD A. STONEBACK — ENGINEER PE-024615-E

COMMONWEALTH OF PENNSYLVANIA — REGISTERED PROFESSIONAL — GARY A. TILFORD — LAND SURVEYOR SU-033144-E

CERTIFICATIONS

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

On the _____ day of _____, 2020, before me the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in _____ County, personally appeared ROBERT E. LEWIS, who acknowledged himself to be the Manager of JJLH ASSOCIATES, LTD., and that as Manager, and being authorized to do so, he executed the foregoing plan by signing that the said corporation is the owner of the designated land, that all necessary approvals of the plan have been obtained and is endorsed thereon, and desire that the forgoing plan may be duly recorded.

My Commission Expires _____ Notary Public _____

CERTIFICATION OF TRUE OWNERSHIP

I, ROBERT E. LEWIS, Manager of JJLH ASSOCIATES, LTD., do hereby certify that the title of the property is in the name of JJLH ASSOCIATES, LTD., as recorded in the office for recording of deeds in Deed Book 6166 Page 02026, Co. Parcel No. 30-00-49316-00-1, Blk 180, Unit 079 and in Deed Book 6136 Page 01271, Co. Parcel No. 30-00-49320-00-6 Blk 180, Unit 076.

_____
ROBERT E. LEWIS, Manager

MCPC No. 19-0276-001

PROCESSED and REVIEWED. Report prepared by Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____

_____
For the Director
Montgomery County Planning Commission

RECORDER OF DEEDS

Recorded in the Office for the Recording of Deeds, in and for the County of Montgomery, in Norristown, PA. in Plan Book _____ Page No. _____ on the _____ day of _____, 2020.

TOWNSHIP SIGNATURES

Approved by the Board of Commissioners of the Township of Abington this _____ day of _____, 2020.

_____
President

Attest _____
Secretary

_____
Engineer

STORMWATER MANAGEMENT:

MUNICIPAL OFFICIAL CERTIFICATION

I, _____, on this date _____, has reviewed and hereby
(Municipal official or designee)
certifies that the Stormwater Management Site Plan meets all design standards and criteria of the Municipal Ordinance No. 2100.

APPLICANT/OWNERS ACKNOWLEDGEMENT

I, _____, on this date _____, acknowledge that any revision
(Applicant/Owner)
to the approved drainage plan must be approved by the Municipality, and that a revised erosion and sediment control plan must be submitted to the Municipality or Conservation District for approval.

DESIGN ENGINEER CERTIFICATION

I, _____, on this date _____, hereby certify that the drainage
Richard A. Stoneback, P.E.
plan meets all requirements of the Department of Environmental Protection's (DEP's) regulations and this Ordinance.

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK - UNIT
180-079
180-076
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

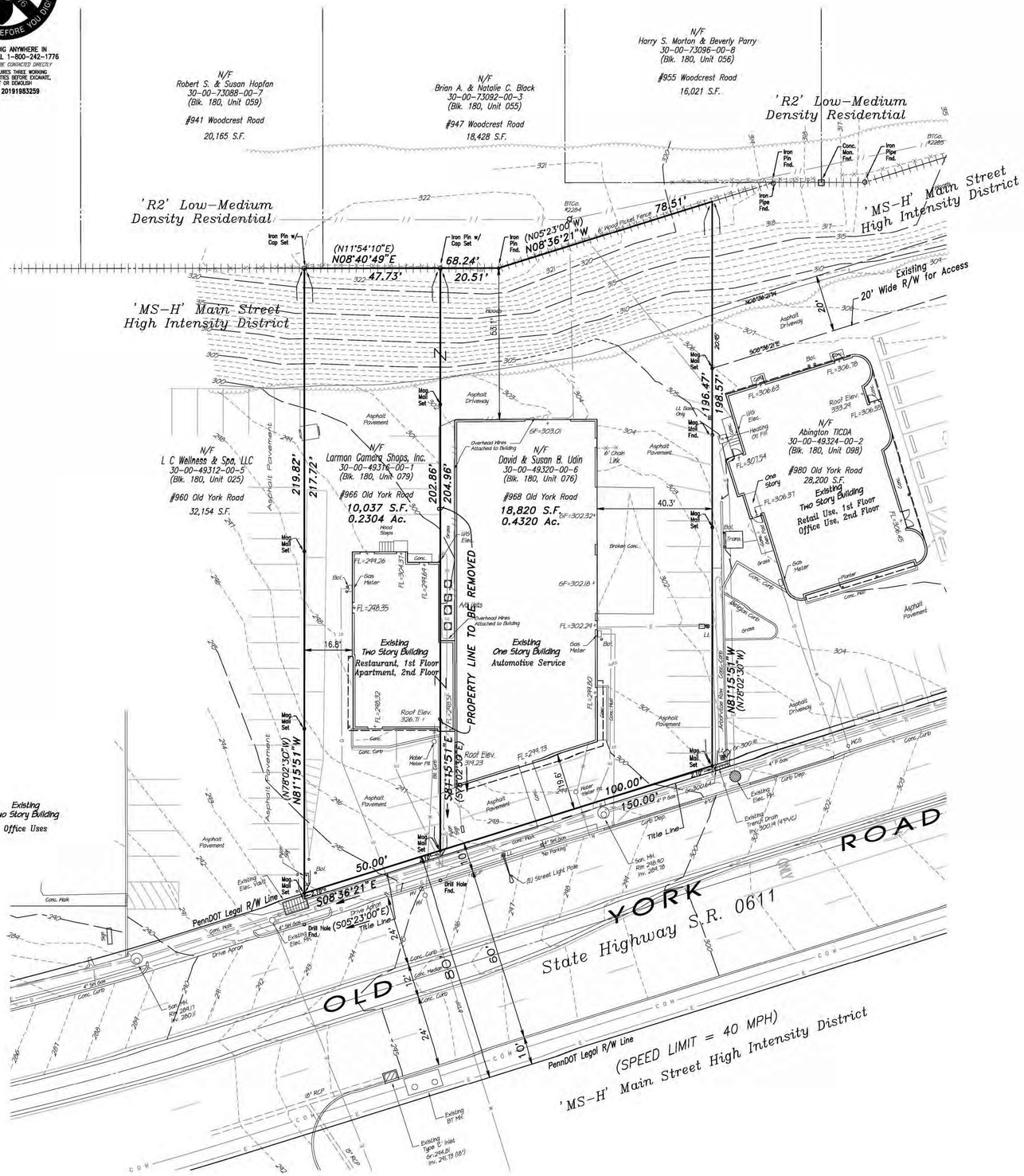
NO	DATE	REVISION	BY
1	1/31/2020	TOWNSHIP STAFF REVIEW	

COVER SHEET
FOR
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE OCTOBER 25, 2019
DWG NO. A-10-731
JOB NO. 25857A
SHEET NO. 1 OF 15

ABINGTON TOWNSHIP NO. LD-19-10

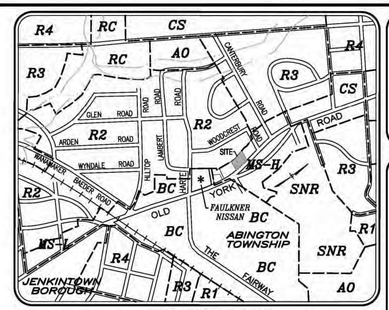
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA. ONE CALL REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE EXCAVATE, DRILL, BLAST OR DEMOLISH
SERIAL NO. 20191983259



LEGEND

EXISTING FEATURES

385	CONTOUR LINE
+402.96	SPOT ELEVATION
+ T:402.96 B:402.46	TOP & BOTTOM CURB ELEVATION
—X—X—X—X	FENCE
FH	FIRE HYDRANT
PE592	UTILITY POLE
GV	GAS VALVE
WV	WATER VALVE
CO	SANITARY CLEAN OUT
WCS	WATER CURB STOP
	STORM SEWER w/ INLET
	SANITARY SEWER w/ MANHOLE
OH	OVERHEAD WIRE
E	ELECTRIC CONDUIT
G	GAS MAIN
W	WATER MAIN
COM	COMMUNICATIONS CONDUIT
	ZONING DISTRICT LINE



LOCATION MAP
SCALE: 1" = 800'

TITLE EXCEPTIONS:

#966 OLD YORK ROAD

LIST OF TITLE EXCEPTIONS AFFECTING SURVEY OF 966 OLD YORK ROAD TAKEN FROM SCHEDULE B, PART II OF THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. H095001278, EFFECTIVE JULY 16, 2018.

#1–#8. Standard Title Exceptions.

#9. Title to that portion of the premises located within the bed of Old York Road is subject to the public and private rights therein.
(PENNSYLVANIA DEPTARTMENT OF TRANSPORTATION RIGHT–OF–WAY, SEE PLAN)

#10. Right–of–Way granted to the Philadelphia Electric Company and The Bell Telephone Company of Pennsylvania recorded in Deed Book 1891, Page 429.
(BLANKET EASEMENT OVER ENTIRE PARCEL)

#11. Agreement as recorded in Deed Book 4710, Page 2465.
(AGREEMENT WITH TENANT DNI, INC., T/A COMPUTYNE, CAN NOT PLOT)

#12. Reservation as to an Easeemnt recorded in Deed Book 3094, Page 180. (Chain)
(20 FOOT WIDE DRIVEWAY AND PASSAGEWAY TO WOODCREST ROAD FOR MEANS OF INGRESS AND EGRESS)

#968 OLD YORK ROAD

LIST OF TITLE EXCEPTIONS AFFECTING SURVEY OF 968 OLD YORK ROAD TAKEN FROM SCHEDULE B, PART II OF THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. H095002674, EFFECTIVE DECEMBER 24, 2018.

#1–#6. Standard Title Exceptions.

#7. Together with right–of–way in common with others as set forth in Deeds of the chain of title including Deed Book 3518, Page 69
(20 FOOT WIDE DRIVEWAY AND PASSAGEWAY TO WOODCREST ROAD FOR MEANS OF INGRESS AND EGRESS)

#8. Acreage content not insured.

#9 Water, Refuse and Sewer Rents due for Current Year.

REFERENCE PLANS:

1. Plan of Woodcrest, prepared by George B. Mebus, Registered Professional Engineer, dated October 2, 1947.
2. Plan of Lot No. 15, Part of Woodcrest, made for George Goodman by George B. Mebus Registered Professional Engineer, dated December 8, 1953 and last revised May 23, 1955.
3. Plan of Property made for ESSO Standard Oil Company by Charles E. Shoemaker, Inc. dated May 6, 1957, Dwg. No. A–10–179.
4. Plan of Property made for The Goodyear Tire & Rubber Company, Inc. by Charles E. Shoemaker, Inc. dated November 29, 1957, Dwg. No. A–10–186.
5. Plan of Property made for A.G. Foods Inc. by Haggerty & Hagan, Inc., dated May 19, 1966
6. Plan of Property made for Abington Township Industrial & Commercial Development Authority by Charles E. Shoemaker, Inc. dated March 10, 1983 and revised July 29, 1983, Dwg. No. A–10–337–A.

GENERAL NOTES:

1. Metes, Bounds and Area of subject property taken from deeds, plans of record, field survey by Charles E. Shoemaker, Inc during August 2018, and Title Commitment prepared by First American Title Insurance Company for JJLH Associates, LTD. Line bearings are based upon NAD83 azimuth. Title deed bearings shown in parentheses, (S05°23'E).

   Reference: First American Title Insurance Company Title Commitment No. H095002378 prepared for JJLH Associates, LTD for #966 Old York Road, dated July 16, 2018.

   Reference: First American Title Insurance Company Title Commitment No. H095002674 prepared for JJLH Associates, LTD for #968 Old York Road, dated December 24, 2018.
2. Topographical surveys were performed by Charles E. Shoemaker, Inc. during August 2018. Elevations based upon NVD 88 Datum.
3. The subject property is located outside of the 100–year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0401G, (Panel 401 of 451), effective March 2, 2016.
4. Existing underground utility locations were plotted from utility company plan records supplied to us in accordance with PA ONE CALL or by physical survey location. All underground utility locations are approximate only. Contractors are REQUIRED by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.
5. Public water is provided by Aqua Pennsylvania, Inc. Sanitary sewage conveyance provided by Abington Township and Philadelphia Water Department with treatment at the Northeast Philadelphia Waste Water Treatment Plant.
6. Soils on this site have been identified by the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey for Montgomery County, PA, Version 11, dated October 4, 2017. Soils on these sites have been identified as 'UgD' Urban land, 8–25 percent slopes, 'UrlB' Urban land–Gladstone complex, 0–8 percent slopes and 'UugD' Urban land–Udorthents schist and gneiss complex, 8–25 percent slopes.
7. #966 & #968 Old York Road, tax parcels 30–00–49316–00–1 (Block 180, Unit 079) and 30–00–49320–00–6 (Block 180, Unit 076) are to be merged in one common deed and parcel number.

SITE AREAS:

Parcel No. 30–00–49316–00–1, #966 Old York Road
Title Lines: 10,137 S.F. or 0.2327 Ac.
Legal R/W Lines: 10,037 S.F. or 0.2304 Ac.

Parcel No. 30–00–49320–00–6, #968 Old York Road
Title Lines: 19,020 S.F. or 0.4366 Ac.
Legal R/W Lines: 18,820 S.F. or 0.4321 Ac.

TOTAL PROJECT AREA: #966 & 968 OLD YORK ROAD
Legal R/W Lines: 28,857 S.F. or 0.6625 Ac.

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
GARY A. TILFORD
LAND SURVEYOR
SU-032144-E

COUNTY PARCEL NO.
30–00–49316–00–1
30–00–49320–00–6
BLOCK – UNIT
180–076
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

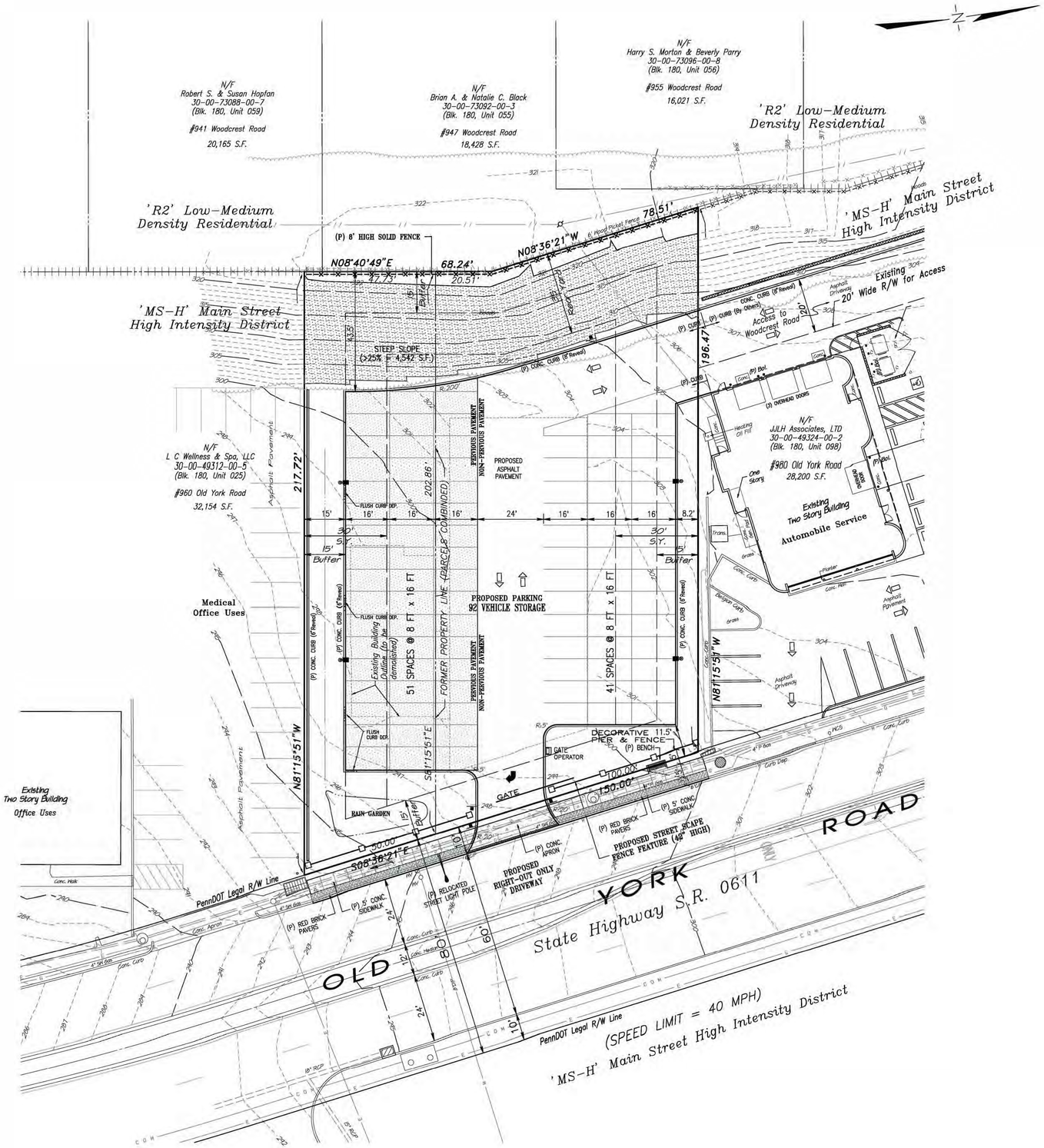
CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA. 19001
PHONE: 215–887–2165 FAX: 215–576–7791
E–MAIL: staff@ceshoemaker.com

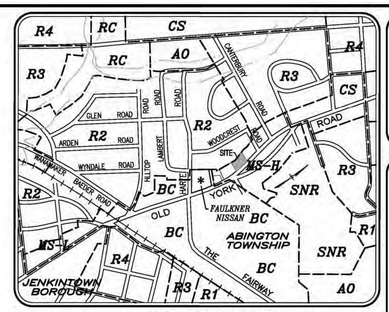
SCALE 1" = 20'
0' 10' 20' 40' 60'

DATE	NO.	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	CAT

LOT LINE CONSOLIDATION PLAN
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE OCTOBER 25, 2019
DWG NO. A–10–732
JOB NO. 25857A
SHEET NO. 2 OF 15





LOCATION MAP
SCALE: 1" = 800'

LEGEND

EXISTING FEATURES

- 385 — CONTOUR LINE
- +402.96 — SPOT ELEVATION
- + T:402.96 B:402.46 — TOP & BOTTOM CURB ELEVATION
- FENCE
- FH — FIRE HYDRANT
- PE592 — UTILITY POLE
- GV — GAS VALVE
- WV — WATER VALVE
- CO — SANITARY CLEAN OUT
- WCS — WATER CURB STOP
- STORM SEWER w/ INLET
- SANITARY SEWER w/ MANHOLE
- OVERHEAD WIRE
- E — ELECTRIC CONDUIT
- G — GAS MAIN
- W — WATER MAIN
- COM — COMMUNICATIONS CONDUIT
- ZONING DISTRICT LINE
- SLOPES > 25%

PROPOSED FEATURES

- NEW CONCRETE WALK
- NEW ASPHALT PAVEMENT
- TRAFFIC CONTROL SIGN
- 8' HIGH SOLID FENCE
- DECORATIVE PIER & FENCE

GENERAL NOTES:

1. Metes, Bounds and Area of subject property taken from deeds, plans of record, field survey by Charles E. Shoemaker, Inc during August 2018, and Title Commitment prepared by First American Title Insurance Company for JJLH Associates, LTD. Line bearings are based upon NAD83 azimuth.

   Reference: First American Title Insurance Company Title Commitment No. H095002378 prepared for JJLH Associates, LTD for #966 Old York Road, dated July 16, 2018.

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2. Topographical surveys were performed by Charles E. Shoemaker, Inc. during August 2018. Elevations based upon NVD 88 Datum.

3. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0401G, (Panel 401 of 451), effective March 2, 2016.

4. Existing underground utility locations were plotted from utility company plan records supplied to us in accordance with PA ONE CALL or by physical survey location. All underground utility locations are approximate only. Contractors are REQUIRED by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.

5. Public water is provided by Aqua Pennsylvania, Inc. Sanitary sewage conveyance provided by Abington Township and Philadelphia Water Department with treatment at the Northeast Philadelphia Waste Water Treatment Plant.

6. Soils on this site have been identified by the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey for Montgomery County, PA, Version 11, dated October 4, 2017. Soils on these sites have been identified as 'UgD' Urban land, 8-25 percent slopes, 'UrlB' Urban land-Gladstone complex, 0-8 percent slopes and 'UugD' Urban land-Udorthents schist and gneiss complex, 8-25 percent slopes.

7. #966 & #968 Old York Road, tax parcels 30-00-49316-00-1 (Block 180, Unit 079) and 30-00-49320-00-6 (Block 180, Unit 076) are to be merged in one common deed and parcel number.

8. Old York Road is a Pennsylvania State Highway. Where a plan requires access to a highway which is under the jurisdiction of the Pennsylvania Department of Transportation, A Highway Occupancy Permit is required by Section 420 P.L. 1242, No. 428 known as the 'State Highway Law', before driveway access to a state highway is permitted or constructed.

9. The Developer shall be responsible for providing as-built plans to Abington Township of all new stormwater management facilities shown on the approved plans.

SITE AREAS:

Parcel No. 30-00-49316-00-1, #966 Old York Road
Title Lines: 10,137 S.F. or 0.2327 Ac.
Legal R/W Lines: 10,037 S.F. or 0.2304 Ac.

Parcel No. 30-00-49320-00-6, #968 Old York Road
Title Lines: 19,020 S.F. or 0.4366 Ac.
Legal R/W Lines: 18,820 S.F. or 0.4321 Ac.

COMBINED PROJECT AREA: #966 & #968 OLD YORK ROAD
Legal R/W Lines: 28,857 S.F. or 0.6625 Ac.

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
GARY A. TILFORD
LAND SURVEYOR
SU-037144-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK - UNIT
180-079
180-076
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA. 19001
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@cesheomaker.com

SCALE 1" = 20'
0' 10' 20' 40' 60'

DATE	NO	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	CAT

LAND DEVELOPMENT PLAN
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A-10-733
JOB NO.
25857A
SHEET NO.
3 OF 15

ARTICLE X: 'MS-H' MAIN STREET-HIGH INTENSITY/DENSITY DISTRICT

REGULATION	Z.O. SEC. No.	REQUIRED	EXISTING	PROPOSED
LOT USE:	SEC. 1005			
By-Right			#968 C-3 Automobile Service #966 C-27 Restaurant, take-out	C-2 Automobile Sales (class 2)
DIMENSIONAL STANDARDS:	SEC. 1006, Fig. 10.18		(AS COMBINED PARCELS)	
LOT AREA, Min. (class 2)		30,000 FT.	28,857 S.F. ✱	28,857 S.F.
LOT WIDTH @ BSBL, Min.		100 FT.	150 FT.	150 FT.
GREEN AREA, Min. (class 2)		35 %	21.1% (6,111 S.F.) ✱	38.5% (11,129 S.F.)
BUILDINGS ON THE SAME LOT SEPARATION, Min.		20 FT.	0 FT.	N/A
LARGEST BUILDING LOCATION (1)		50 %	0% ✱	N/A
BUILDING SETBACKS:	SEC. 1006, Fig. 10.18			
BUILD-TO-LINE (15' to 25' from curb)		N/A	29.9 FT.	–
SIDE YARD, Min. (class 2)		30 FT.	16.8 FT.	N/A
REAR YARD, Min. (class 2)		35 FT.	53.2 FT.	N/A
BUILDING SETBACK FROM ABUTTING R1/R2/R3/R4 DISTRICTS, Min.		40 FT.	53.1 FT.	N/A
TRASH STORAGE FROM ABUTTING R1/R2/R3/R4 DISTRICTS, Min.		20 FT.	40 FT.	N/A
BUILDINGS:	SEC. 1006, Fig. 10.18			
FACADE HEIGHT, Min. (2)		20 FT.	28.7 FT., 2-STY.	N/A
BUILDING HEIGHT, Max.		35 FT.	28.7 FT., 2-STY.	N/A
PARKING:	SEC. 1006, Fig. 10.18			
SETBACK FROM STREET WALL AND LANDSCAPING, Min. (3)		5 FT.	N/A	N/A
PARKING WIDTH BETWEEN PRINCIPAL BUILDING AND SIDE LOT LINE, Max. (4)		70 FT.	N/A	N/A
PARKING SETBACK FROM ABUTTING R1/R2/R3/R4 DISTRICTS, Min.		20 FT.	61.0 FT.	43.5 FT.
PARKING SETBACK FROM 'MS' TO ALL OTHER DISTRICTS, Min.		10 FT. (0 FT if shared parking)	N/A	N/A
STREET ACCESS WIDTH, (two way), Max. (5)		35 FT.	35 FT.	24 FT.
DESIGN:				
SIDEWALKS AND STREET WALL	SEC. 1007.D.	(6)	NONE ✱	PROVIDED/NOT REQUIRED
FENCE HEIGHT	SEC. 2103.A-13.1.	6 FT., Max.	6 FT.	8 FT. [VARIANCE SEC. 2103.A-13.1.]
No. PARKING SPACES C-2 Automobile Sales	SEC. 2304.C.2.	N/A	#966 Old York Rd. 11 SPACES #968 Old York Rd. 17 SPACES	92 SPACES
PARKING LOT LANDSCAPING:	SEC. 2402.			
PLANTING ISLANDS	SEC. 2402.A.2.a.			
Along Periphery	SEC. 2402.A.2.a.[1].	1 Every 15 Stalls	NONE ✱	17 STALLS [VARIANCE SEC. 2402.A.2.a.[1]]
Along Internal Rows	SEC. 2402.A.2.a.[2].	1 ea. 15 Stalls	NONE ✱	17 STALLS
End of Rows	SEC. 2402.A.2.a.[2].	1 Each End	NONE ✱	NONE [VARIANCE SEC. 2402.A.2.a.[2]]
PERIMETER BUFFER	SEC. 2402.A.5.a. (exception: to those parking lots with street wall)	10 FT. Width	0 FT. ✱	8.2 FT. [VARIANCE SEC. 2402.A.5.a.]
PARKING GREEN AREA (7)	SEC. 2402.A.6.	10 %, Min.	(0 S.F.) or 0.0% ✱	(0 S.F.) or 0.0% [VARIANCE SEC. 2402.A.6]
BUFFERS AND SCREENS:	SEC. 2403.			
PROPERTY LINES	SEC. 2403.B.3.a.	15 FT., Min.	D FT. ✱	8.2 FT. [VARIANCE SEC. 2402.B.]
SIDEWALK AND STREETSCAPE DESIGN, ARTICLE XXV:				
STREET WALL:	SEC. 2500.			
FENCE OR WALL LOCATION	SEC. 2500.A.1.	Within 5 FT. of sidewalk	NONE ✱	5 FT.
Fence Height		36"-42"		42" High
Wall Height		30", Max.		N/A
MIN. LANDSCAPE WIDTH	SEC. 2500.A.2.	3 FT., street side	0 FT.	3 FT.
STREET FRONT SIDEWALKS:	SEC. 2504.			
Public Street Sidewalk	SEC. 2504.B.1.	8 FT.	5 FT. ✱	5 FT. [VARIANCE SEC. 2504.B.1]
Verge Width	SEC. 2504.E.	3 FT., Min.	3 FT.	3 FT.

✱ – INDICATES AN EXISTING NON-CONFORMING CONDITION

[VARIANCE SEC. XXXX.X(x)] – INDICATES VARIANCE GRANTED BY ZHB MAY 23, 2019

FOOTNOTES:

(1) The largest building on-lot must have at least 50% on its front facade located in the build-to-zone.

(2) Minimum facade height applies to front facades, measured from lowest visible part of facade to lowest part of roof, when visible from the street.

(3) Street wall required when building is more than 20 feet from Ultimate R/W.

(4) Features such as overhangs, upper floor balconies and similar architectural features placed on the front side of the building may extend closer to the street than the minimum build-to line, and/or up to three feet into the right-of-way, but no closer than five feet to the curb line.

(5) An island will be required to separate inbound from outbound travel lanes at parking lot entrances.

(6) Street Wall: Parking is encouraged to be provided to the side or rear of their buildings, where feasible. When parking is located between the building and street, it shall be screened by a decorative low wall or fence, and with landscaping.

(7) Parking areas over 15,000 S.F. in gross area require 10% devoted to landscaping.

ZONING HEARING BOARD APPROVAL FOR JJLH Associates, Ltd CASE No. 19-02, GRANTED MAY 23, 2019:

1. Z.O. Sec. 2504.B.1 – Sidewalks
2. Z.O. Sec. 2402.A.2 – Landscape Islands
3. Z.O. Sec. 2402.A.5 – Perimeter Buffer Width
4. Z.O. Sec. 2402.A.6 – Green Space Location
5. Z.O. Sec. 2402.B – Property Line Buffer
6. Z.O. Sec. 2103.A – Fence Height

ARTICLE XXI: USE REGULATIONS

RETAIL & SERVICE USES – USE C-2: AUTOMOTIVE SALES

REGULATION	Z.O. SEC. No.
Use C-2.	SEC. 2103.C.

Automotive sales uses include facilities for the sale or lease of new or used automobiles, motorcycles, trailers trucks, boats, and the like, provided:

1. Primary access to the sales facility shall be from an arterial or collector road.
2. Customer and employee parking areas must be clearly identified, and not used for vehicle display purposes.
3. Except for incidental emergency repair work, vehicle repairs and service must be conducted indoors.
4. Vehicle delivery shall be conducted on-site, or through off-site contract arrangements, but not from public streets or right-of-ways.
5. Elevated stands for display of vehicles must be located at least five feet (5') from any property line.
6. Test drives shall not be conducted through residential districts, and specific routes shall be approved by the Township.
7. Collective accessory uses to the principal use of selling or leasing shall not occupy more than 50% of the premises and must be conducted in direct relationship to the principal use. Accessory repair/auto body shop operations must be located to the side or rear of the principal use.
8. Vehicle display spaces may be reduced to 8 feet x 16 feet and may be stacked up to three cars deep without aisle ways. The first row of front yard display vehicles adjacent to the public right-of-way may not be parked or displayed any tighter than achieved with 10-foot wide parking spaces.
9. Front yard display vehicles may not protrude into the public right-of-way or over public sidewalks or buffer areas.
10. Sound systems shall not be audible off-site.
11. Delivery canopies shall not be located in restricted yard areas.

ARTICLE XXIII: PARKING AND TRANSPORTATION

COMMERCIAL LAND USES:

REGULATION	Z.O. SEC. No.
Use C-2: Automobive Sales:	SEC. 2304.C.2.

One space for each vehicle displayed or intended for sale (see use classification for size of display spaces), plus one standard size parking space for every 200 square feet of gross floor area devoted to office, sales, showroom or stackroom use; plus parking spaces required for Use C-3: Automotive Service, if applicable.

Storage/Display: 92 Vehicles
Office, sales, showroom or stackroom use: None
Automoble Service: None

PARKING PROVIDED = 92 Spaces

VEHICLE DISPLAY SIZE: SEC. 2103.C.8. 8 FT. x 16 FT. w/ UP TO 3 CARS DEEP STACKED

PARKING SPACE FORMULA: SEC. 2305.E.
Parking reduction factors: NONE APPLICABLE

PARKING FOR INDIVIDUALS WITH DISABILITIES: SEC. 2307.
Vehicle Storage: NOT APPLICABLE

PARKING LOT AND FRONTAGE DEVELOPMENT STANDARDS: SEC. 2310.
Width of drives and parking aisles SEC. 2310.A. 24 FT Two-way, 12 FT One-way
Parking Access and Traffic Control SEC. 231D.F.2.

Parking Separation from Street. In order to minimize traffic congestion and hazard, no area of parking; or for the display, storage, sale, or movement of motor vehicles shall directly abut a public street or highway unless separated from the street or highway by a raised curb and barrier planting strip, wall, or other effective barrier against traffic, except at necessary access ways.

MS Main Street Districts: SEC. 231D.F.12. NOT APPLICABLE

Nonresidential side yards containing an access driveway to rear parking areas shall be a minimum of 20 feet wide.

ARTICLE XVI: STEEP SLOPE CONSERVATION DISTRICT

DEFINITIONS: SEC. 201

Steep Slope: Natural or man-made area of land where the average slope exceeds 15%, measured over a ten foot (10') horizontal distance.

DELINEATION OF STEEP SLOPE CONSERVATION DISTRICT: SEC. 1601.

A. Precautionary Slope: those slopes greater than 15% and less than or equal to 25%, measured over a ten foot run. (0 S.F.)

B. Prohibitive Slope: those slopes greater than 25% measured over a ten foot run. (4,542 S.F.)

STEEP SLOPE CONSERVATION DISTRICT PROTECTION STANDARDS: SEC. 1603.

Prohibitive Slopes (greater than 25%): SEC. 1603.B.

On at least 90% of the prohibitive slope area, development, regrading or stripping of vegetation shall be prohibited unless the disturbance is for roadway crossings or utility construction, and unless it can be demonstrated that the roadway or utility improvements are necessary in the sloped area. In no case, however, shall more than 15% of the total prohibitive slope areas be developed, regraded and/or disturbed (even if roadway crossings. and or utility construction is permitted in the prohibitive slope area).

PROHIBITIVE SLOPE AREA >25% = 4,542 S.F.
PROPOSED PROHIBITIVE SLOPE DISTURBANCE = 406 S.F. or 9.0%

Precautionary Slopes (15% to 25%): SEC. 1603.C.

On at least 75% of the precautionary slope area, development, regrading or stripping of vegetation shall be prohibited.

PRECAUTIONARY SLOPE AREA 15%-25% = 0 S.F.
PROPOSED PRECAUTIONARY SLOPE DISTURBANCE = 0 S.F. or 0%

ART. XXIII: PARKING & TRANSPORTATION: Sec. 2300.

REGULATION	SECTON	REQUIREMENT	PROPOSED
PARKING USE REQUIREMENTS:	Z.O. Sec. 2300.		
Shared Parking and Access	Z.O. Sec. 2313.	The area on which they are parked cannot be parking spaces required for uses already on the lot.	92 Parking Spaces
PARKING LOT & FRONTAGE STANDARDS:	Z.O. Sec. 2310.		
Parking & Drive Aisle Width, Min.	Z.O. Sec. 2310.A.	12 Ft., One Way	N/A
		24 Ft., Two Way	24 Ft.
Bldg/Parking Setback, Min.	Z.O. Sec. 2310.D.	5 Ft.	13 Ft.
Standard Parking Space Size	S.O. Sec. 146-28	10 Ft. x 20 Ft.	N/A
Stacked Parking Space Size	Z.O. Sec. 2103.C.	8 Ft. x 16 Ft.	8 Ft. x 16 Ft.

PARKING LOT LANDSCAPING AND STREET TREES:

REGULATION	SECTON	REQUIREMENT	PROPOSED
PLANTING ISLANDS:	Z.O. Sec. 2402		
Island Location	Z.O. Sec. 2402.A.2.A.[1]	Every 15 Spaces	17 Spaces ✱
Spaces in Raw, Max.	Z.O. Sec. 2402.A.2.A.[2]	15 Spaces	17 Spaces ✱
Island Size, Min.	Z.O. Sec. 2402.A.2.A.[3]	10 Ft. x 18 Ft.	NONE
Tree Caliper, Min.	Z.O. Sec. 2402.A.2.A.[4]	3 Inches	N/A
Irrigated Islands	Z.O. Sec. 2402.A.2.A.[5]	< 300 S.F.	N/A
Parking Green Area, Min.	Z.O. Sec. 2402.A.6.	10 %	0.0 % ✱

✱ – INDICATES VARIANCE GRANTED, CASE NO. 19-02 ON MAY 23, 2019

STORMWATER MAINTENANCE:

1. The stormwater management facilities shown hereon are permanent facilities and shall not be modified or removed unless prior approval is granted by Abington Township. The property owner, their successors or assigns, shall be responsible for the perpetual maintenance of all grades and elevations of such facilities, and shall do nothing to alter or damage same, or other structures and devices. These responsibilities shall include routine lawn care, removal of ordinary innocuous debris that may obstruct the proper operation of the facilities. Abington Township shall have perpetual easement on and over the property for access to the proposed rain garden & infiltration facilities for the purpose of emergency maintenance and repair of said permanent facilities. The aforesaid responsibilities of the property owner shall be subject to enforcement by Abington Township. In the event that the owner fails to honor the responsibility set forth herein, in any manner, Abington Township shall have the right of entry upon and within the area of the facilities to undertake such corrective or maintenance efforts. The cost of such, as well as administrative, engineering, and legal costs shall be owners, as determined and assessed by Abington Township. Failure to remedy all associated costs described, may be subject of the imposition of a lien by the Township against the premises in question, in the same manner as the Township might otherwise be empowered by law to assess or oppose a lien against a property for municipal improvements.

LANDSCAPE PLANTING GUARANTEE:

1. All required landscaping shall be guaranteed by the subdivider/developer for a period of one (1) year after the Township has issued an occupancy permit for the property. It shall be the responsibility of the subdivider/developer to protect, maintain, and feed both new and existing plant materials during this period. An inspection shall be made by the Township at the end of the one (1) year period and any materials unacceptable at the time of inspection shall be replaced in order to satisfy the landscape requirements of the Township.

WAIVERS REQUESTED:

1. S.O. Sec. 146-11.B.(7) – UTILITIES – Waiver of the requirement to provide all utility information within 400 feet of the subject property;
2. S.O. Sec. 146-11.J – RECREATIONAL FACILITIES PLAN – Waiver from the requirement to provide recreational facilities;
3. S.O. Sec. 146-43.C.(3)(a) – CUT AND FILL SLOPES – Waiver from the requirement cut and fill slopes not be 15% or steeper. Swale, landscape berm and rain garden berm exceeds 15% but shown not greater than 33% (3:1).

COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL GARY A. TILFORD LAND SURVEYOR SU-033144-E

COUNTY PARCEL NO.	BLOCK – UNIT	SITE ADDRESS
30-00-49316-00-1	180-079	966 OLD YORK ROAD JENKINTOWN, PA 19046
30-00-49320-00-6	180-076	968 OLD YORK ROAD JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

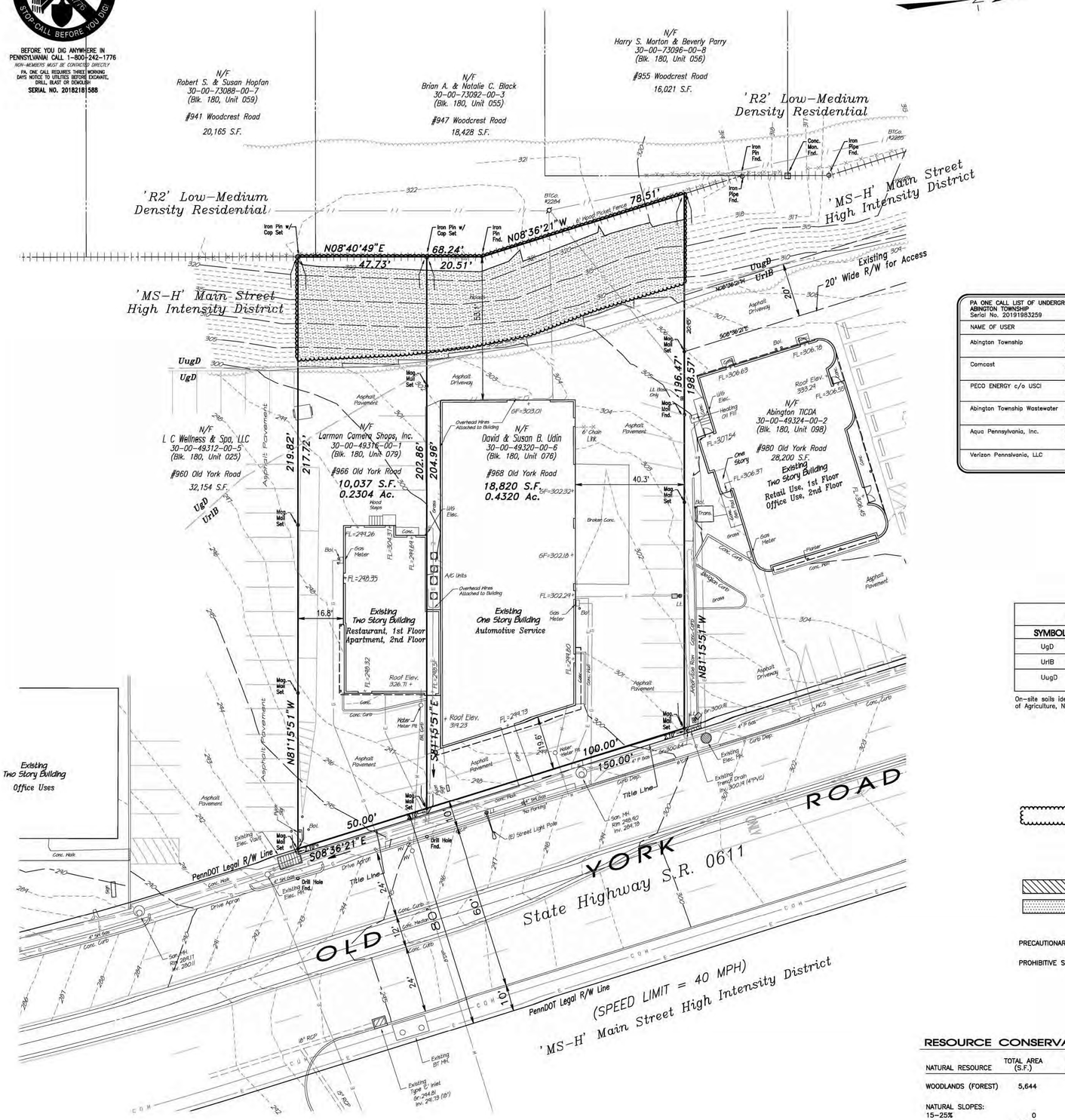
DATE	NO	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	GAT

PROJECT NOTES
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE OCTOBER 25, 2019
DWG NO. A-10-734
JOB NO. 25857A
SHEET NO. 4 OF 15

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776
STOP-CALL BEFORE YOU DIG!

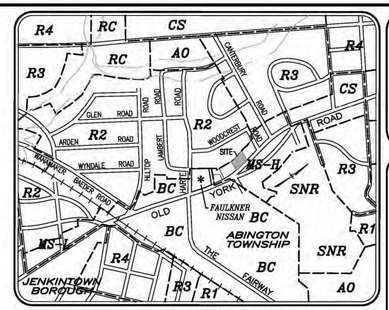
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA. ONE CALL REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE EXCAVATE, DRILL, BLAST OR DEMOLISH
SERIAL NO. 20182181588



LEGEND

EXISTING FEATURES

385	CONTOUR LINE
+402.96	SPOT ELEVATION
T:402.96 B:402.46	TOP & BOTTOM CURB ELEVATION
	FENCE
FH	FIRE HYDRANT
PE592	UTILITY POLE
GV	GAS VALVE
WV	WATER VALVE
CO	SANITARY CLEAN OUT
WCS	WATER CURB STOP
	STORM SEWER w/ INLET
	SANITARY SEWER w/ MANHOLE
	OVERHEAD WIRE
E	ELECTRIC CONDUIT
G	GAS MAIN
W	WATER MAIN
COM	COMMUNICATIONS CONDUIT
	ZONING DISTRICT LINE
	SOIL BOUNDARY LINE



LOCATION MAP
SCALE: 1" = 800'

PA ONE CALL LIST OF UNDERGROUND USERS ABINGTON TOWNSHIP Serial No. 20191983259		Date Contacted: 7/17/2019
NAME OF USER	USERS ADDRESS	CONTACT PERSON
Abington Township	1176 Old York Road Abington, PA 19001	Scott Marlin smarlin@abington.org
Comcast	4400 Wayne Avenue Philadelphia, PA 19140	Robert Harvey bob_harvey@cable.comcast.com
PECO ENERGY c/o USCI	450 S. Henderson Road, Suite B King of Prussia, PA 19406	Nikkia Simpkins nikkia.simpkins@usicllc.com
Abington Township Wastewater	1000 Fitzwatertown Road Abington, PA 19001	George Wrigley gwrigley@abington.org
Aqua Pennsylvania, Inc.	762 W. Lancaster Aveune Bryn Mawr, PA 19010	Steve Pizzi sbplzzi@aquaamerica.com
Verizon Pennsylvania, LLC	1050 Virginia Drive Fort Washington, PA 19034	Laura Lippincott laura.d.lippincott@one.verizon.com

SOIL CLASSIFICATIONS	
SYMBOL	SOILS
UgD	Urban land, 8 to 25% slopes
UrlB	Urban land-Gladstone complex, 0 to 8% slopes
UugD	Urban land-Udorthents, schist and gness complex, 8 to 25% slopes

On-site soils identified and mapped from the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey

WOODLANDS

WOODLANDS TO BE PRESERVED

STEEP SLOPES

SLOPES 15% – 25%

SLOPES >25%

PRECAUTIONARY SLOPE: those slopes greater than 15% and less than or equal to 25%, measured over a ten foot run.

PROHIBITIVE SLOPE: those slopes greater than 25% measured over a ten foot run.

RESOURCE CONSERVATION DATA

NATURAL RESOURCE	TOTAL AREA (S.F.)	DISTURBED AREA (S.F.)	PRESERVED AREA (S.F.)	% PRESERVED AREA (%)	REQUIRED PRESERVED AREA (%)
WOODLANDS (FOREST)	5,644	834	4,910	87.0%	25% MIN.
NATURAL SLOPES:					
15-25%	0	0	0	100%	75% MIN.
> 25%	4,542	406	4,136	91.0%	90% MIN.

TITLE EXCEPTIONS:

#966 OLD YORK ROAD

LIST OF TITLE EXCEPTIONS AFFECTING SURVEY OF 966 OLD YORK ROAD TAKEN FROM SCHEDULE B, PART II OF THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. H095001278, EFFECTIVE JULY 16, 2018.

#1–#8. Standard Title Exceptions.

#9. Title to that portion of the premises located within the bed of Old York Road is subject to the public and private rights therein.
(PENNSYLVANIA DEPTARTMENT OF TRANSPORTATION RIGHT–OF–WAY, SEE PLAN)

#10. Right–of–Way granted to the Philadelphia Electric Company and The Bell Telephone Company of Pennsylvania recorded in Deed Book 1891, Page 429.
(BLANKET EASEMENT OVER ENTIRE PARCEL)

#11. Agreement as recorded in Deed Book 4710, Page 2465.
(AGREEMENT WITH TENANT DNI, INC., T/A COMPUTYNE, CAN NOT PLOT)

#12. Reservation as to an Easeemnt recorded in Deed Book 3094, Page 180. (Chain)
(20 FOOT WIDE DRIVEWAY AND PASSAGEWAY TO WOODCREST ROAD FOR MEANS OF INGRESS AND EGRESS)

#968 OLD YORK ROAD

LIST OF TITLE EXCEPTIONS AFFECTING SURVEY OF 968 OLD YORK ROAD TAKEN FROM SCHEDULE B, PART II OF THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. H095002674, EFFECTIVE DECEMBER 24, 2018.

#1–#6. Standard Title Exceptions.

#7. Together with right–of–way in common with others as set forth in Deeds of the chain of title including Deed Book 3518, Page 69
(20 FOOT WIDE DRIVEWAY AND PASSAGEWAY TO WOODCREST ROAD FOR MEANS OF INGRESS AND EGRESS)

#8. Acreage content not insured.

#9 Water, Refuse and Sewer Rents due for Current Year.

REFERENCE PLANS:

1. Plan of Woodcrest, prepared by George B. Mebus, Registered Professional Engineer, dated October 2, 1947.
2. Plan of Lot No. 15, Part of Woodcrest, made for George Goodman by George B. Mebus Registered Professional Engineer, dated December 8, 1953 and last revised May 23, 1955.
3. Plan of Property made for ESSO Standard Oil Company by Charles E. Shoemaker, Inc. dated May 6, 1957, Dwg. No. A–10–179.
4. Plan of Property made for The Goodyear Tire & Rubber Company, Inc. by Charles E. Shoemaker, Inc. dated November 29, 1957, Dwg. No. A–10–186.
5. Plan of Property made for A.G. Foods Inc. by Haggerty & Hagan, Inc., dated May 19, 1966
6. Plan of Property made for Abington Township Industrial & Commercial Development Authority by Charles E. Shoemaker, Inc. dated March 10, 1983 and revised July 29, 1983, Dwg. No. A–10–337–A.

GENERAL NOTES:

1. Metes, Bounds and Area of subject property taken from deeds, plans of record, field survey by Charles E. Shoemaker, Inc during August 2018, and Title Commitment prepared by First American Title Insurance Company for JJLH Associates, LTD. Line bearings are based upon NAD83 azimuth. Title deed bearings shown in parentheses, (S05°23'E).

   Reference: First American Title Insurance Company Title Commitment No. H095002378 prepared for JJLH Associates, LTD for #966 Old York Road, dated July 16, 2018.

   Reference: First American Title Insurance Company Title Commitment No. H095002674 prepared for JJLH Associates, LTD for #968 Old York Road, dated December 24, 2018.
2. Topographical surveys were performed by Charles E. Shoemaker, Inc. during August 2018. Elevations based upon NVD 88 Datum.
3. The subject property is located outside of the 100–year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0401G, (Panel 401 of 451), effective March 2, 2016.
4. Existing underground utility locations were plotted from utility company plan records supplied to us in accordance with PA ONE CALL or by physical survey location. All underground utility locations are approximate only. Contractors are REQUIRED by PA ONE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.
5. Public water is provided by Aqua Pennsylvania, Inc. Sanitary sewage conveyance provided by Abington Township and Philadelphia Water Department with treatment at the Northeast Philadelphia Waste Water Treatment Plant.
6. Soils on this site have been identified by the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey for Montgomery County, PA, Version 11, dated October 4, 2017. Soils on these sites have been identified as 'UgD' Urban land, 8–25 percent slopes, 'UrlB' Urban land–Gladstone complex, 0–8 percent slopes and 'UugD' Urban land–Udorthents schist and gneiss complex, 8–25 percent slopes.
7. The subject properties are zoned 'MS–H' Main Street – High Intensity/Density District.
8. Stormwater infiltration testing was performed and evaluated by VW Consultants, LLC. of Quakertown, PA. Site testing was performed on September 11, 2019 and results summarized in the Stormwater Infiltration Testing Report dated October 6, 2019.

SITE AREAS:

Parcel No. 30–00–49316–00–1, #966 Old York Road
Title Lines: 10,137 S.F. or 0.2327 Ac.
Legal R/W Lines: 10,037 S.F. or 0.2304 Ac.

Parcel No. 30–00–49320–00–6, #968 Old York Road
Title Lines: 19,020 S.F. or 0.4366 Ac.
Legal R/W Lines: 18,820 S.F. or 0.4321 Ac.

TOTAL PROJECT AREA: #966 & 968 OLD YORK ROAD
Legal R/W Lines: 28,857 S.F. or 0.6625 Ac.

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
GARY A. TILFORD
LAND SURVEYOR
SU-033144-E

COUNTY PARCEL NO.	BLOCK – UNIT	SITE ADDRESS
30-00-49316-00-1 30-00-49320-00-6	180-079 180-076	966 OLD YORK ROAD JENKINTOWN, PA 19046 968 OLD YORK ROAD JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA. 19001
PHONE: 215–887–2165 FAX: 215–576–7791
E–MAIL: staff@ceshoemaker.com

SCALE 1" = 20'
0' 10' 20' 40' 60'

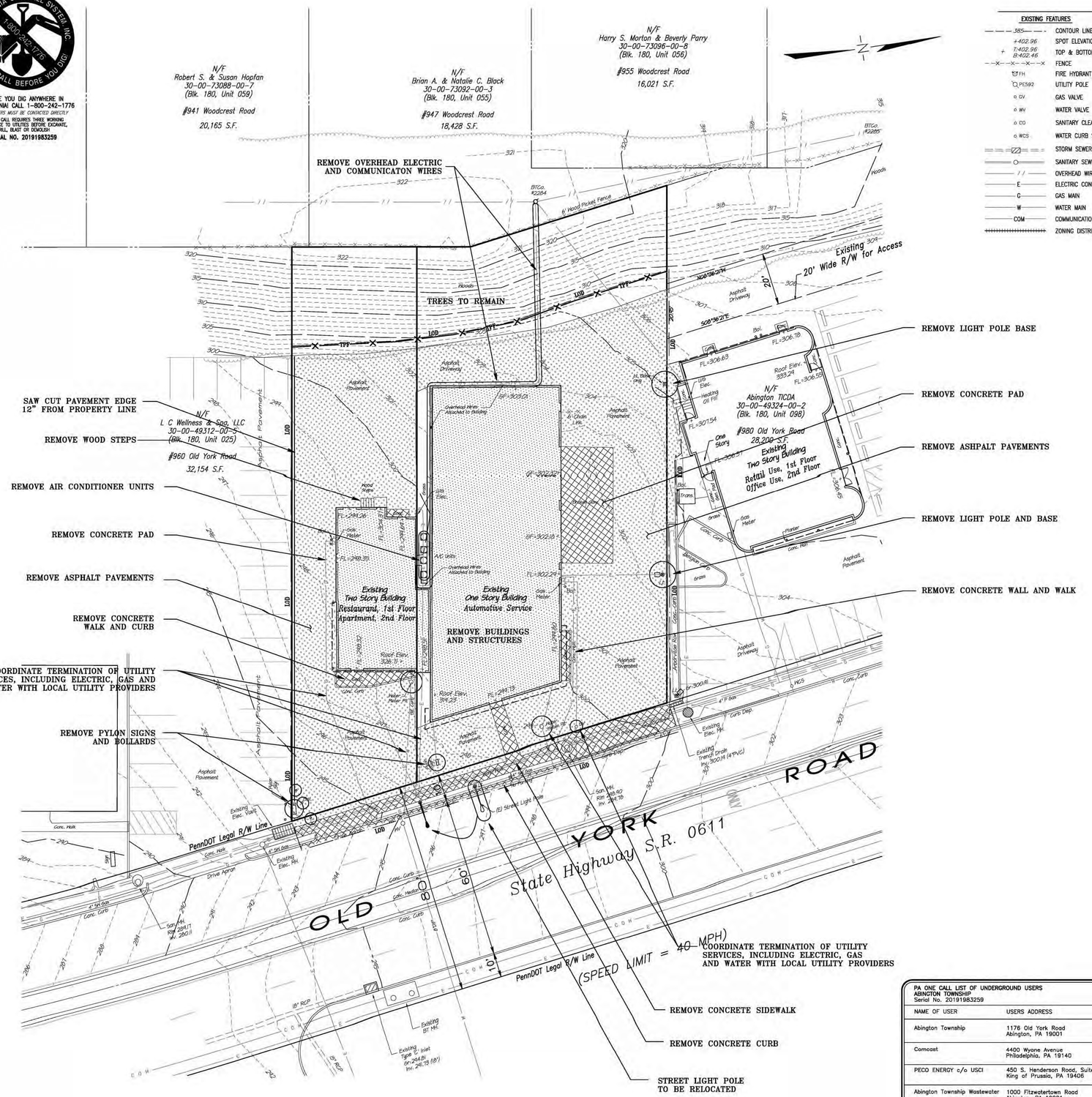
DATE	NO.	TOWNSHIP DRAFT REVIEW	CAT	BY
1/31/2020	1	REVISION		

EXISTING RESOURCE & SITE ANALYSIS MAP
OF 966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE: OCTOBER 25, 2019
DWG NO. A–10–735
JOB NO. 25857A
SHEET NO. 5 OF 15

ABINGTON TOWNSHIP NO. LD-19-10

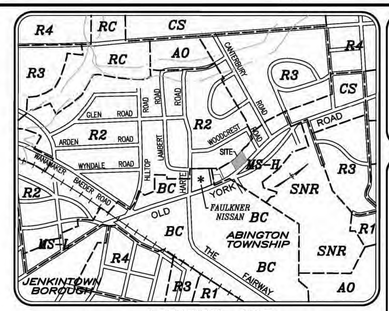
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA ONE CALL REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE EXCAVATE, DRILL, BLAST OR DEMOLISH
SERIAL NO. 20191983259



LEGEND

EXISTING FEATURES	
385	CONTOUR LINE
+402.96	SPOT ELEVATION
+ T:402.96 B:402.46	TOP & BOTTOM CURB ELEVATION
—x—x—x—	FENCE
FH	FIRE HYDRANT
PE592	UTILITY POLE
GV	GAS VALVE
WV	WATER VALVE
CO	SANITARY CLEAN OUT
WCS	WATER CURB STOP
	STORM SEWER w/ INLET
	SANITARY SEWER w/ MANHOLE
	OVERHEAD WIRE
E	ELECTRIC CONDUIT
G	GAS MAIN
W	WATER MAIN
COM	COMMUNICATIONS CONDUIT
	ZONING DISTRICT LINE

DEMOLITION FEATURES	
	EXISTING BUILDING STRUCTURE REMOVAL
	PROPOSED ASPHALT PAVEMENT REMOVAL
	PROPOSED CONCRETE PAVEMENT REMOVAL
TPP	TREE PROTECTION FENCE
LOD	LIMIT OF DISTURBANCE
	OVERHEAD WIRE REMOVAL



LOCATION MAP
SCALE: 1" = 800'

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK – UNIT
180-098
180-078
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
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PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@cesheomaker.com

SCALE 1" = 20'
0' 10' 20' 40' 60'

DATE	NO	TOWNSHIP STAFF REVIEW REVISION	CAT	BY
1/21/2020	1			

DEMOLITION NOTES:

1. Contractor shall visit site prior to bid and investigate items requiring demolition to determine full extent of work required. Materials are noted generally on this plan.
2. Structures are noted generally on this plan. All concrete, lights, signs, trees, bituminous paving etc. and all miscellaneous debris materials demolished shall not be buried on the subject site and removed. All excavated material and debris (solid waste) shall be deposed of in accordance with all Township, County, State, and Federal laws and applicable codes. The Contractor shall properly remove and dispose of hazardouse/unsuitable material off-site in accordance with all applicable codes, ordinances, and laws.
3. The General Site Contractor shall be responsible for the coordination of interrupted utility services if necessary, including ELECTRIC, TELEPHONE, GAS, AND WATER etc., between the the Owner, and the local utility companies. All utilities and services, including but not limited to gas, water, electric, sanitary, telephone, cable, fiber optic cable, etc. within the limits of disturbance, shall be vertically and horizontally located. The Contractor shall use and comply with the requirements of the applicable utility notification system to locate all the underground utilities.
4. Charles E. Shoemaker, Inc. assumes no responsibility for the information shown or not shown regarding underground storage tanks and environmental issues.
5. Site materials which are removed through demolition such as bituminous paving shall be recycled, or disposed of in accordance with the Department of Environmental Protection Solid Waste Management Regulations per 25 Pa Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or waste at this site.
6. The Contractor is responsible to safeguard the site as necessary to perform the demolition in such a manner as to prevent the unauthorized entry of persons at any time.
7. The Demolition Contractor is responsible for all repairs of damage to all items that are to remain as a result of his activities.

GENERAL NOTES:

1. Metes, Bounds and Area of subject property taken from deeds, plans of record, field survey by Charles E. Shoemaker, Inc during August 2018, and Title Commitment prepared by First American Title Insurance Company for JJLH Associates, LTD. Line bearings are based upon NAD83 azimuth. Title deed bearings shown in parentheses, (S05°23'E).

   Reference: First American Title Insurance Company Title Commitment No. H095002378 prepared for JJLH Associates, LTD for #966 Old York Road, dated July 16, 2018.

   Reference: First American Title Insurance Company Title Commitment No. H095002674 prepared for JJLH Associates, LTD for #968 Old York Road, dated December 24, 2018.
2. Topographical surveys were performed by Charles E. Shoemaker, Inc. during August 2018. Elevations based upon NVD 88 Datum.
3. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map, No. 42091C0401G, (Panel 401 of 451), effective March 2, 2016.
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6. Soils on this site have been identified by the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey for Montgomery County, PA, Version 11, dated October 4, 2017. Soils on these sites have been identified as 'UgD' Urban land, 8-25 percent slopes, 'UrlB' Urban land-Gladstone complex, 0-8 percent slopes and 'UugD' Urban land-Udorthents schist and gneiss complex, 8-25 percent slopes.

PA ONE CALL LIST OF UNDERGROUND USERS
ABINGTON TOWNSHIP
Serial No. 20191983259
Date Contacted: 7/17/2019

NAME OF USER	USERS ADDRESS	CONTACT PERSON
Abington Township	1176 Old York Road Abington, PA 19001	Scott Marlin smarlin@abington.org
Comcast	4400 Wyane Avenue Philadelphia, PA 19140	Robert Harvey bob_harvey@cable.comcast.com
PECO ENERGY c/o USCI	450 S. Henderson Road, Suite B King of Prussia, PA 19406	Nikkia Simpkins nikkiasimpkins@uscilic.com
Abington Township Wastewater	1000 Fitzwatertown Road Abington, PA 19001	George Wrigley gwrigley@abington.org
Aqua Pennsylvania, Inc.	762 W. Lancaster Aveune Bryn Mawr, PA 19010	Steve Pizzi sbpizzi@aquaamerica.com
Verizon Pennsylvania, LLC	1050 Virgina Drive Fort Washington, PA 19034	Laura Lippincott laura.d.lippincott@one.verizon.com

PROPOSED EARTH DISTURBANCE = 0.60 ACRES (26,300 S.F.)

SITE AREAS:

TOTAL PROJECT AREA: #966 & 968 OLD YORK ROAD
Legal R/W Lines: 28,857 S.F. or 0.6625 Ac.

DEMOLITION PLAN
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE OCTOBER 25, 2019
DWG NO. A-10-736
JOB NO. 25857A
SHEET NO. 6 OF 15

ABINGTON TOWNSHIP NO. LD-19-10

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776
STOP-CALL BEFORE YOU DIG!

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
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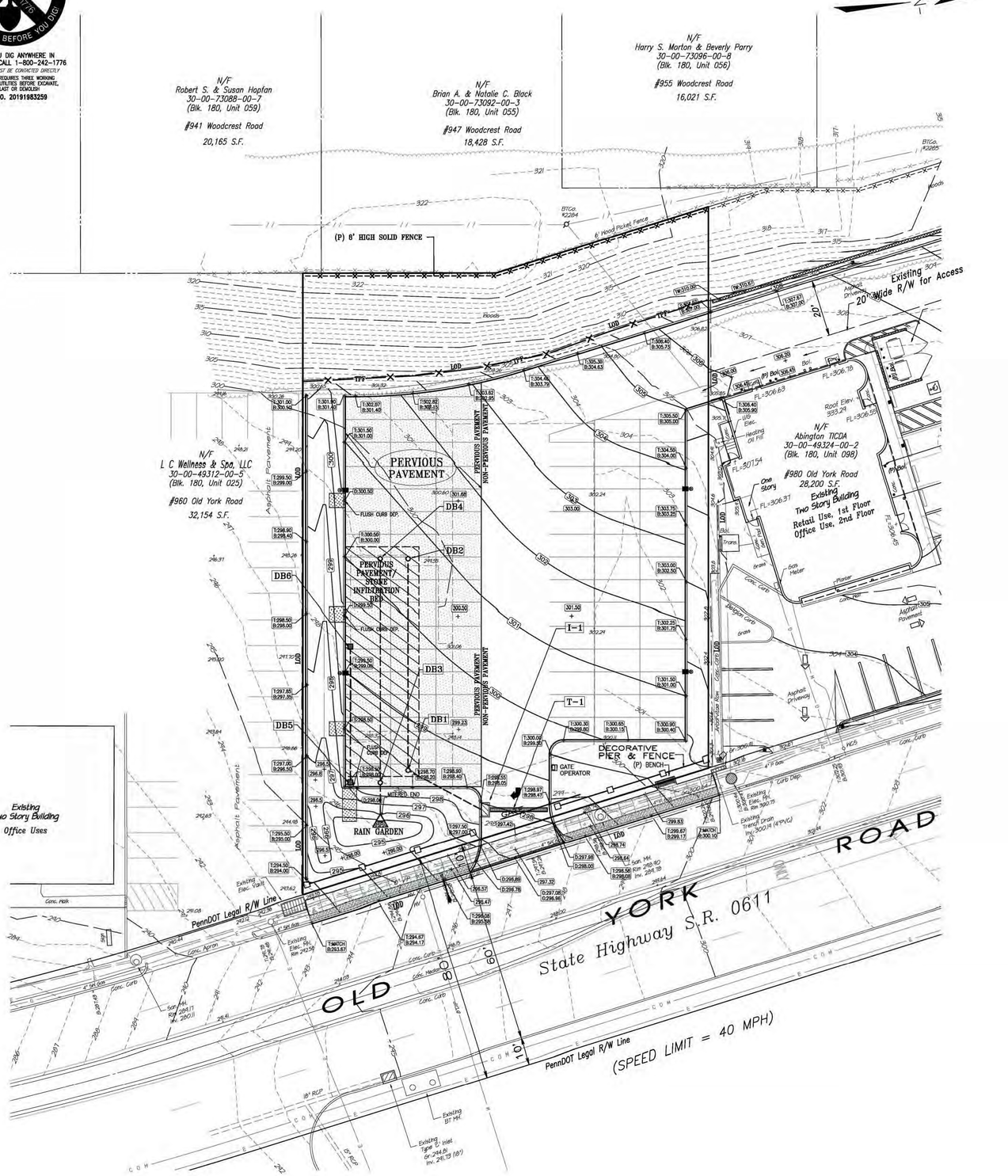
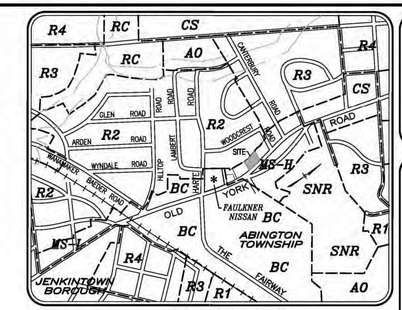
PA. ONE CALL REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE EXCAVATE, DRILL, BLAST OR DEMOLISH
SERIAL NO. 20191983259

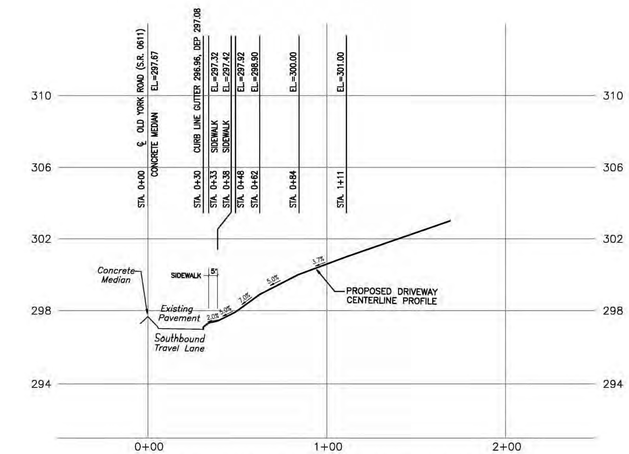


LEGEND

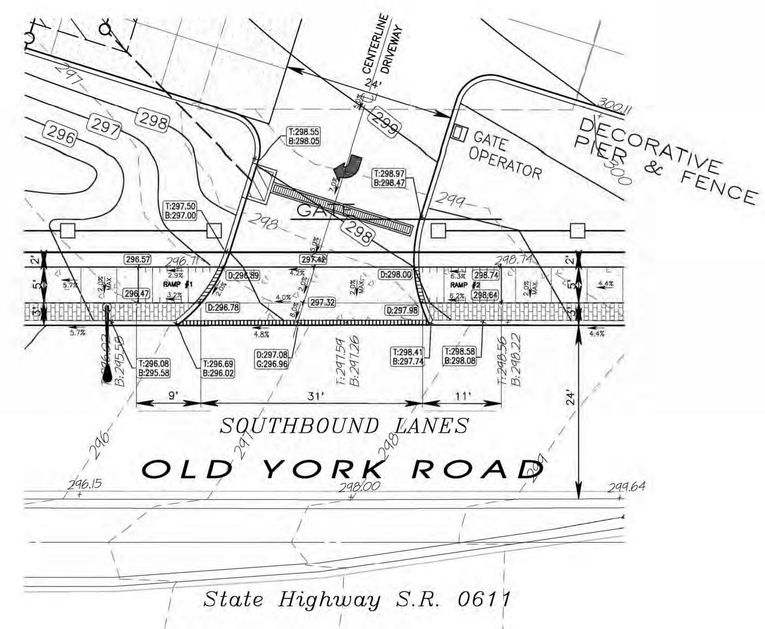
EXISTING FEATURES	PROPOSED FEATURES
385 — CONTOUR LINE	385 — CONTOUR LINE
+402.96 — SPOT ELEVATION	+ 402.96 — SPOT ELEVATION
+ T:402.96 B:402.46 — TOP & BOTTOM CURB ELEVATION	+ T:402.96 B:402.46 — TOP & BOTTOM CURB ELEVATION
FENCE	STORM SEWER w/ INLET
FH — FIRE HYDRANT	FENCE
PE592 — UTILITY POLE	TPF — TREE PROTECTION FENCE
GV — GAS VALVE	DECORATIVE PIER & FENCE
WV — WATER VALVE	PERVIOUS PAVEMENT AREA
CO — SANITARY CLEAN OUT	PERVIOUS PAVEMENT / STONE INFILTRATION BED
WCS — WATER CURB STOP	
STORM SEWER w/ INLET	
SANITARY SEWER w/ MANHOLE	
OVERHEAD WIRE	
E — ELECTRIC CONDUIT	
G — GAS MAIN	
W — WATER MAIN	
COM — COMMUNICATIONS CONDUIT	
ZONING DISTRICT LINE	



LOCATION MAP
SCALE: 1" = 800'



PROPOSED DRIVEWAY CENTERLINE PROFILE
SCALE 1" = 40' HORZ
1" = 4' VERT
0' 20' 40' 80' 120'



RAMP GRADING DETAIL
SCALE 1" = 10'
0' 5' 10' 20' 30'

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E
PENNSYLVANIA

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK – UNIT
180-078
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA 19001
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

SCALE 1" = 20'
0' 10' 20' 40' 60'

DATE	NO.	REVISION	BY
1/31/2020	1	TOWNSHIP SWM REVIEW	CAT

SITE GRADING PLAN
OF 966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A-10-737
JOB NO.
25857A
SHEET NO.
7 OF 15

ABINGTON TOWNSHIP NO. LD-19-10

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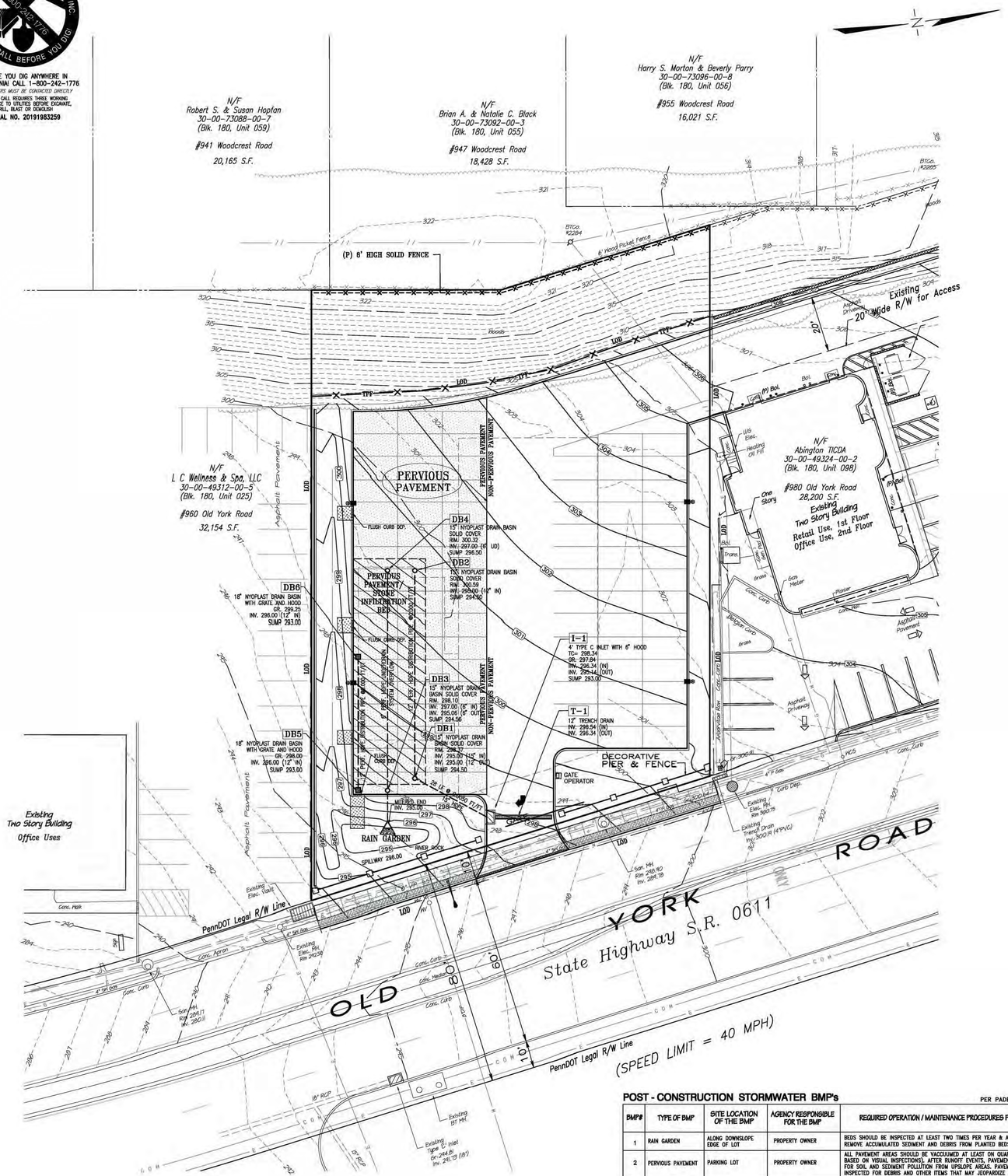
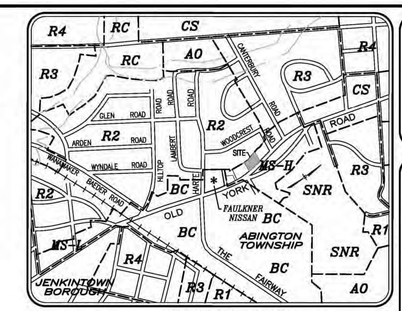
SERIAL NO. 20191983259

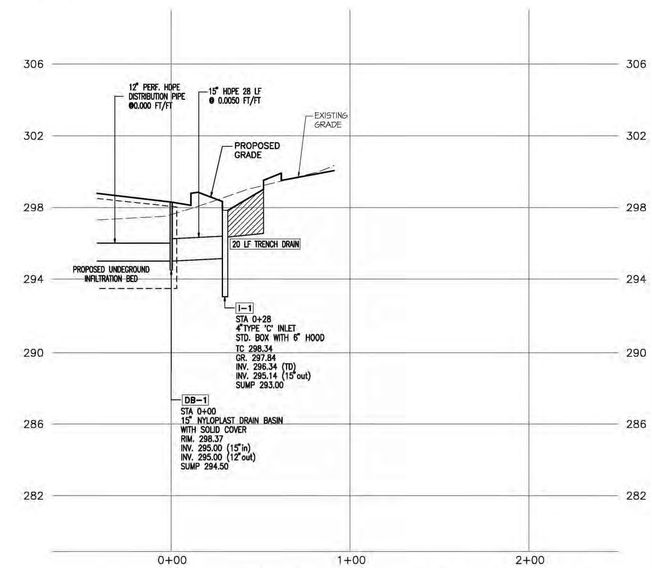


LEGEND

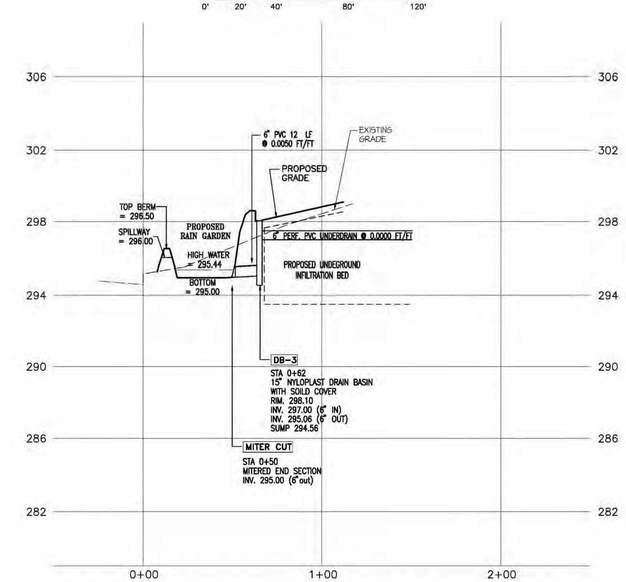
EXISTING FEATURES	PROPOSED FEATURES
385 — CONTOUR LINE	385 — CONTOUR LINE
+402.96 — SPOT ELEVATION	+ 402.96 — SPOT ELEVATION
+ T:402.96 B:402.46 — TOP & BOTTOM CURB ELEVATION	+ T:402.96 B:402.46 — TOP & BOTTOM CURB ELEVATION
FENCE	STORM SEWER w/ INLET
FH — FIRE HYDRANT	FENCE
PE592 — UTILITY POLE	TPF — TREE PROTECTION FENCE
GV — GAS VALVE	DECORATIVE PIER & FENCE
WV — WATER VALVE	PERVIOUS PAVEMENT AREA
CO — SANITARY CLEAN OUT	PERVIOUS PAVEMENT / STONE INFILTRATION BED
WCS — WATER CURB STOP	
STORM SEWER w/ INLET	
SANITARY SEWER w/ MANHOLE	
OVERHEAD WIRE	
E — ELECTRIC CONDUIT	
G — GAS MAIN	
W — WATER MAIN	
COM — COMMUNICATIONS CONDUIT	
ZONING DISTRICT LINE	



LOCATION MAP
SCALE: 1" = 800'



PROPOSED TRENCH DRAIN (T-1) TO INFILTRATION BED (DB-1)
SCALE: 1" = 40' HORZ.
1" = 4' VERT.
0' 20' 40' 80' 120'



PROPOSED INFILTRATION BED (DB-3) TO RAIN GARDEN
SCALE: 1" = 40' HORZ.
1" = 4' VERT.
0' 20' 40' 80' 120'

POST - CONSTRUCTION STORMWATER BMP's

PER PADEP – MS4 REQUIREMENTS

BMP#	TYPE OF BMP	SITE LOCATION OF THE BMP	AGENCY RESPONSIBLE FOR THE BMP	REQUIRED OPERATION / MAINTENANCE PROCEDURES FOR EACH BMP
1	RAIN GARDEN	ALONG DOWNSLOPE EDGE OF LOT	PROPERTY OWNER	BEDS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR & AFTER RUNOFF EVENTS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM PLANTED BEDS AS REQUIRED.
2	PERVIOUS PAVEMENT	PARKING LOT	PROPERTY OWNER	ALL PAVEMENT AREAS SHOULD BE VACCUUMED AT LEAST ON QUARTERLY BASIS (OR AS NEEDED BASED ON VISUAL INSPECTIONS). AFTER RUNOFF EVENTS, PAVEMENT AREAS SHOULD BE INSPECTED FOR SOIL AND SEDIMENT POLLUTION FROM UPSLOPE AREAS. PAVEMENT SHOULD FREQUENTLY INSPECTED FOR DEBRIS AND OTHER ITEMS THAT MAY JEOPARDIZE WATER QUALITY AND FUNCTIONALITY OF THE SYSTEM.
3	SEEPAGE BED	PARKING LOT (UNDER PERVIOUS PAVEMENT)	PROPERTY OWNER	INLETS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR & AFTER RUNOFF EVENTS. REMOVE ACCUMULATED SEDIMENT AS REQUIRED. IN AREAS WITH VEGETATED OVERLAY, VEGETATION SHOULD BE MAINTAINED AND IN GOOD CONDITION.

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK – UNIT
180 – 078
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JLLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

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ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA 19001
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@cesheomaker.com

SCALE 1" = 20'
0' 10' 20' 40' 60'

DATE	NO.	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	CAT

SITE UTILITY PLAN
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JLLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A-10-738
JOB NO.
25857A
SHEET NO.
8 OF 15

ABINGTON TOWNSHIP NO. LD-19-10

PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776
STOP-CALL BEFORE YOU DIG!

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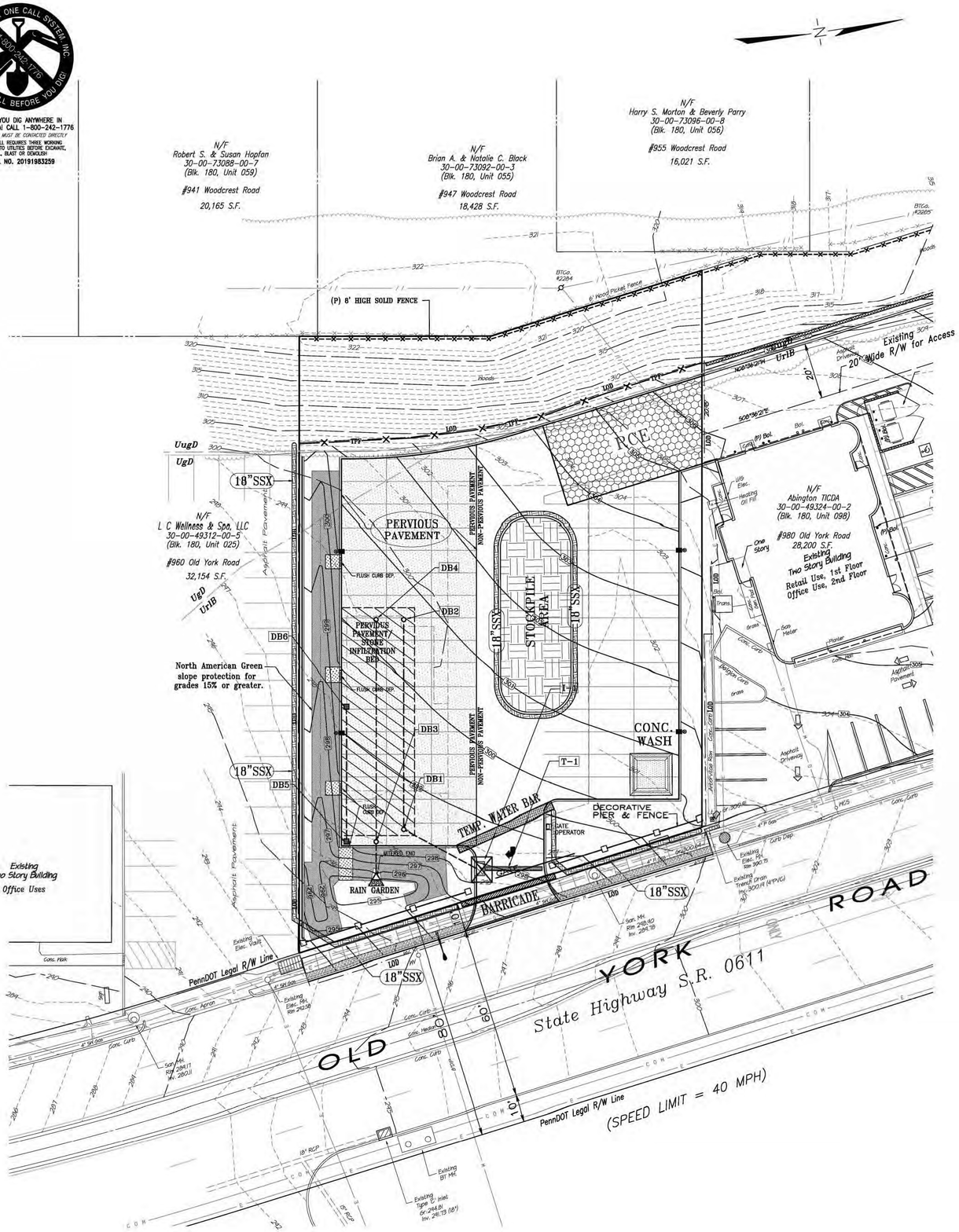

LEGEND

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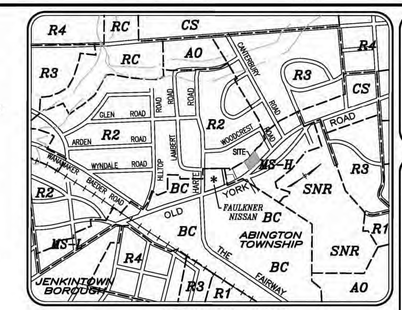
FH — FIRE HYDRANT	SIGN POST
PE592 — UTILITY POLE	FENCE
GV — GAS VALVE	TPF — TREE PROTECTION FENCE
WV — WATER VALVE	DECORATIVE PIER & FENCE
CO — SANITARY CLEAN OUT	LOD — LIMIT OF DISTURBANCE
WCS — WATER CURB STOP	PERVIOUS PAVEMENT AREA
STORM SEWER w/ INLET	PERVIOUS PAVEMENT / STONE INFILTRATION BED
SANITARY SEWER w/ MANHOLE	WOODLANDS LINE
OVERHEAD WIRE	TOPSOIL STOCKPILE
E — ELECTRIC CONDUIT	SILT SOXX
G — GAS MAIN	RCE — ROCK CONSTRUCTION ENTRANCE
W — WATER MAIN	TEMPORARY WATER BAR
COM — COMMUNICATIONS CONDUIT	CONCRETE WASHOUT AREA
ZONING DISTRICT LINE	TEMPORARY INLET PROTECTION
	18SF — 18" SILT FENCE



LOCATION MAP
SCALE: 1" = 800'

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E

COUNTY PARCEL NO.
30-00-49316-00-1
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SCALE 1" = 20'
0' 10' 20' 40' 60'

NO	DATE	REVISION	BY
1	1/21/2020	TOWNSHIP SWM REVIEW	GAT

EROSION AND SEDIMENT CONTROL PLAN
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

AREA OF DISTURBANCE = 0.6 AC.

SITE DRAINS TO THE PENNYPACK CREEK
CHAPTER 93 STORMWATER CLASSIFICATION – TSF, MF

SITE AREA:

TOTAL PROJECT AREA: #966 & 968 OLD YORK ROAD
Legal R/W Lines: 28,857 S.F. or 0.6625 Ac.

DATE OCTOBER 25, 2019
DWG NO. A-10-739
JOB NO. 25857A
SHEET NO. 9 OF 15

ABINGTON TOWNSHIP NO. LD-19-10

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
2. At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, and the E&S plan preparer to a preconstruction meeting.
3. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
4. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved from the E&S preparer.
5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
6. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
7. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
8. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan maps(s) in the amount necessary to complete the finish grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
9. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
10. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et. seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
11. All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
12. The contractor is responsible for ensuring that any material brought on site is clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
13. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
14. Vehicles and equipment may neither enter directly nor exit directly onto Old York Road. Construction vehicles shall access and egress the site using the rear driveway from Woodcrest Road.
15. Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
16. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
17. Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
18. All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings.
19. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches – 6 to 12 inches on compacted soils – prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outslopes shall have a minimum of 2 inches of topsoil.
20. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
21. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
22. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
23. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
24. Fill shall not be placed on saturated or frozen surfaces.
25. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
26. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
27. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
28. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
29. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
30. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall removal/conversion of the E&S BMPs.
31. After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
32. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to $10,000 per day in civil penalties, up to $10,000 in summary criminal penalties, and up to $25,000 in misdemeanor criminal penalties for each violation.
33. Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any surface waters or groundwater systems.
34. Fill material for embankments shall be free of roots, or other woody vegetation, organic material, large stones, and other objectionable materials. The embankment shall be compacted in maximum 8" layered lifts at 95% density.
35. Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to clog the basin/trap outlet structures and/or pollute the surface waters.
36. Sediment basins shall be protected from unauthorized acts by third parties.
37. Any damage that occurs in whole or in part as a result of basin or trap discharge shall be immediately repaired by the permittee in a permanent manner satisfactory to the municipality, local conservation district, and the owner of the damaged property.

ADDITIONAL EROSION AND SEDIMENT CONTROL PLAN NOTES

1. The operator shall assure that the approved erosion and sediment control plan is properly and completely implemented.
2. The operator shall assure that an erosion and sediment control plan has been prepared,and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their location.
3. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
4. The contractor is advised to become thoroughly familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
5. Only limited disturbance will be permitted to provide access to the sediment basins and diversion berm for grading and acquiring borrow to construct those BMPs.
6. Erosion and sediment BMP's must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMP's.
7. After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
8. Sediment must be removed from storm water inlet protection after each runoff event.

Temporary Stabilization and Permanent Stabilization

15. Hay or straw mulch must be applied at 3.0 tons per acre.
16. Mulch with mulch control netting or erosion control blankets must be installed on all slopes 4:1 or steeper.
17. Straw mulch shall be applied in long strands, not chopped or finely broken.
18. Sediment removed from BMP's shall be disposed of in landscape areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
19. An E&S plan shall be submitted to the department or authorized conservation district and implemented for all spoil and borrow areas, regardless of their location.

Other Issues

20. The Project Boundary is equal to the limits of disturbance of the site and any off-site areas within the limits of disturbance that are the responsibility of the developer to install. Off-site facilities such as: utilities and roadways.
21. The project's receiving watercourse is Pennypack Creek, and the Chapter 93 classification is TSF, MF.
22. The owner is responsible for the long term "operation and maintenance" of the BMP's.
23. Upon completion or temporary cessation of the earth disturbance activity, the project site shall be immediately stabilized in accordance with the recommendations contained in the Erosion and Sediment Pollution Control Manual (E&S Manual), Commonwealth of Pennsylvania, Department of Environmental Protection No. 363-2134-008, March 2012, as ammended and updated. Erosion and Sediment Control BMPs shall be implemented and maintained until permanent stabilization is completed and PCSM BMPs are operational.
24. If the site will need to import or export material from the site, the responsibility for performing 'Environmental Due Diligence' and determination of 'Clean Fill' will rest with contractor.

    Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the 'Waters of the Commonwealth' unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).

    Clean Fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".

    Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A copy of Form FP-001 can be found at the end of these instructions.

    Environmental Due Diligence: The applicant must perform Environmental Due Diligence to determine if the fill materials associated with the project qualify as Clean Fill. Environmental Due Diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, eletronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of Due Diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

    Fill material that does not qualify as Clean Fill is Regulated Fill. Regulated Fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.pacode.com.

SEQUENCE OF CONSTRUCTION

1. At least 7 days before any earth disturbance activities, the operator is required to invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer (Licensed Professional), to a preconstruction meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System, Inc. at 1-800-242-1776 for buried utilities locations.
2. Prior to disturbance, delineate limits of disturbance on the project site with survey stakes/ribbon or orange construction fence.
3. Install rock construction entrance as shown on the erosion control plan.
4. Install silt socks and inlet protection devices as shown on the E&S Plan. Silt socks in areas of existing and proposed driveway may vary slightly (see Erosion Control Plan).
5. After silt socks are in place, if possible, excavate an area approximately 1' deep behind the silt sock. This area is to increase the sediment retention capacity of the "trap" created behind the sock. Apply temporary seeding and mulch to the disturbed area.
6. Upon stabilization of all downslope erosion and sediment perimeter control BMPs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or co-permittee shall provide notification to the department or authorized conservation district.
7. Once all down gradient erosion control measures are in place and functional and the township has been notified, begin earth moving activities.
8. Demolish existing structures as shown on the Existing Features/Demolition Plan. Strip and stockpile site topsoil. site concrete, paving, utilities, etc. as shown on the plan.
9. Begin rough grading.
10. Once subgrade has been achieved in areas of standard pavement, begin installation of concrete curbing throughout site.
11. Install proposed concrete inlet and trench drain. Inlet and trench drain should be temporarily sealed to prevent sediment laden water from entering.
12. Install stone base and bituminous base in all areas of standard pavement.
13. After standard pavement areas are stabilized with bituminous base course, begin excavation of infiltration bed under pervious pavement area. Infiltration bed is to be excavated from the outside to minimize compaction. (CRITICAL STAGES–MUST BE OVERSEEN BY LICENSED PROFESSIONAL)
14. Place filter fabric on sides of infiltration bed only and fill with clean washed open stone and install PVC distribution pipes, overflow pipes and drain basins per the details. All inlets should be temporarily sealed to prevent sediment laden water from entering.
15. Continue with installation of pervious pavement base stone.
16. After the proposed parking lot is stabilized with stone, remove rock construction entrance and install remaining bituminous base course.
17. Final grade the remaining site area, install landscaping, including rain garden, and apply permanent seeding and mulch until proper vegetative cover is established. No more than 15,000 square feet of disturbed area is to reach final grade before initiating seeding and mulching operations. Stabilization occurs when disturbed area has 70% uniform vegetation cover. Remove temporary inlet protection within the site and install water quality hoods if not already installed.\After all other areas have achieved uniform stabilization, remove any remaining erosion control devices. Apply permanent seeding and mulch to areas disturbed by removal of perimeter E&S controls (silt socks). Upon stabilization, remove temporary inlet protection. (CRITICAL STAGES–MUST BE OVERSEEN BY LICENSED PROFESSIONAL)
18. Install finished wearing course in all areas of standard pavement.
19. Remove any soil from the clean stone pervious pavement base as needed and install finished pervious pavement wearing course per the detail and install signage and striping.
20. Construction activities are expected to commence in the fall/winter of 2019 and be completed within 1 year.

SEQUENCE NOTES:

1. The contractor is to notify the Township and Township Engineer 48 hours prior to start of construction.
2. No more than 15,000 square feet of disturbed area is to reach final grade before initiating seeding and mulching operations.
3. All water pumped from work areas shall be pumped through a properly situated sediment filter bag.
4. Cessation of earthmoving activity for 4 days or longer requires temporary stabilization.

INFILTRATION BED/PERVIOUS PAVEMENT CONSTRUCTION SEQUENCE:

1. EXCAVATE PROPOSED INFILTRATION AREAS AS DELINEATED ON PLAN.
2. INSTALL FILTER FABRIC PER DETAILS.
3. SCARIFY SUBGRADE.
4. INSTALL STONE BASE. PLACEMENT SHOULD BE LIGHTLY COMPACTED.
5. INSTALL CONVEYANCE PIPES AND UNDERDRAIN PIPES AND BACKFILL WITH #57 STONE.
6. PLACE AND COMPACT APPROPRIATED FILL & PAVE TO FINISH GRADES (PERVIOUS PAVEMENT WHERE SPECIFIED).
7. INLET SEDIMENT PROTECTION SHOULD BE IMMEDIATELY PLACED ON ALL INLETS IF NOT ALREAD PRESENT.

RAIN GARDEN CONSTRUCTION SEQUENCE:

1. ROUGH GRADE TO WITHIN ONE (1) FOOT OF THE FINAL ELEVATION OF THE INTERFACE BETWEEN THE PROPOSED SUBGRADE AND THE BIORETENTION PLANTING SOIL. EXCAVATE TO FINISHED BOTTOM ELEVATION PER PLAN. PLANTING SOIL SHOULD BE A LOAM SOIL CAPABLE OF SUPPORTING HEALTHY VEGETATIVE COVER. SOILS SHOULD BE AMENDED WITH A COMPOSTED ORGANIC MATERIAL AS SPECIFIED ON PLAN.
2. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT AND GRADE TO FINAL ELEVATION.
3. TILL THE FLOOR WITH ROTARY TILLERS OR DISK HARROWS TO PROVIDE A WELL-AERATED AND HIGHLY POROUS SURFACE AREA.
4. FILL RAIN GARDEN AREA WITH PLANTING SOIL PER PLAN. PLACEMENT SHOULD BE IN LIFTS OF 1 FT OR LESS. INSTALL UNDERDRAIN WHER REQUIRED.
5. PLANT PROPOSED LANDSCAPING AS SHOWN ON LANDSCAPE PLAN.

EROSION CONTROL MAINTENANCE PROCEDURES

Silt Fence:
1. The fence installation should be inspected after every precipitation event and on a weekly basis. Any necessary repairs will be made immediately.
2. Accumulated sediments will be removed as required to keep the fence functional. In all cases, remove deposits where accumulation reaches 1/2 the above ground height of the fence.
3. All undercutting or erosion of the toe anchor will be repaired immediately with compacted backfill materials.
4. Adhere to any manufacturers recommendations for replacing filter fabric fence due to weathering.

Silt Sock:
1. The sock installation should be inspected after every precipitation event and on a weekly basis. Any necessary repairs will be made immediately.
2. Accumulated sediments will be removed as required to keep the sock functional. In all cases, remove deposits where accumulation reaches 1/3 the above ground height of the sock.
3. All undercutting or erosion of the toe anchor will be repaired immediately with compacted backfill materials.
4. Adhere to any manufacturers recommendations for replacing filter fabric sock due to weathering.

Rock Construction Entrances:
The structure's thickness will be constantly maintained to the specific dimension by adding rock. A stockpile of rock materials will be maintained on the site for this purpose. At the end of each construction day, all sediment deposited on public roadways, will be removed and returned to the construction site. Washing of the trucks within the roadway is not permitted.

Silt Fence Rock Filters:
Rock filters will be removed when clogged with sediments. Materials must be washed completely free of all foreign materials or new rock used to rebuild the filter.

Rock Filters:
Rock filters will be removed when clogged with sediments. Materials must be washed completely free of all foreign materials or new rock used to rebuild the filter.

Temporary Inlet Protection:
Sediment will be removed from the trap after each storm event.

TEMPORARY SEEDING REQUIREMENTS

SPECIES	SEEDING RATE (lb./Ac.)
FOR SPRING SEEDING (UP TO JUNE 15)	
Annual Ryegrass	40
or spring oats,	96 (3 bu)
or spring oats plus ryegrass,	64 oats (2 bu) plus 20 lb annual or perennial ryegrass
or winter wheat,	180 (3 bu)
or winter rye	168 (3 bu)
FOR LATE SPRING AND SUMMER SEEDING (JUNE 16 to AUGUST 15)	
Annual Ryegrass,	40
or Japanese or foxtail millet,	35
or sudangrass,	40
or spring oats,	96 (3 bu)
or winter wheat,	180 (3 bu)
or winter rye	168 (3 bu)
FOR LATE SUMMER AND FALL SEEDING (AUGUST 16 AND LATER)	
Annual Ryegrass,	40
or winter rye,	168 (3 bu)
or winter wheat,	180 (3 bu)
or spring oats (can be used but winter kills)	96 (3 bu)

NOTES:
1. Upon completion of an earth disturbance activity or any stage or phase of an activity, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation. During the non-growing season, October 15 through March 15, mulch must be applied at the recommended rates. Temporary seeding shall be performed after the end of the non-growing season. Disturbed areas which are not at finish grade and which will be disturbed within one year shall be seeded and mulched with a quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finish grade or will not be redisturbed within one year must be seeded and mulched with permanent seed mixture and mulch.
2. MULCHING: Mulches alone help protect areas from erosion. Mulches also provide initial protection if area is to be seeded later. Use hay or straw at a rate of 3 tons per acre.
3. SITE PREPARATION: Apply 1 ton of agricultural-grade limestone per acre, plus fertilizer at the rate of 50-50-50 (50 pounds of N, 50 pounds of P205, and 50 pounds of K20) per acre, and work in where possible.
4. Topsoil stockpiles must be seeded and mulched immediately.

PERMANENT SEEDING REQUIREMENTS FOR LAWNS (SEE SEPARATE MIXES FOR BASIN)

MIX No.	SPECIES	SEEDING RATE	MIX No.	SPECIES	SEEDING RATE
2	Tall Fescue, or Fine Fescue, or Kentucky Bluegrass, plus Redtop, or Perennial Ryegrass	75 lb./Ac. 40 lb./Ac. 30 lb./Ac. 3 lb./Ac. 20 lb./Ac.	4	Birdsfoot Trefoil, plus Reed Canarygrass	10 lb./Ac. 15 lb./Ac.
			10	Tall Fescue, plus Fine Fescue	60 lb./Ac. 15 lb./Ac.
3	Birdsfoot Trefoil, plus Tall Fescue	10 lb./Ac. 35 lb./Ac.			

NOTES:
1. Seeding rates are for pure live seed, seeding rate shall be adjusted by percent germination.
2. Mixture No. 2 is suitable for frequent mowing. Do not cut shorter than 4 inches.
3. Keep Redtop seeding rate to that indicated. This species has small seeds and is very competitive.
4. Diversion channels, detention basins, and sediment traps or berms shall be seeded and mulched immediately.
5. Due to the absence of soil tests, the site shall be prepared by the application of at least 6 tons of agricultural grade limestone and 100-200-200 (100 pounds of N, 200 pounds of P205, and 200 pounds of K20) per acre. Work lime and fertilizer into the soil deeply where possible.
6. After seeding, mulch with hay or straw at a rate of 3 tons per acre.
7. For best results, grass and legume seedings should be made in spring (March, April, and early May). However, through proper choice of seed mixtures, seed specifications, and establishment techniques, disturbed sites can be seeded almost any time from spring to fall. Legume seedings need a growing period of at least ten to twelve weeks to produce seedlings sufficiently large and hardy to survive the winter. Grasses generally require at least four to six weeks of growth prior to hard frosts. It is suggested that legumes be seeded before August 15 in southeastern Pennsylvania (corn maturity zone 4).

RECOMMENDED SEED MIXTURES FOR VARIOUS AREAS

AREA	MIXTURE
Slopes and banks (unmowed)	3
(mowed)	2 or 10
Drainage swales	2, 3 or 4
Utility Right-of-Way	3
Lawns	2, 3 or 10

MULCHING REQUIREMENTS

All conservation and erosion control areas, whether seeded with a drill, broadcasted, or hydroseeded, should be mulched to reduce soil erosion and to aid seed germination and seedling establishment. Grass hay and cereal straw are preferred mulches and should be applied to produce a loose layer 0.75 to 1 inch deep. Generally, 3 tons of mulch per acre are sufficient. As a guideline, a thickness of five to six overlapping straw or hay stems is acceptable for mulching. Straw or hay should not be chopped or finely broken during application. On steep slopes, hay rather than straw mulch is recommended.

CAUTION: Hay mulch may introduce undesirable weeds; use clean mulch if weeds might be a problem.

Long straws and stems are more readily anchored in place and afford seedling plants more protection than does chopped straw or hay. Mulches of hay or straw may be tied down with commercial netting of various types or with asphalt emulsion or cutback asphalt at a rate of 100 to 150 gallons per acre. Application of cellulose fiber over the straw or hay mulch at a rate of 800 to 1000 pounds per acre also is an excellent way to tack or hold the mulch in place.

SOIL LIST, LIMITATIONS AND RESOLUTIONS:

SOIL NAME*	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYDRIC/HYDRIC INCLUSIONS	LOW STRENGTH/ LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK – SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
URBAN LAND (UgD)	X	C/S	X	X		X	X	X	X		X	X	X			X
URBAN LAND (UrlB)	X	C		X			X		X			X	X			
URBAN LAND (UugD)	X	C/S	X	X				X	X		X	X				

SOIL LIMITATION RESOLUTIONS:
CUTBANKS CAVE – OSHA STANDARDS AND REGULATIONS MUST BE FOLLOWED AT ALL TIMES TO ENSURE THE SAFETY OF WORKER DURING TRENCHING AND EXCAVATION
CORROSIVE TO CONCRETE/STEEL – SPECIAL SITE EXAMINATION AND DESIGN MAY BE REQUIRED; INSTALL UTILITIES ENTIRELY WITHIN ONE KIND OF SOIL OR SOIL LAYER
DROUGHTY – USE NATIVE VEGETATION WHERE POSSIBLE. SUPPLEMENTAL IRRIGATION MAY BE NECESSARY FOR VEGETATION ESTABLISHMENT.
EASILY ERODIBLE – MECHANICALLY COMPACT AREAS OF FILL PLACEMENT. USE SOD OR EROSION CONTROL NETTING IN AREAS OF STEEP SLOPES OR CONCENTRATED FLOWS.
FLOODING – POSITIVE STORM DRAINAGE, PUMP ALL SEDIMENT LADEN WATER INTO FILTER BAG OR SEDIMENT TRAP/BASIN.
DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE – STORMWATER MANAGEMENT SYSTEMS AND INFILTRATION AREAS SHOULD BE SITUATED ABOVE THESE LIMITING ZONES. BMPS SHOULD BE DESIGNED WITH A LARGE FOOTPRINT TO INCREASE CONTACT AREA IN SOILS WITH POOR INFILTRATION PROPERTIES.
HYDRIC/HYDRIC INCLUSIONS – STORMWATER MANAGEMENT SYSTEMS AND INFILTRATION AREAS SHOULD BE SITUATED ABOVE LIMITING ZONES. BMPS SHOULD BE DESIGNED WITH A LARGE FOOTPRINT TO INCREASE CONTACT AREA IN SOILS WITH POOR INFILTRATION PROPERTIES.
LOW STRENGTH/LANDSLIDE PRONE – MECHANICALLY COMPACT BERMS AND GRADE WHEN MATERIAL IS NOT SATURATED.
SLOW PERCOLATION – STORMWATER MANAGEMENT SYSTEMS AND INFILTRATION AREAS SHOULD BE SITUATED ABOVE THESE LIMITING ZONES. BMPS SHOULD BE DESIGNED WITH A LARGE FOOTPRINT TO INCREASE CONTACT AREA IN SOILS WITH POOR INFILTRATION PROPERTIES.
PIPING – MECHANICALLY COMPACT AREAS OF FILL PLACEMENT.
POOR SOURCE OF TOPSOIL – SEED, FERTILIZING, AND SOIL PREPARATION FOR ADVERSE CONDITIONS
FROST ACTION – RECOMMENDED TO WORK DURING WARM WINTER MONTHS
SHRINK-SWELL – MECHANICALLY COMPACT AREAS OF FILL PLACEMENT. CONSULT GEOTECHNICAL ENGINEER FOR SUITABILITY AND EXCHANGE SOIL IF DEEMED NECESSARY.
POTENTIAL SINKHOLE – MECHANICALLY COMPACT AREAS OF FILL PLACEMENT. INFILTRATION FACILITIES SHOULD BE MINIMIZED IN AREAS UNDERLAIN BY LIMESTONE. BMPS SHOULD BE DESIGNED WITH A LARGE FOOTPRINT TO INCREASE CONTACT AREA.
PONDING – POSITIVE STORM DRAINAGE, PUMP ALL SEDIMENT LADEN WATER INTO FILTER BAG OR SEDIMENT TRAP/BASIN.
WETNESS – POSITIVE STORM DRAINAGE, PUMP ALL SEDIMENT LADEN WATER INTO FILTER BAG OR SEDIMENT TRAP/BASIN. STORMWATER MANAGEMENT SYSTEMS AND INFILTRATION AREAS SHOULD BE SITUATED ABOVE THESE LIMITING ZONES.

* ON-SITE SOILS IDENTIFIED AND MAPPED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK – UNIT
180-079
180-076
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

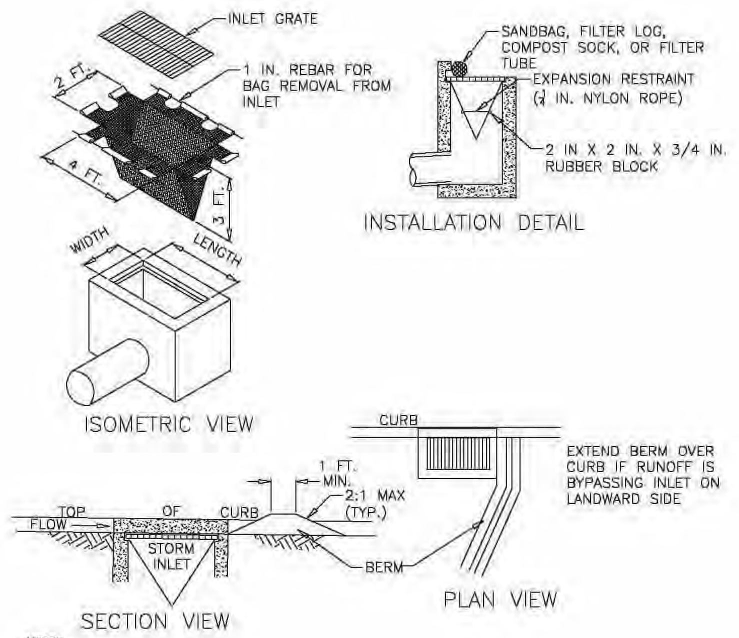
CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

SCALE: AS NOTED

DATE	NO	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	GAT

EROSION AND SEDIMENT CONTROL NOTES
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A-10-740
JOB NO.
25857A
SHEET NO.
10 OF 15



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

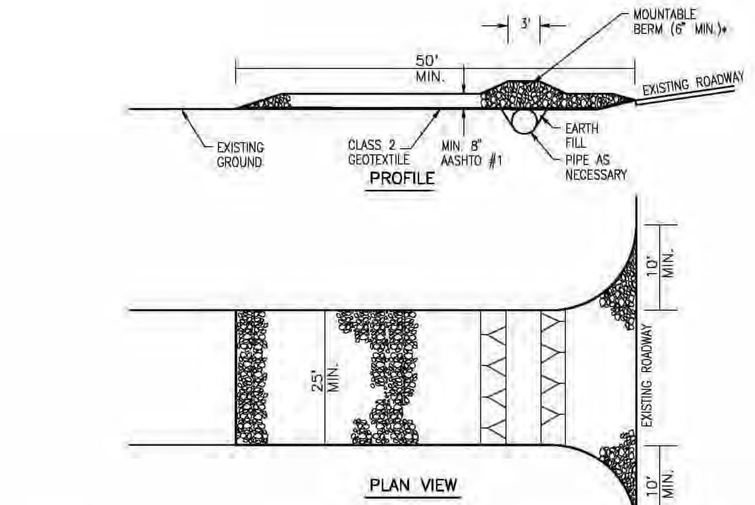
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE



NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

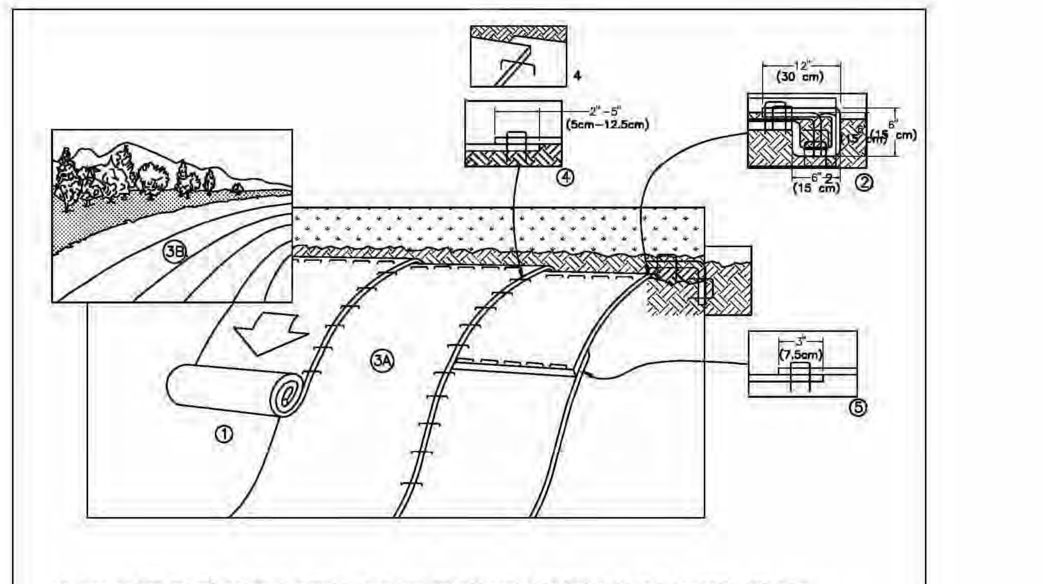
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE CONVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

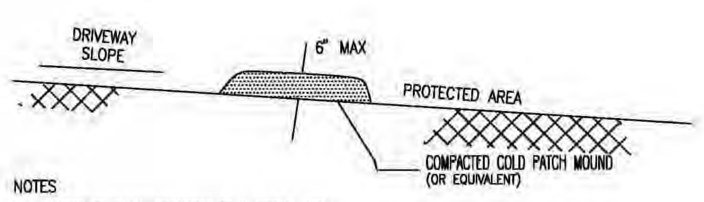


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47725
USA 1-800-772-2040 CANADA 1-800-448-2040
www.nagreen.com

SLOPE INSTALLATION



NOTES
1. WATERBARS SHALL DISCHARGE TO A STABLE AREA.
2. WATERBARS SHALL BE INSPECTED WEEKLY (DAILY ON ACTIVE ROADS) AND AFTER EACH RUNOFF EVENT. DAMAGE OR ERODED WATERBARS SHALL BE RESTORED TO ORIGINAL DIMENSIONS WITHIN 24 HOURS OF INSPECTION.
3. MAINTENANCE OF WATERBARS SHALL BE PROVIDED UNTIL ROADWAY, SKIDTRAIL, OR RIGHT-OF-WAY HAS ACHIEVED PERMANENT STABILIZATION.
4. WATERBARS ON RETIRED ROADWAYS, SKIDTRAILS, AND RIGHT-OF-WAYS SHALL BE LEFT IN PLACE AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.

TABLE 3.1 – MAXIMUM WATERBAR SPACING

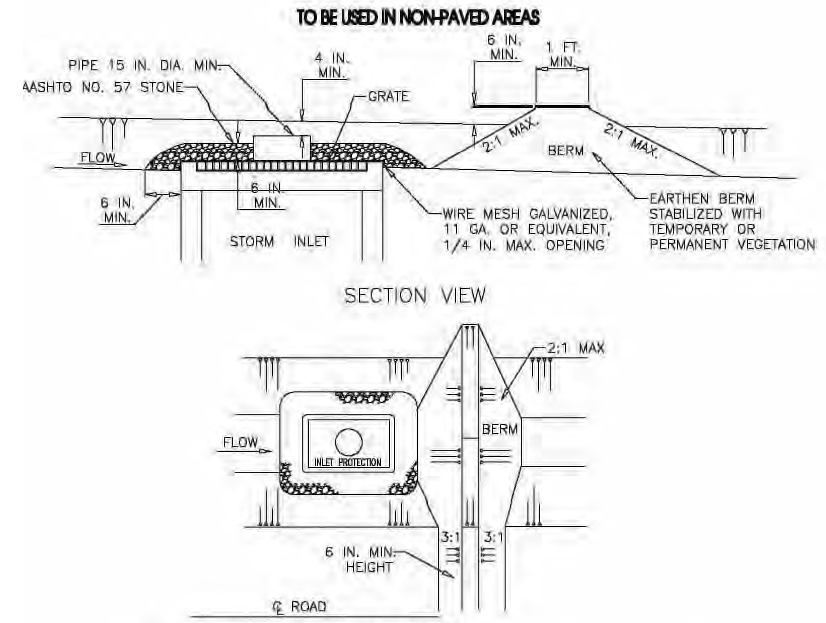
PERCENT SLOPE	SPACING (FT)
<5	250
5–15	150
15–30	100
>30	50

ADAPTED FROM USDA FOREST SERVICE

WATERBAR DETAIL

NOT TO SCALE

TO BE USED IN NON-PAVED AREAS



NOTES:

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.

STONE INLET PROTECTION AND BERM FOR A TYPE M INLET CAN BE USED IN ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD. A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA. TOP OF PIPE SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADWAY IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC. EARTHEN BERM SHALL BE ROLLED.

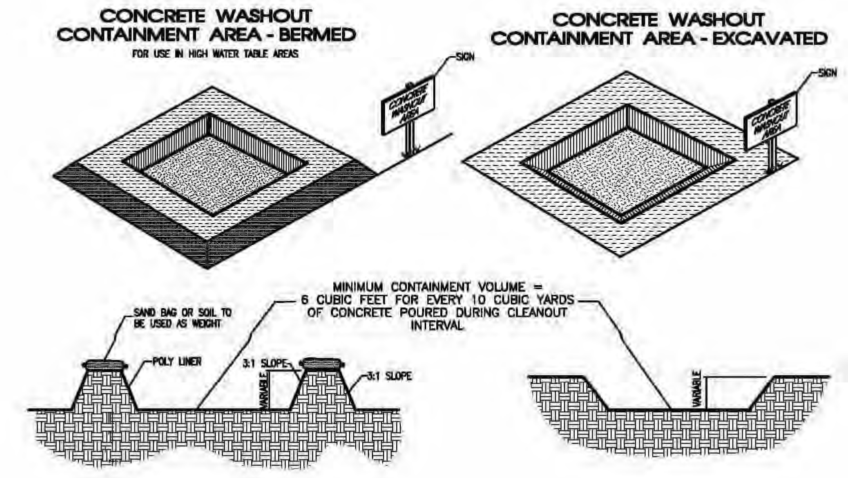
SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

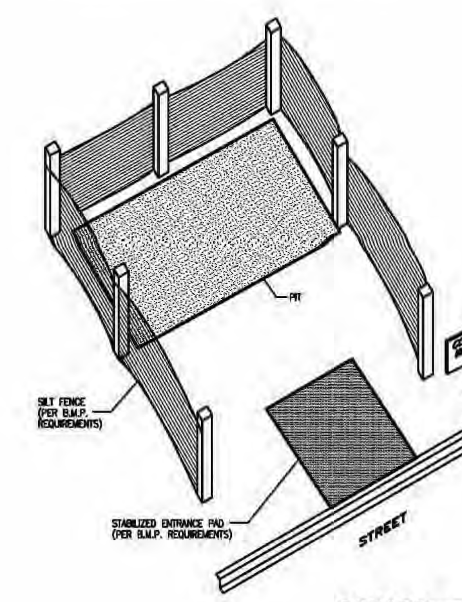
FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 IN. THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-20
STONE INLET PROTECTION AND BERM - TYPE M INLET

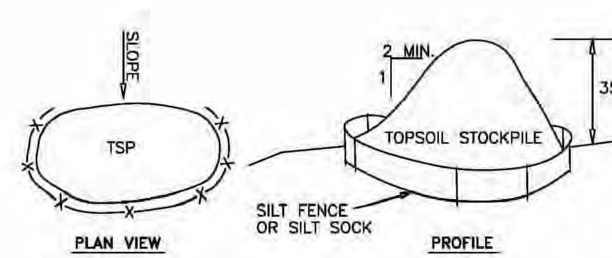
NOT TO SCALE





NOTES
1. PERFORM WASHOUT OF CONCRETE TRUCKS OR PUMPS OFFSITE OR IN DESIGNATED AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS.
2. FOR ON-SITE WASHOUT
   A) LOCATE WASHOUT AREA AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, WATER BODIES OR STEEP SLOPES. WASHOUT LOCATIONS MUST BE SIGNED AS NECESSARY TO ENSURE THAT CONCRETE TRUCK DRIVERS UTILIZE PROPER AREAS.
   B) CONTAIN RUNOFF BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO HANDLE FOR LIQUID AND SOLID WASTE. ALLOW ADEQUATE FREEBOARD FOR STRUCTURAL STABILITY.
   C) WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY. BE SURE THAT THE STORMWATER COLLECTION SYSTEM IS PROTECTED BY A SEDIMENT TRAP OR SIMILAR PRACTICE.
3. DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN SYSTEM: COLLECT AND RETUIRN SWEEPINGS TO AGGREGATE BASE STOCKPILE OR DISPOSE AS WASTE.
4. CLEAN OUT WHEN CONTAINMENT AREA IS 85% FULL TO CAPACITY. DISPOSE OF HARDENED CONCRETE & CEMENTACIOUS WASTE IN ACCORDANCE WITH ALL LAWS.

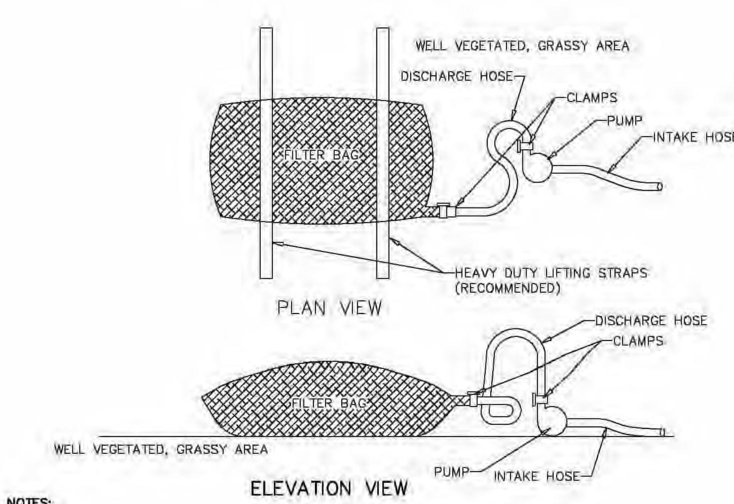
CONCRETE WASHOUT AREA



NOTES:
1. SILT FENCE/SOCK MUST BE PLACED DOWNSLOPE OF ALL STOCKPILES.
2. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES WHICH WILL REMAIN IN PLACE 20 DAYS OR MORE.

TOPSOIL STOCKPILE DETAIL

NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

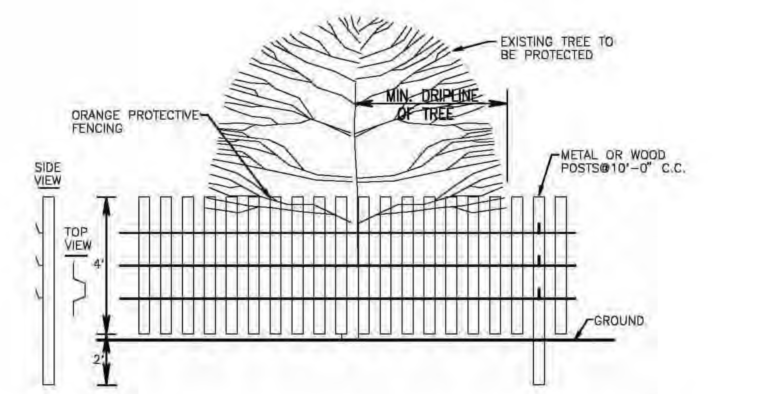
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG

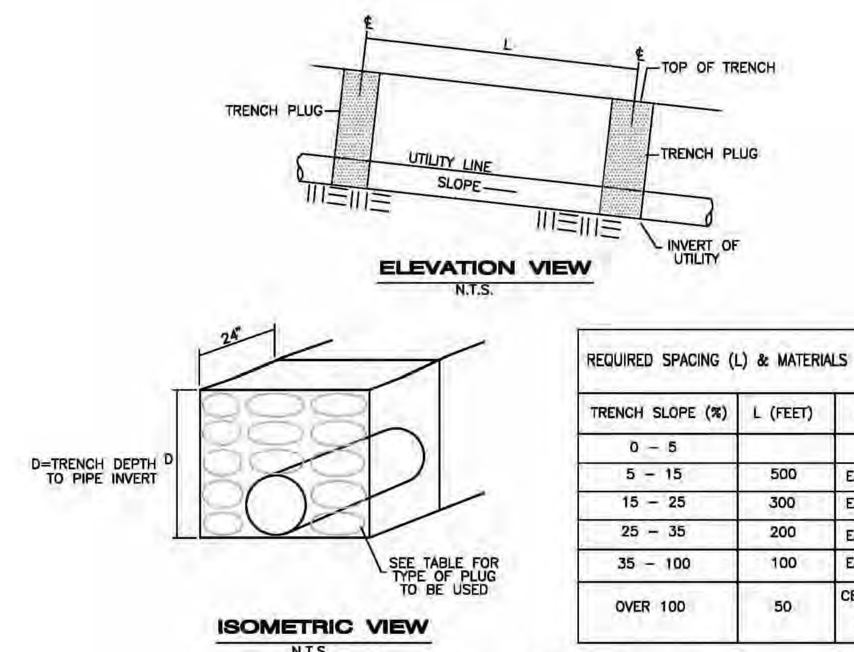
NOT TO SCALE



NOTES:
1. THE PROTECTIVE FENCING SHALL BE PLACED AT A DISTANCE CALCULATED AT 1.25 FEET (RADIUS) PER EACH ONE INCH OF DIAMETER BREAST HEIGHT (DBH) OR A MINIMUM OF ONE FOOT OUTSIDE THE EXISTING EDGE OF THE DRIPLINE, WHICHEVER IS GREATER.
2. NOTHING SHALL BE STORED, STOCKPILED, TEMPORARILY PLACED OR ALLOWED IN THE ROOT PROTECTION ZONE.
3. THE PROTECTIVE FENCING SHALL BE ERECTED IN A MANNER STRONG ENOUGH TO PREVENT VEHICULAR ENCROACHMENT.
4. NO FUEL STORAGE, REFUELING OR MAINTENANCE OF EQUIPMENT, OR WASH DOWN OF CEMENT HANDLING EQUIPMENT SHALL BE PERMITTED WITHIN 100 FOOT OF ANY TREE TO BE PRESERVED.
5. ANY DAMAGE TO THE FENCING OR ENCROACHMENT ON THE PROTECTED AREAS SHALL BE REMEDIED IMMEDIATELY.
6. THE PROTECTIVE FENCING TO BE INSTALLED AROUND GROUPS OF TREES, WHERE POSSIBLE, RATHER THAN INDIVIDUAL TREES.

TREE PROTECTION FENCE DETAIL

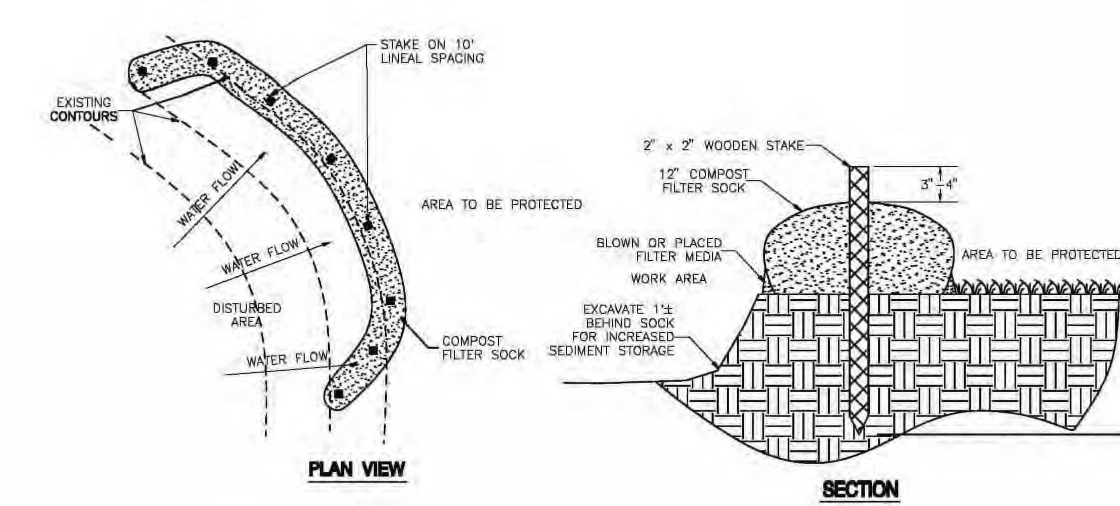
N.T.S.



REQUIRED SPACING (L) & MATERIALS FOR TRENCH PLUG		
TRENCH SLOPE (%)	L (FEET)	PLUG MATERIAL
0 – 5		NONE
5 – 15	500	EARTH FILLED SACKS
15 – 25	300	EARTH FILLED SACKS
25 – 35	200	EARTH FILLED SACKS
35 – 100	100	EARTH FILLED SACKS
OVER 100	50	CEMENT FILLED SACKS (WETTED), OR MORTARED STONE

UTILITY TRENCH PLUG

N.T.S.



NOTES:
1. Sock fabric shall meet standards of Table 4.1 (363-2134-008/March 31, 2012/Page 63). Compost shall mee the standards of Table 4.2 (363-2134-008/March 31, 2012/Page 64).
2. Compost filter sock shall be placed at existing level grade. Both ends of the sock shall be extended at least 8 feet up slope at 45 degrees to the main sock alignment as shown on detail. Maximum slope length above any sock shall not exceed that shown on Figure 4.2 (363-2134-008/March 31, 2012/Page 66). Stakes may be installed immediately downslope of the sock if so specified by the manufacturer.
3. Traffic shall not be permitted to cross filter socks.
4. Accumulated sediment shall be removed when it reaches half the aboveground height of the sock and disposed of in a manner described elsewhere in the plan.
4. Socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to the manufacturer's specifications of replaced within 24 hours of inspection.
5. Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations.
6. Upon stabilization of the area tributary to the sock, stakes should be removed. The sock may be left in place and vegetated or removed. In the latter case, the mesh shall be cut open and the mulch spread as a soil supplement.

COMPOST FILTER SOCK DETAIL

N.T.S.

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024815-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK – UNIT
180-079
180-076
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

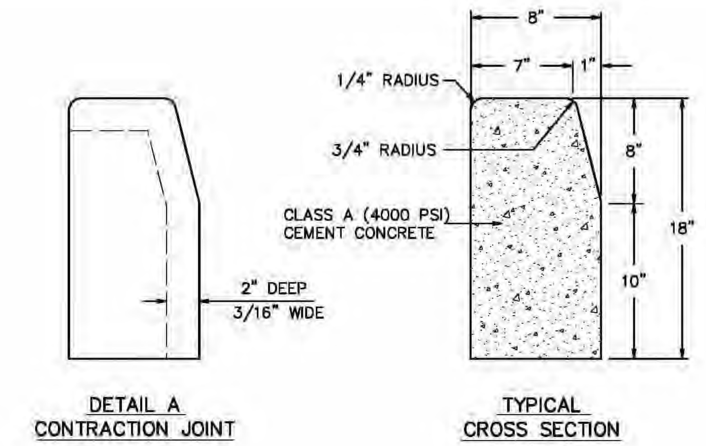
EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

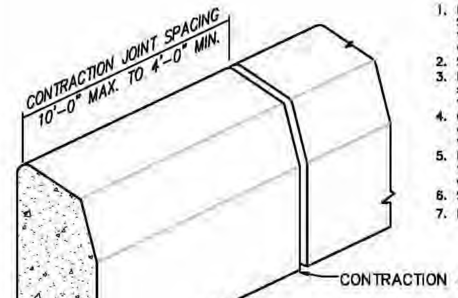
CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com
SCALE: AS NOTED

DATE	NO	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	GAT

EROSION & SEDIMENT CONTROL DETAILS
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

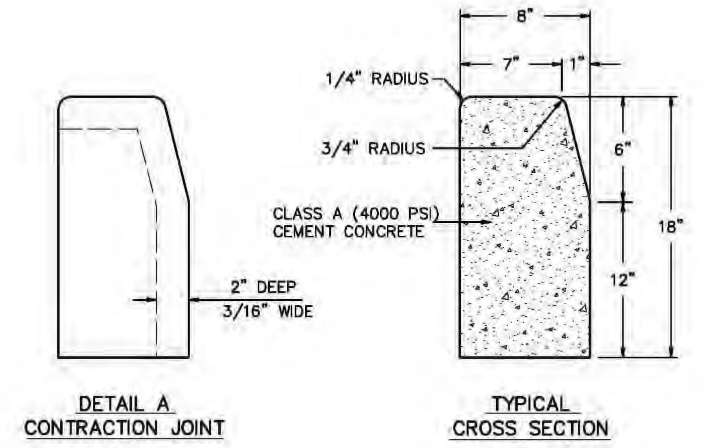
DATE
OCTOBER 25, 2019
DWG NO.
A-10-741
JOB NO.
25857A
SHEET NO.
11 OF 15

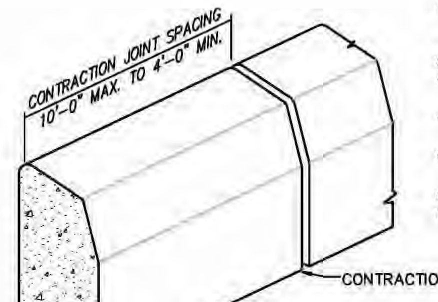




1. Materials and construction shall meet the requirements of Publication 408, Section 630 for plain cement concrete curb and depressed curb, Section 640 for all plain cement concrete curb gutter, and Section 694 for concrete curb cut ramps.
2. Space contraction joints in uniform lengths or section.
3. Provide 3/4" wide premolded expansion joint material wherever concrete sidewalk abuts any rigid pavement, sidewalk, or structure every 50 feet (Max.) with the top of joint filler flush with adjacent concrete surface.
4. Curb cut ramp dimensions and slopes should be adhered to unless existing conditions require special design based on roadway grades. with adjacent concrete surface.
5. Provide slip resistant texture on curb cut ramp by coarse brooming traverse to the slope of the ramp. Extend texture the full width and length of the curb cut ramp including flared side ramps.
6. Seal joints with an approved sealing material in accordance with Publication 408.
7. Dowel pin curb where curb abuts inlet hoods.

STATE HIGHWAY (SR. 0611)
PLAIN CEMENT CONCRETE CURB
N.T.S.





1. Materials and construction shall meet the requirements of Publication 408, Section 630 for plain cement concrete curb and depressed curb, Section 640 for all plain cement concrete curb gutter, and Section 694 for concrete curb cut ramps.
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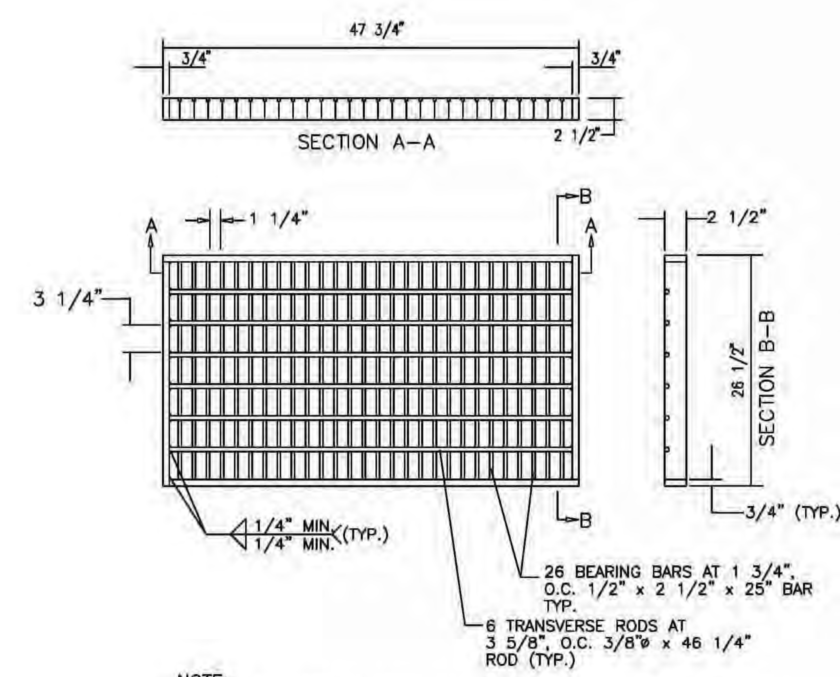
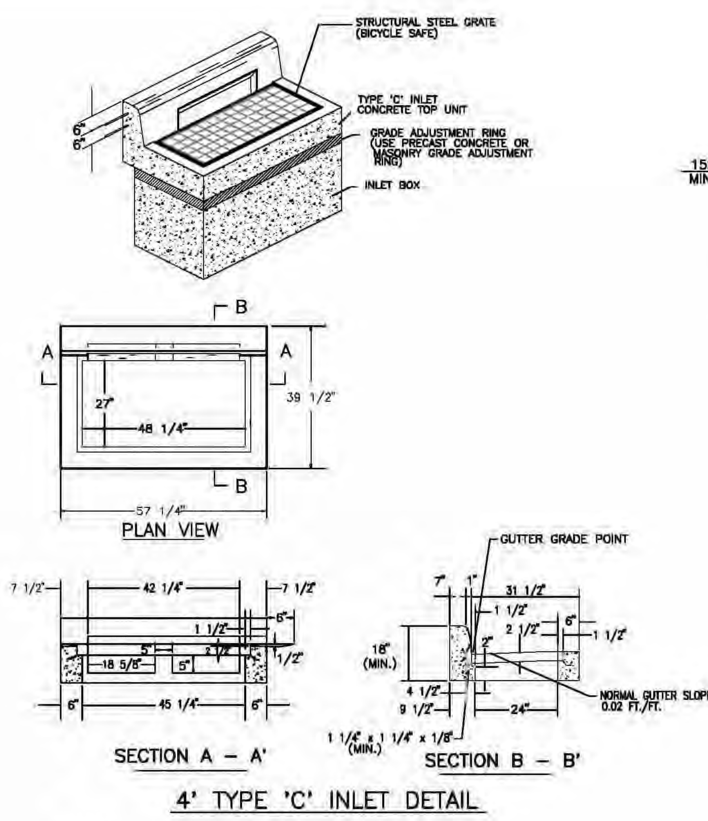
4. Curb cut ramp dimensions and slopes should be adhered to unless existing conditions require special design based on roadway grades. with adjacent concrete surface.
5. Provide slip resistant texture on curb cut ramp by coarse brooming traverse to the slope of the ramp. Extend texture the full width and length of the curb cut ramp including flared side ramps.
6. Seal joints with an approved sealing material in accordance with Publication 408.
7. Dowel pin curb where curb abuts inlet hoods.

ON-SITE (6" Reveal)
PLAIN CEMENT CONCRETE CURB
N.T.S.



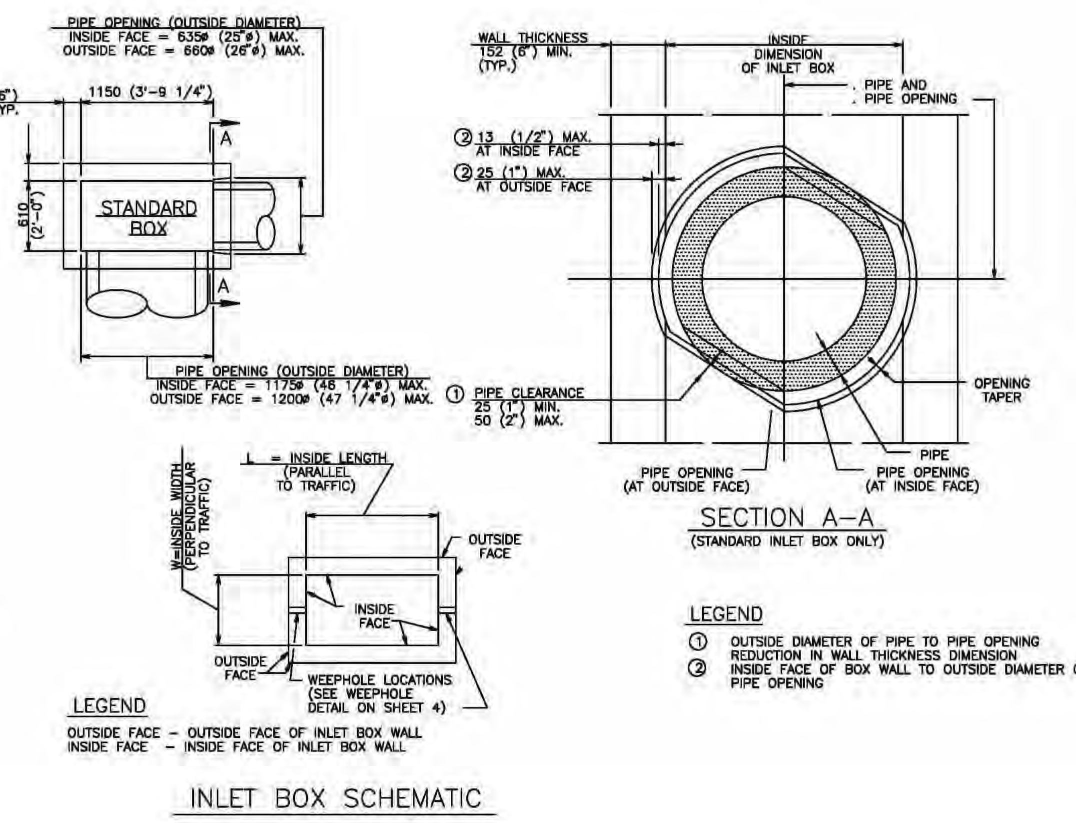
NOTE:
REFER TO PENNDOT PUB. 72 RC–34 FOR ADDITIONAL DETAILS

STRUCTURAL STEEL GRATE BICYLE SAFE
NOT TO SCALE

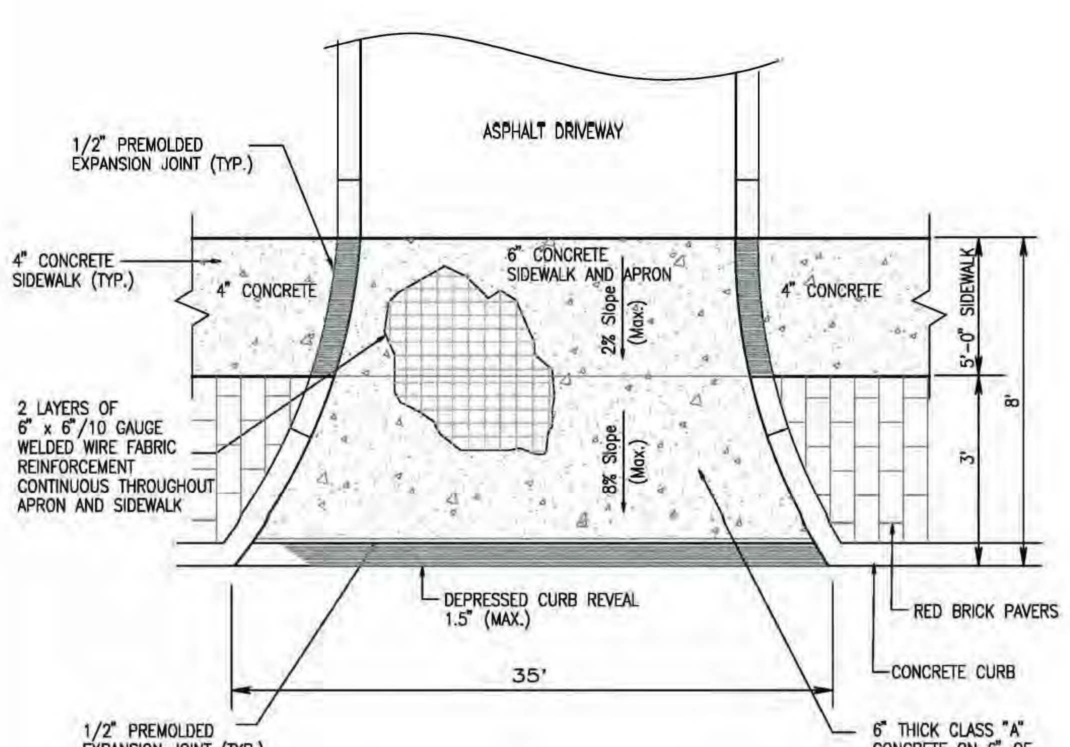


NOTES:
1. REFER TO PA.DOT (RC) STANDARDS, PUB. #72, DWG. RC – 34, SHEETS 1 & 2 OF 9 FOR ADDITIONAL NOTES.
2. CONSTRUCT IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 605, FOR INLET ASSEMBLIES.

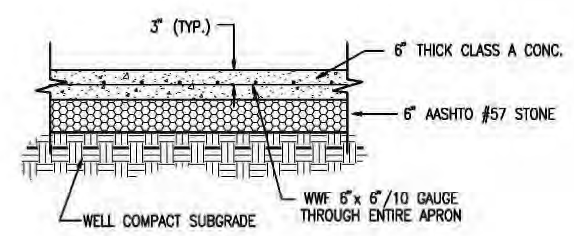
TYPICAL TYPE 'C' INLET DETAILS
N.T.S.



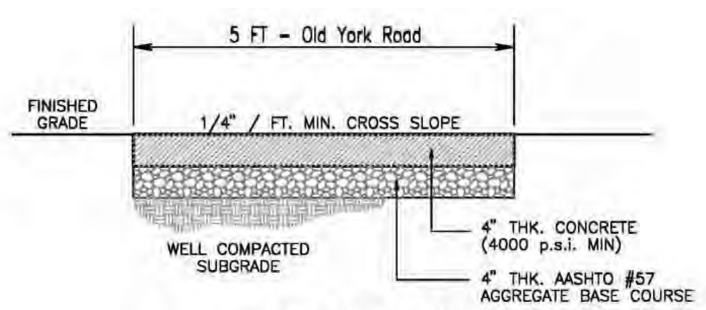
PRECAST INLET BOX DETAILS
N.T.S.



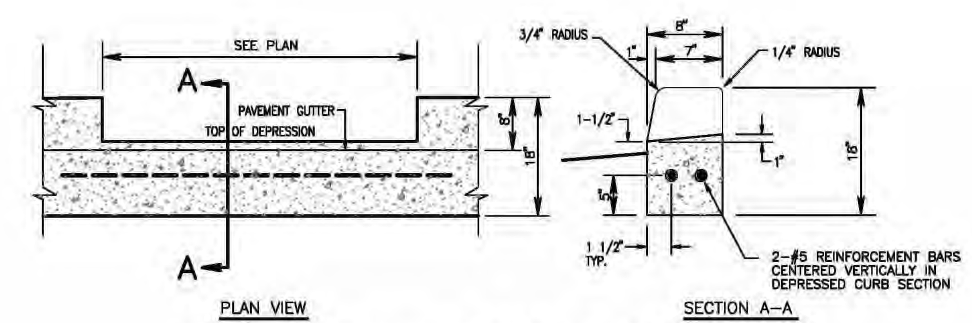
DRIVEWAY DEPRESSION AND APRON DETAIL
N.T.S.



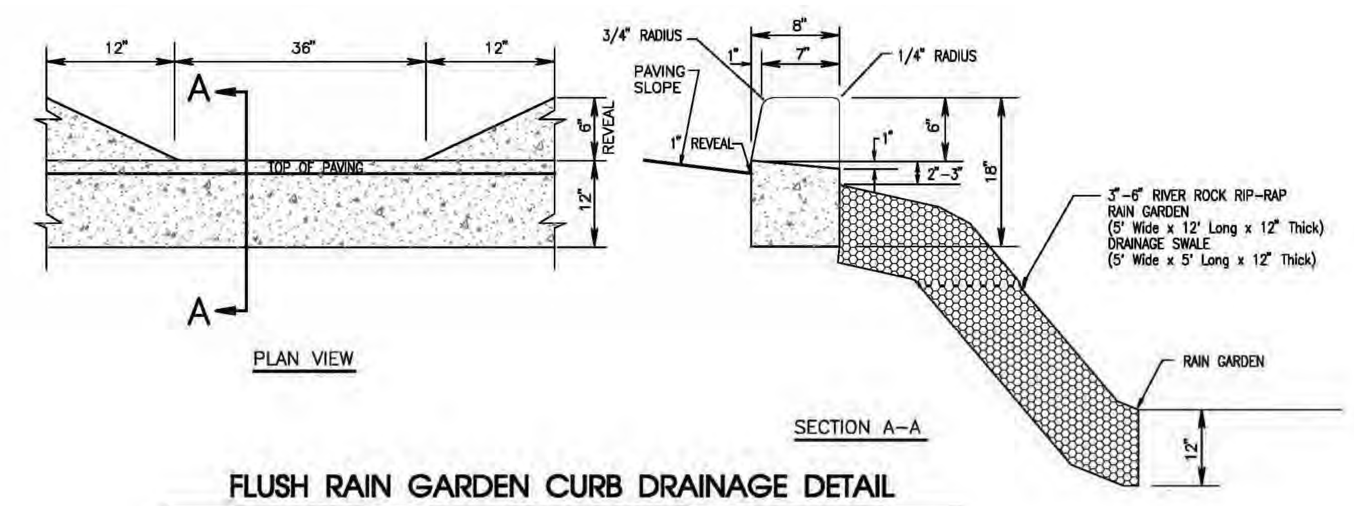
DRIVEWAY APRON DETAIL
N.T.S.



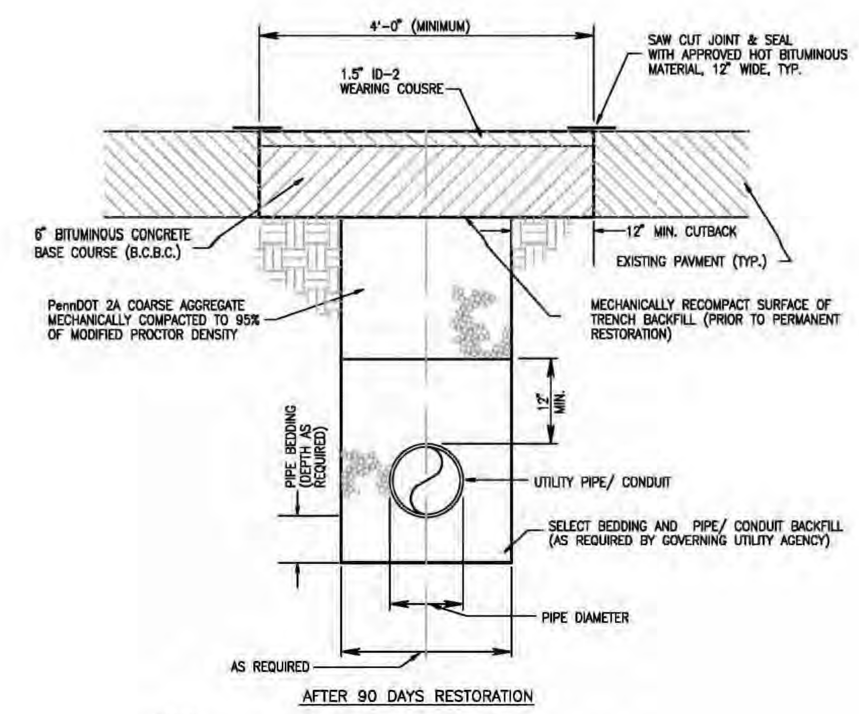
CONCRETE SIDEWALK
Not To Scale



DRIVEWAY DEPRESSED CONCRETE CURB DETAIL
NTS

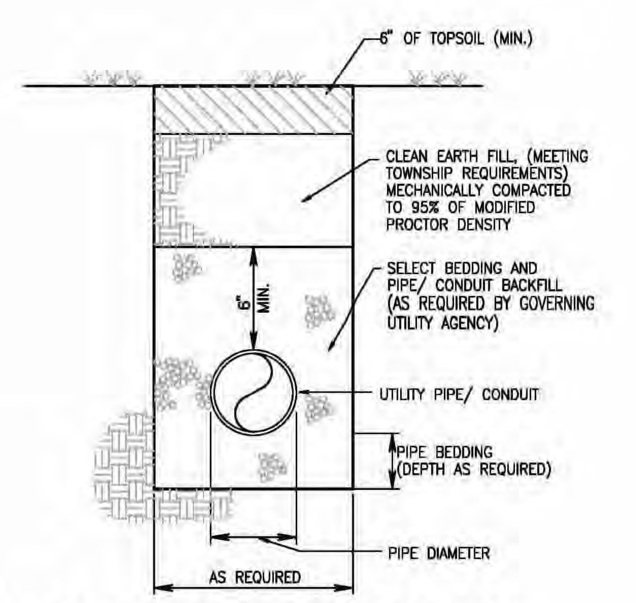


FLUSH RAIN GARDEN CURB DRAINAGE DETAIL
NTS

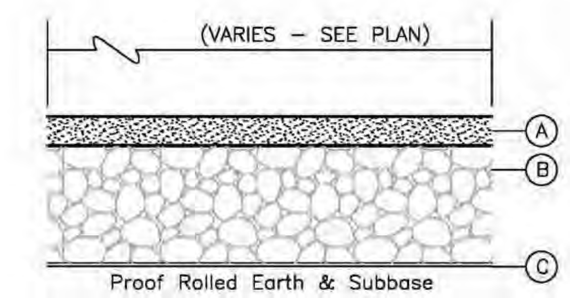


NOTES:
1. BEFORE 90 DAYS, ROAD SHALL BE TEMPORARILY RESTORED WITH 2A COURSE AGGREGATE AND 2" OF PennDOT ID–2 BINDER COURSE (TO GRADE) AND ALLOWED TO SETTLE 90 DAYS PRIOR TO PERMANENT RESTORATION, AS SHOWN ABOVE. PERMANENT RESTORATION OF TRENCHES SHALL BE COMPLETED ONLY AFTER APPROVAL BY THE TOWNSHIP ENGINEER.
2. RETAINED SUITABLE MATERIAL MAY BE USED AS BACKFILL FOR TRENCHES IN TOWNSHIP RIGHT–OF–WAY (OUTSIDE OF CARTWAY) WHEN MORE THAN THREE (3) FEET FROM EDGE OF EXISTING CARTWAY, CURB, AND / OR SIDEWALK.
3. MINIMUM WIDTH OF ALL RESTORATION SHALL BE FOUR (4) FEET.
4. COLD PATCH SHALL BE APPLIED ON ALL TRENCH RESTORATIONS (PRIOR TO 90 DAYS) WHEN B.C.B.C./ID–2 BINDER COURSE ARE NOT AVAILABLE DUE TO WEATHER CONDITIONS.

TYPICAL TRENCH RESTORATION DETAIL
(FOR PAVED AREAS)
N.T.S.



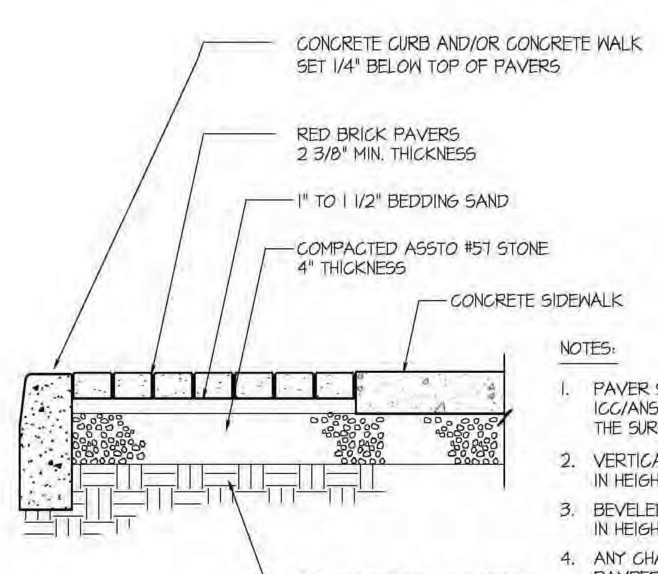
TYPICAL TRENCH RESTORATION DETAIL
(FOR NON PAVED AREAS)
N.T.S.



(A) = 1.5" SuperPave Volumetric Asphalt Mixture Design, 9.5mm, PG 64–22, WMA Wearing Course, 0–0.3M ESALs, SRL–H
(B) = 6" SuperPave Volumetric Asphalt Mixture Design, 25mm, PG 64–22, WMA Base Course, 0–0.3M ESALs
(C) = Prepared Subgrade

NON-PERVIOUS ASPHALT PAVEMENT CROSS SECTION
Not To Scale

(PERVIOUS ASPHALT PAVEMENT CROSS SECTION ON SH 13)**



NOTES:
1. PAVER SURFACE AND JOINTS MUST COMPLY WITH ICC/ANSI A117.1-2009 SECTIONS 302 AND 303 AND THE SURFACE WILL BE STABLE, FIRM, AND SLIP RESISTANT.
2. VERTICAL CHANGES IN LEVEL WILL BE 1/4 INCH MAXIMUM IN HEIGHT.
3. BEVELED CHANGES IN LEVEL WILL BE 1/2 INCH MAXIMUM IN HEIGHT AND WILL HAVE A SLOPE NOT STEEPER THAN 1:2.
4. ANY CHANGES IN LEVEL GREATER THAN 1/2 INCH WILL BE RAMPED IN ACCORDANCE WITH THE REQUIREMENTS OF ICC/ANSI A117.1-2009 SECTIONS 405 OR 406.

NOTE:
1. THICKNESS OF BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COODER CLIMATES MAY REQUIRE THICKER BASES.

RED BRICK PAVER BLOCK CROSS SECTION
NTS

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK – UNIT
180-079
180-076
SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD
ABINGTON, PA. 19001
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

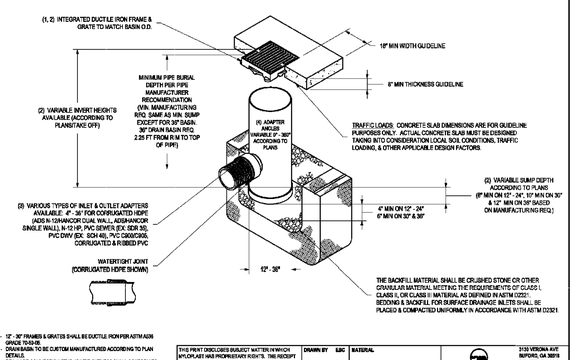
SCALE: AS NOTED

DATE	NO	REVISION	BY
1/31/2020	1	TOWNHIP STAFF REVIEW	GAT

CONSTRUCTION DETAILS
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A–10–742
JOB NO.
25857A
SHEET NO.
12 OF 15

NYLOPLAST 2 FT X 2FT ROAD & HIGHWAY STRUCTURE: 32 __ AGS __ X

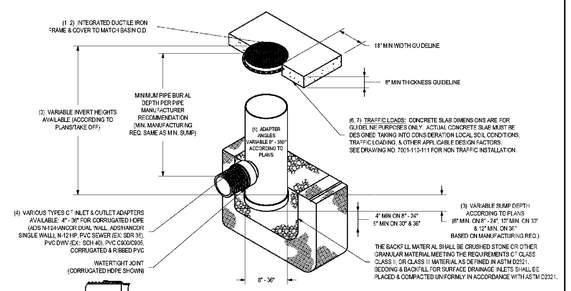


1 - 12" - 30" FRAMES & GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 36")
4 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO OBTAIN OPTIMUM FIT BETWEEN ADAPTERS SEE DRAWING NO. 7004-119-012 SC 7004-119-013.
5 - ROAD & HIGHWAY GRATE SHALL MEET H-20 LOAD RATING.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THIS RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY EBC	MATERIAL	Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-3492 www.nyloplast-us.com
DATE 1-23-06			
REVISED BY NWH	PROJECT NO./NAME		
DATE 7-23-19		TITLE DRAIN BASIN WITH 2 FT X 2 FT ROAD & HIGHWAY GRATE QUICK SPEC INSTALLATION DETAIL	
DWG SIZE A	SCALE 1:40	SHEET 1 OF 1	DWG NO. 7001-113-102 REV H

NYLOPLAST DRAIN BASIN WITH SOLID COVER



1 - 8" - 30" SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 12" - 30" FRAMES & GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
4" & 36" SOLID COVERS FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-113-040.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-113-040.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 36")
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO OBTAIN OPTIMUM FIT BETWEEN ADAPTERS SEE DRAWING NO. 7001-113-012.
6 - ROAD & HIGHWAY GRATE SHALL MEET H-20 LOAD RATING.
7 - 8" - 30" SOLID COVERS ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY. NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

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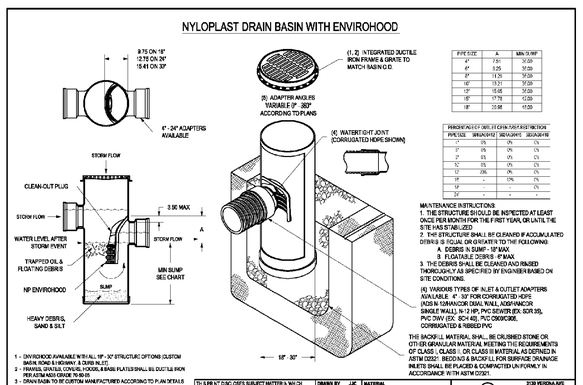
DRAWN BY EBC	MATERIAL	Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-3492 www.nyloplast-us.com
DATE 09-14-07			
REVISED BY NWH	PROJECT NO./NAME		
DATE 06-12-19		TITLE DRAIN BASIN WITH SOLID COVER QUICK SPEC INSTALLATION DETAIL	
DWG SIZE A	SCALE 1:40	SHEET 1 OF 1	DWG NO. 7001-113-200 REV E

NYLOPLAST DRAIN BASIN WITH ENVIROHOOD



PIPE SIZE	A	MIN SUMP
4"	7.91	30.00
6"	9.25	30.00
8"	11.25	30.00
10"	13.31	30.00
12"	15.46	30.00
18"	17.75	42.00
18"	23.68	42.00

PERCENTAGE OF DEBRIS STORM PER FIRST FLUSH			
PIPE SIZE	BREAKSPIRE	BREAKSPIRE	SEDGEMATE
4"	0%	0%	0%
6"	0%	0%	0%
8"	0%	0%	0%
10"	0%	0%	0%
12"	20%	0%	0%
18"	-	10%	0%
18"	-	-	0%
24"	-	-	-

MAINTENANCE INSTRUCTIONS
1. THE STRUCTURE SHOULD BE INSPECTED AT LEAST ONCE PER MONTH FOR THE FIRST YEAR, OR UNTIL THE SITE HAS STABILIZED.
2. THE STRUCTURE SHALL BE CLEANED IF ACCUMULATED DEBRIS IS EQUAL OR GREATER TO THE FOLLOWING:
A. DEBRIS IN SUMP - 18" MAX.
B. FLOATABLE DEBRIS - 6" MAX.
3. THE DEBRIS SHALL BE CLEANED AND RINSED THOROUGHLY AS SPECIFIED BY ENGINEER BASED ON SITE CONDITIONS.
(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE. 4" - 30" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX. SDR 35), PVC DWV (EX. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC
THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

1 - ENVIROHOOD AVAILABLE WITH ALL 18" - 30" STRUCTURE OPTIONS (CUSTOM BASIN BOWL & ROBINSON & CHAIN INLET).
2 - FRAMES, GRATES, COVERS, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-113-080.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 30")
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO OBTAIN OPTIMUM FIT BETWEEN ADAPTERS SEE DRAWING NO. 7004-119-111 SC 7004-119-113.
6 - HEAVY DUTY GRATE SHOULD BE ORDERED ON ANY ANGLE 0° TO 360°. TO AVOID WINNING WHEN ALL BETWEEN ADAPTERS SEE DRAWING NO. 7004-119-111

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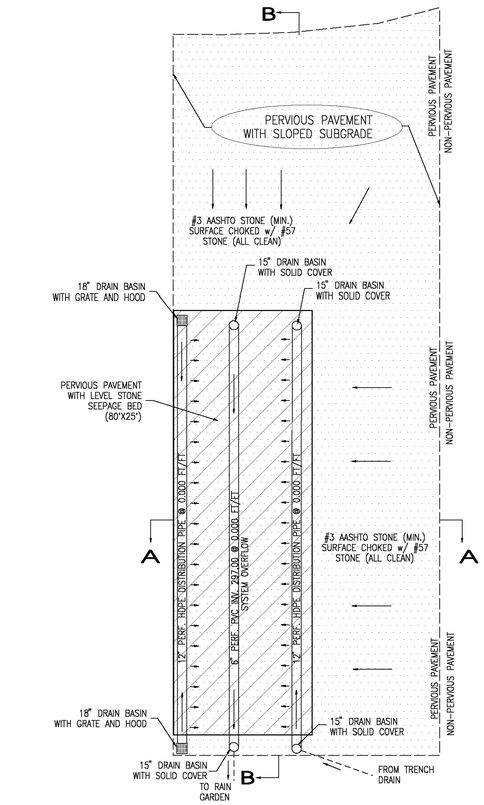
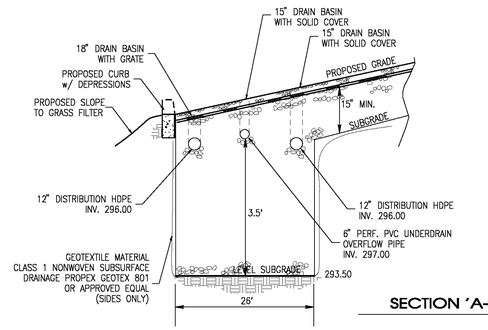
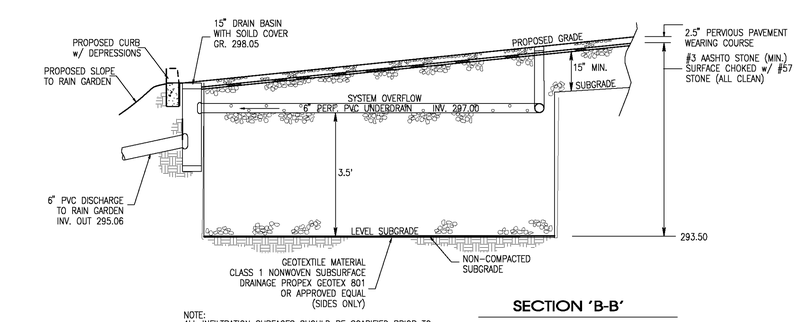
DRAWN BY JJK	MATERIAL	Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-3492 www.nyloplast-us.com
DATE 10-17-05			
APPD BY JJK			
DATE 10-17-05			
REV BY NWH	PROJECT NO./NAME		
DATE 03-15-11			
APPD BY NWH		TITLE DRAIN BASIN WITH ENVIROHOOD QUICK SPEC INSTALLAT ON DETAIL	
DATE 03-15-11			
DWG SIZE A	SCALE 1:30	SHEET 1 OF 1	DWG NO. 7004-119-100 REV D





SECTION 'A-A'

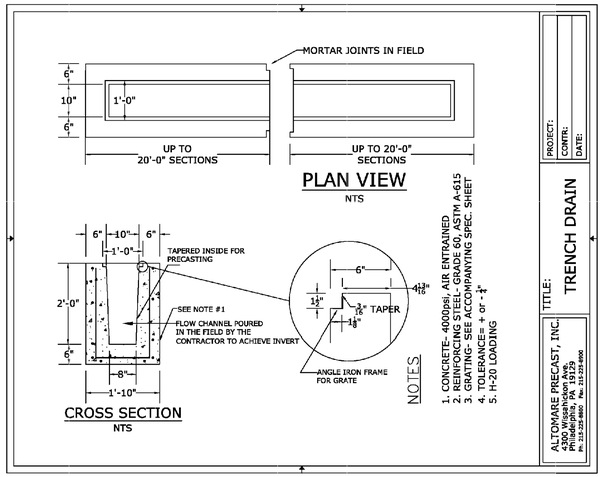


NOTE:
ALL INFILTRATION SURFACES SHOULD BE SCARIFIED PRIOR TO PLACEMENT OF NON-WOVEN GEOTEXTILE AND STONE

SECTION 'B-B'

TYPICAL SECTION ALONG CURB/PERVIOUS PAVEMENT INTERFACE WITH LEVEL STONE SEEPAGE BED

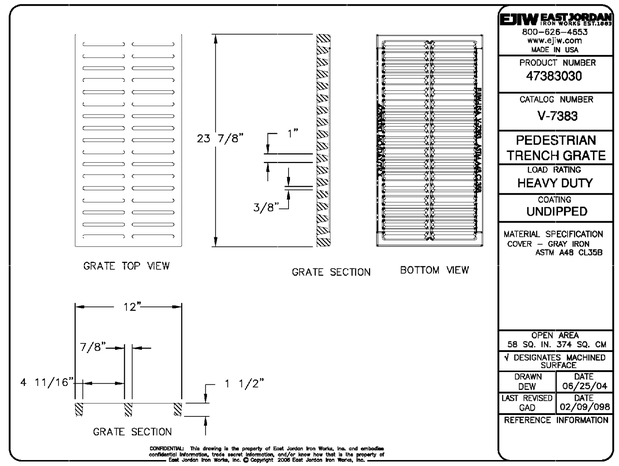
NTS



NOTES

1. CONCRETE- 4000psi, AIR ENTRAINED
2. REINFORCING STEEL- GRADE 60, ASTM A-615
3. GRATTING- SEE ACCOMPANYING SPEC. SHEET
4. TOLERANCE= + or - $\frac{1}{4}$"
5. H-20 LOADING

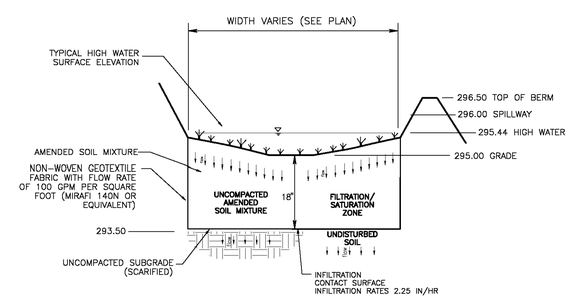
PROJECT:	
CONTR:	
DATE:	
TITLE:	TRENCH DRAIN
ALTOMARE PRECAST, INC.	PHONE: (908) 276-9129 FAX: (908) 276-8660
P.O. BOX 2129	PHONE: 215-223-8660 FAX: 215-223-8690



EJIW EAST JORDAN IRON WORKS EST.1883
800-626-4553
www.ejiw.com
MADE IN USA

PRODUCT NUMBER	47383030
CATALOG NUMBER	V-7383
PEDESTRIAN TRENCH GRATE	
LOAD RATING	HEAVY DUTY
COATING	UNDIPPED
MATERIAL SPECIFICATION	COVER – GRAY IRON ASTM A48 CL35B
OPEN AREA	58 SQ. IN. 374 SQ. CM
√ DESIGNATES MACHINED SURFACE	
DRAWN DEW	DATE 06/25/04
LAST REVISED CAD	DATE 02/09/098
REFERENCE INFORMATION	

CONFIDENTIAL: This drawing is the property of East Jordan Iron Works, Inc. and embodies confidential information, trade secret information, and/or some how that is the property of East Jordan Iron Works, Inc. © Copyright 2006 East Jordan Iron Works, Inc.



NOTE: SEE LANDSCAPE PLANS FOR PLANTING INFORMATION.

AMENDED SOIL NOTES

1. The amended soil shall be classified as a loam, sandy loamy sand per USDA textural analysis. The amended soil shall be free to stones, stumps, roots, and other wood material over 1/2" in diameter. Brush or seeds from noxious weeds shall not be present in the soil. Placement of the amended soil shall be in lifts of 12" or less and only lightly tamped.
2. In order to achieve optimal organic matter content, compposts, mulches, manures, and/or mushroom soils may be added to the amended soil mixture. Composts utilized in the amended soil mixture shall have been produced per CFR 503 regulations, where applicable.
3. The amended soil material sall be at an optimal moisture content prior to installation in any proposed facility in order to provide a uniform mixture.
4. The gravel portion of the amended soil mixture shall be below 10 percent, all of which shall be less than 1/2" in size.
5. If sand is added to the amended soil mixture to raise the sand content, the sand shall meet ASTM C-33 (washed concrete sand with 2-4% fines) requirements. Screenings are not the be used.

AMENDED SOIL MIXTURE

pH- 5.5 TO 7.0
ORGNAIC MATTER – 4 TO 10 PERCENT
SAND – 50 TO 75 PERCENT
SILT – 15 TO 40 PERCENT
CLAY – LESS THAN 10 PERCENT
GRAVEL – LESS THAN 10 PERCENT

RAIN GARDEN DETAIL

NTS

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
RE-024615-E

COUNTY PARCEL NO.
30-00-48316-00-1
30-00-48320-00-6
BLOCK – UNIT
180-078
SITE ADDRESS
966 OLD YORK ROAD
968 OLD YORK ROAD
JENKINTOWN, PA 19046
JENKINTOWN, PA 19046

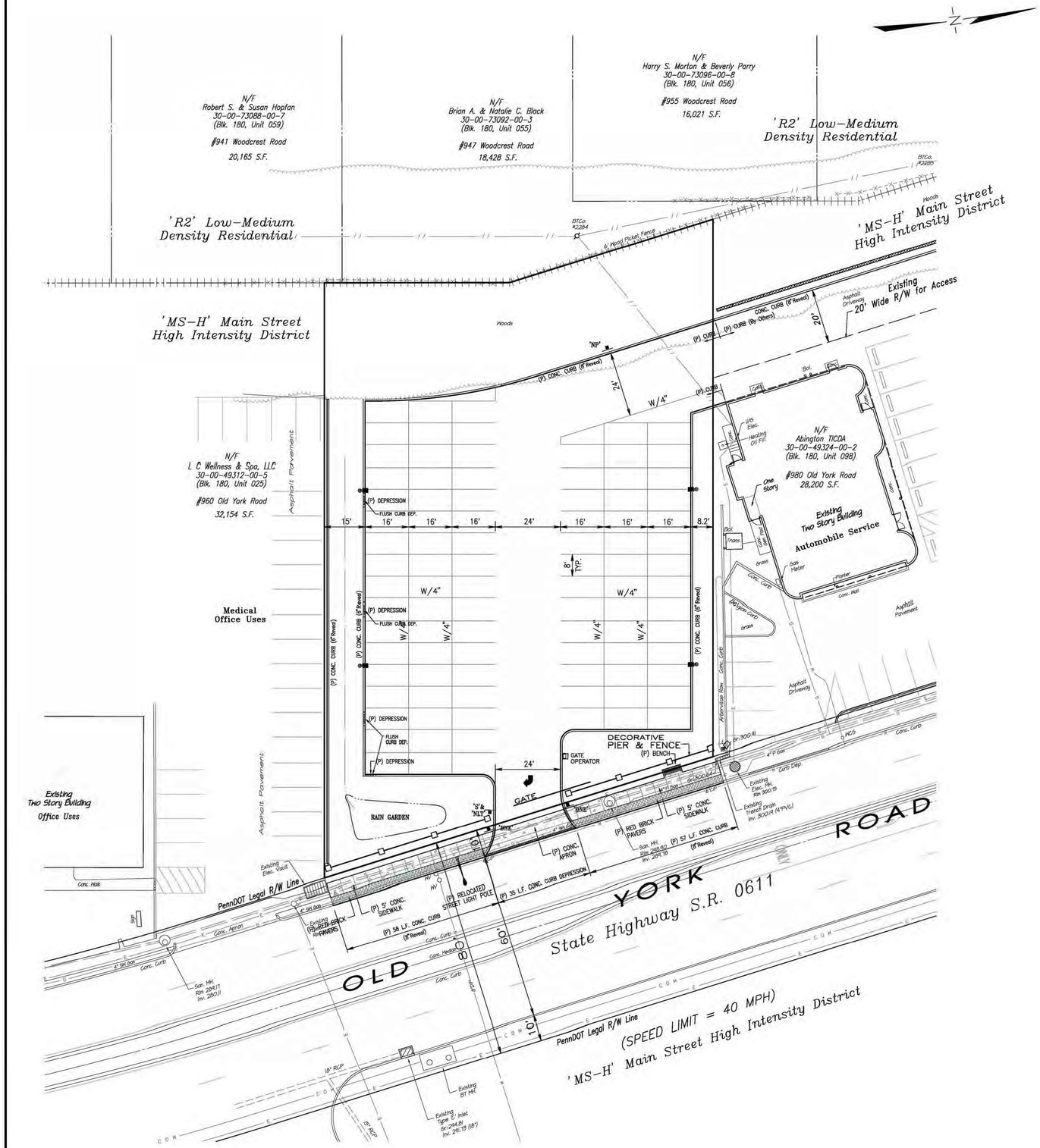
EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1456 FORT PENN ROAD
ABINGTON HILLS, PA 19001
PHONE: 215-887-2165
FAX: 215-576-7791
E-MAIL: staff@cesheomaker.com
SCALE: AS NOTED

DATE	NO	REVISION	BY
1/31/2020	1	TOWNSHIP STAFF REVIEW	DAT

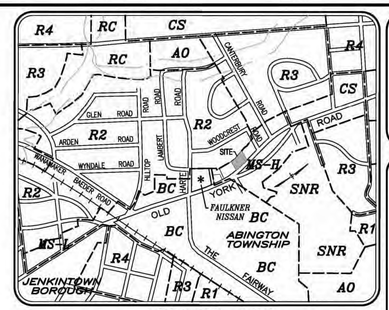
CONSTRUCTION DETAILS
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A-10-743
JOB NO.
25857A
SHEET NO.
13 OF 15



LEGEND

EXISTING	PROPOSED
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
TOP & BOTTOM CURB ELEV.	TOP & BOTTOM CURB ELEV.
LIGHT STD.	STORM SEWER
FENCE LINE	RAIN GARDEN DRAIN
UTILITY POLE	CURB DEPRESSION
WATER VALVE	CONCRETE WALK
WATER CURB STOP	DETECTABLE WARNING SURFACE
GAS VALVE	UTILITY POLE
FIRE HYDRANT	OVERHEAD WIRE
EXISTING SIGN	LIMIT OF PROJECT
SANITARY SEWER	TRAFFIC SIGN
STORM SEWER	PROPOSED LIGHT STD.
OVERHEAD WIRE	
ELECTRIC CONDUIT	
GAS MAIN	
WATER MAIN	
COMMUNICATIONS CONDUIT	
SANITARY LATERAL	
WATER SERVICE	



LOCATION MAP
SCALE: 1" = 800'

30"×30"
(R1-1)

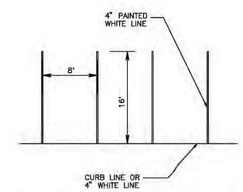
'STOP SIGN'
N.T.S.

12"×12"
(R3-2)

NO LEFT TURN SIGN
N.T.S.

30"×30"
(R5-1)

'DO NOT ENTER' SIGN
N.T.S.



TYPICAL PARKING SPACE MARKING
NTS

SIGNAGE NOTES:

1. SIGNS TO BE IN COMPLIANCE WITH ABINGTON TOWNSHIP SPECIFICATIONS.
2. SIGNS TO BE A MINIMUM SIZE OF 12" IN WIDTH AND 18" IN HEIGHT.
3. SIGN TO BE DOUBLE SIDED AND PLACED PERPENDICULAR TO THE FLOW OF TRAFFIC.
4. MINIMUM HEIGHT OF LETTERS IS THREE (3) INCHES.
5. THE BOTTOM OF THE SIGN SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE THE PAVEMENT OR CURB.

PAVEMENT MARKING NOTES:

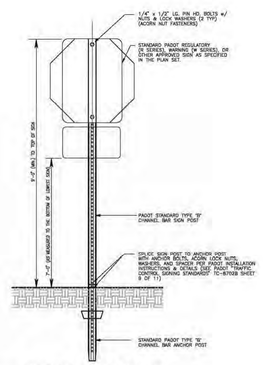
1. MINIMUM WIDTH OF ANY PART OF A LETTER IS FOUR (4) INCHES.
2. MINIMUM HEIGHT OF LETTER IS THIRTY-SIX (36) INCHES.
3. MINIMUM LENGHT OF MESSAGE IS FIFTY (50) INCHES.
4. WHERE A CURB ACTS AS A BOUNDARY TO A FIRE LANE, CURB TO BE PAINTED YELLOW.

COLORS LEGEND:
Legend & Border: RED (NON-REFLECTORIZED)
Background: WHITE (REFLECTORIZED)

ABINGTON TOWNSHIP - NO PARKING SIGN
Not To Scale

NOTES:

1. POST MOUNTED SIGNS SHALL BE TYPE 'B' CHANNEL BAR POSTE AND SHALL CONFORM TO PADOT "TRAFFIC CONTROL SIGN STANDARDS" TC-8702B SHEET 8 THRU 11 OF 11. APPROPRIATE POSTS SHALL BE SELECTED BASED ON THE SIZE OF THE SIGN USING THE SLECTION TABLES CONTAINED THEREIN.
2. SIGN INSTALLATION SHALL BE IN ACCORDANCE WITH PADOT "TRAFFIC CONTROL SIGNING STANDARDS" TC-8702B SHEETS 8 THRU 11 OF 11 AS AMENDED.
3. SEE CIVIL PLANS FOR EXACT LOCATION, TYPE AND SIZE OF SIGNS. ALL REGULATORY (R SERIES). SIGNS SHALL CONFORM TO THE PADOT "HANDBOOK OF APPROVED SIGNS", PUBLICATION 236M, AS AMENDED, UNLESS OTHERWISE SPECIFIED.
4. SIGNS SHALL BE SETBACK 2.0' FROM CURBLINES OR OTHER OBSTRUCTIONS AS MEASURED FROM THE FACE/EDGE OF THE SIGN.
5. ALL SIGNS SHALL BE INSTALLED WITH ACORN NUT FASTENERS.
6. RESERVED PARKING SPACE SIGNS SHALL CONFORM TO DEPARTMENT OF JUSTICE "ADA" STANDARDS FOR ACCESSIBLE DESIGN" AS AMENDED.



STANDARD SIGN POST DETAIL
N.T.S.

TRAFFIC SIGN SCHEDULE

KEY	DESCRIPTION	SERIES	SIZE
'S'	"STOP" SIGN	(R1-1)	30"×30"
'DNE'	"DO NOT ENTER" SIGN	(R5-1)	30"×30"
'NLT'	"NO LEFT TURN" SIGN	(R3-2)	12"×12"
'NP'	"NO PARKING FIRE LANE"	–	12"×18"

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD A. STONEBACK
ENGINEER
PE-024615-E

COUNTY PARCEL NO.
30-00-49316-00-1
30-00-49320-00-6
BLOCK - UNIT
180-077
180-078

SITE ADDRESS
966 OLD YORK ROAD
JENKINTOWN, PA 19046
968 OLD YORK ROAD
JENKINTOWN, PA 19046

EQUITABLE OWNER
JJLH Associates, LTD
4437 EAST STREET ROAD
TREVOSE, PA 19053

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABINGTON, PA. 19001
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com

SCALE 1" = 20'
0' 10' 20' 40' 60'

NO	DATE	REVISION	BY
1	1/31/2020	TOWNSHIP STAFF REVIEW	CAT

PAVEMENT MARKINGS & SIGNAGE PLAN
OF
966 & 968 OLD YORK ROAD
PREPARED FOR
JJLH ASSOCIATES, LTD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE
OCTOBER 25, 2019
DWG NO.
A-10-744
JOB NO.
25857A
SHEET NO.
14 OF 15

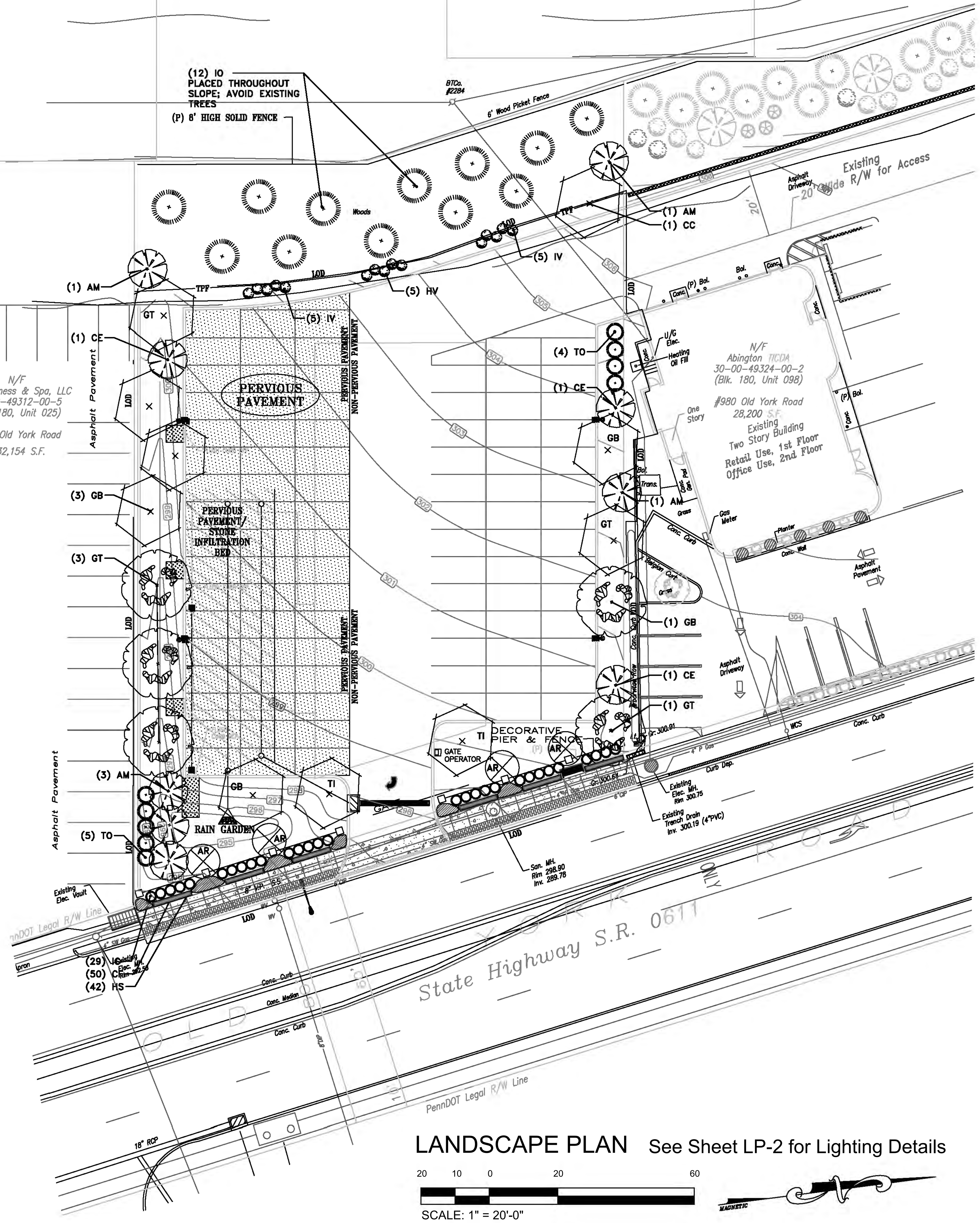
AERIAL PHOTO PLAN

JULH ASSOCIATES, LTD

25857A

15 15

NOTE
AERIAL IMAGERY TAKEN FROM GOOGLE EARTH PRO.



LANDSCAPE PLAN

See Sheet LP-2 for Lighting Details

20 10 0 20 60

SCALE: 1" = 20'-0"

LANDSCAPE LEGEND

- Parking Lot Landscape
- Street Tree
- Buffer Landscape
- Street Wall Landscape

PLANT SCHEDULE

Plan Symbol	Quantity	Botanical Name	Common Name	Min. Planting Caliper	Min. Planting Height	Remarks	Comments
Trees							
AM	6	*Amelanchier x grandiflora 'Autumn Brilliance*	'Autumn Brilliance' Serviceberry	-	8-10'	B&B	Multi-stem, min. 5 stems
AR	4	*Acer rubrum 'Bowhall'*	'Bowhall' Maple	2"	10-12'	B&B	Full canopy, central leader
CC	1	*Carpinus caroliniana*	American Hornbeam	2"	10-12'	B&B	Full canopy, central leader
CE	3	*Cercis canadensis*	Eastern Redbud	-	8-10'	B&B	Multi-stem, min. 5 stems
GB	6	*Ginkgo biloba 'Princeton Sentry'*	'Princeton Sentry' Ginkgo	2"	10-12'	B&B	Full canopy, central leader
GT	6	*Gleditsia triacanthos var. inermis*	Thornless Honeylocust	2"	10-12'	B&B	Full canopy, central leader
IO	12	*Ilex opaca*	American Holly	-	8-10'	B&B	Branched fully to ground
TI	2	*Tilia cordata*	Littleleaf Linden	2"	10-12'	B&B	Full canopy, central leader
TO	9	*Thuja occidentalis 'Smaragd'*	Emerald Green Arborvitae	-	8-10'	B&B	Branched fully to ground
Shrubs**							
HV	5	*Hamamelis intermedia*	Witch Hazel	-	24-30"	CONT	Heavy, full specimen
IG	29	*Ilex glabra 'Shamrock'*	'Shamrock' Inkberry	-	18-24"	CONT	Heavy, full specimen
IV	10	*Ilex verticillata*	Winterberry	-	24-30"	CONT	Heavy, full specimen
Perennials**							
CF	50	*Calamagrostis x acutiflora 'Karl Foerster'*	Feather Reed Grass	-	-	1 gal.	Plant 18" on center
HS	42	*Hemerocalis 'Stella D'oro'*	Daylily	-	-	1 gal.	Plant 18" on center

** Plant in continuous mulch bed (2-3" depth) until fully established.

An inspection shall be made by the Township one (1) year after occupancy permit has been issued by the Township. Any landscape materials that are unacceptable at the time of inspection shall be replaced in order to satisfy the landscaping requirements of the Township.

L E G E N D

EXISTING FEATURES

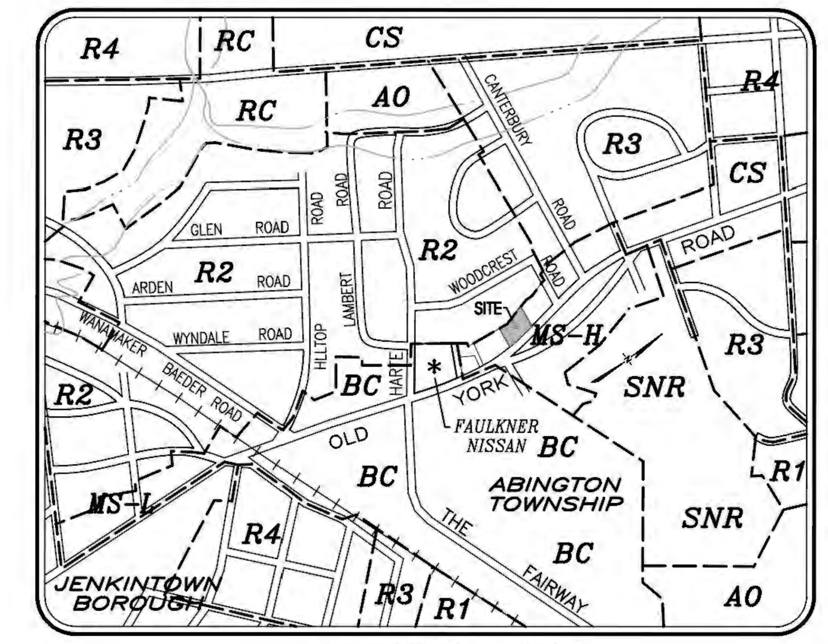
- 385 CONTOUR LINE
- +402.96 SPOT ELEVATION
- T:402.96 B:402.46 TOP & BOTTOM CURB ELEVATION
- FENCE
- FH FIRE HYDRANT
- PE592 UTILITY POLE
- GV GAS VALVE
- WV WATER VALVE
- CO SANITARY CLEAN OUT
- WCS WATER CURB STOP
- STORM SEWER w/ INLET
- SANITARY SEWER w/ MANHOLE
- OVERHEAD WIRE
- E ELECTRIC CONDUIT
- G GAS MAIN
- W WATER MAIN
- COM COMMUNICATIONS CONDUIT
- ZONING DISTRICT LINE
- SLOPES > 25%

PROPOSED FEATURES

- PROPOSED CONCRETE WALK
- PROPOSED ASPHALT PAVEMENT

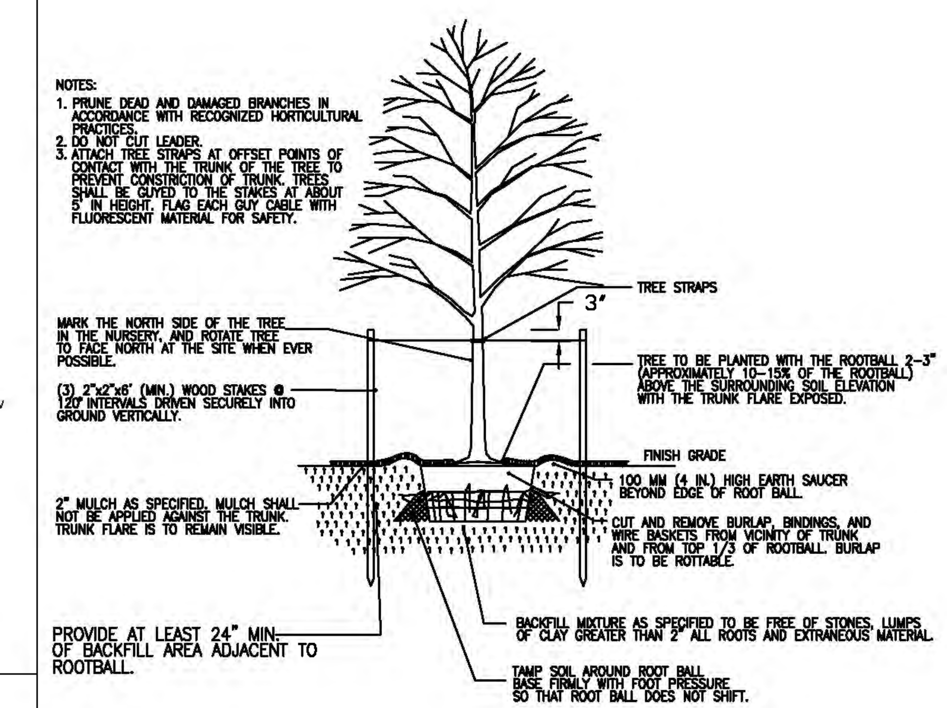
LANDSCAPE REQUIREMENTS CHART - ABINGTON TOWNSHIP

Ordinance Item	Requirement		Plan Proposed
Z.O. Sect. 2402 Parking Lot Landscaping & Street Trees	Any new or existing parking lots where at least 50% of the parking spaces are being developed or modified, or where 15,000 sf of existing parking area has been altered; and where such parking area has at least 50 stalls, the following shall be provided:		
	Planting Islands: One planting island shall be provided for every 15 parking stalls		[variance granted 5/23/19]
	There shall be no more than 15 contiguous parking stalls in a row without a planting island. As an alternative, an applicant may provide one canopy tree for every 10 parking stalls in planting island areas and/or perimeter parking planting areas, at the discretion of the BOC. Parking lot trees shall be at least 3" caliper. 94 parking stalls 94/10 = 10 Canopy Trees		10 Canopy Trees
	Parking Lot Perimeter Buffer: All parking lots or areas with more than 15 parking spaces shall be buffered according to the following when any part of the parking lies within 150' of a property line, public street, or residential district (exception: those parking lots to which the street wall requirement in Article XXV: Streetscape applies) Parking lots shall be planted with a Medium-Intensity buffer, a min. 10 feet in width, except where buildings, access drives, and/or walkways are located. (see below for planting requirements)		[variance granted 5/23/19 to allow 8.2' buffer width along northern property line]
	Street Trees: Street trees shall be required along each frontage on all existing streets when they abut of lie within a proposed subdivision or land development. Trees shall be planted at a ratio of at least one tree per 40 LF Old York Rd: 150' 150/40 = 4 Shade trees		4 Shade trees
Z.O. Sect. 2403.B Buffers & Screens	Must assess adjacent land use to determine buffer requirements: Northern property line: 196' Low Intensity Buffer, per 100 LF: 1 canopy tree (2-2 1/2" min. cal.) 2 understory trees (1 1/2" min. cal.) 2 evergreen trees (8' min. ht.)	 196/100 = 2 (196/100) x 2 = 4 (196/100) x 2 = 4	 2 Canopy trees 4 Understory trees 4 Evergreen trees
	Western property line: 146' High Intensity Buffer, per 100 LF: combination of Options A & D Option A: 8 evergreen trees (8' min. ht.) 2 canopy trees (2-2 1/2" min. cal.) 2 understory trees (1 1/2" min. cal.) 10 shrubs (24" min. ht.) Option D: Opaque fence or wall (6' ht.) 3 canopy trees (2-2 1/2" min. cal.) 4 understory trees (1 1/2" min. cal.)	 (146/100) x 8 = 12 (146/100) x 2 = 3 (146/100) x 2 = 3 (146/100) x 10 = 15 (146/100) x 3 = 5 (146/100) x 4 = 6	 12 Evergreen trees Existing vegetation + slope Existing vegetation + slope 15 Shrubs 8' fence [variance granted for 8' ht.] Existing vegetation + slope Existing vegetation + slope
	Southern property line: 218' Low Intensity Buffer, per 100 LF: 1 canopy tree (2-2 1/2" min. cal.) 2 understory trees (1 1/2" min. cal.) 2 evergreen trees (8' min. ht.)	 218/100 = 3 (218/100) x 2 = 5 (218/100) x 2 = 5	 3 Canopy trees 5 Understory trees 5 Evergreen trees
	Eastern property line (streetscape): see 'Street Wall' below		
Z.O. Sect. 2500.A Street Wall	Street wall in MS-Main Street District shall have fence/ wall combined with landscaping consisting of shrubs, perennials or grasses		29 Shrubs 50 Ornamental grasses 42 Perennials
S.O. 146-39.A Shade Trees	One tree per 50 feet along street. Old York Rd.: 150' 150/5 = 3 Shade Trees		[waiver] satisfied by Zoning requirement
S.O. 146-39.B(2)(c) Green Area Landscaping	Min. tree/ shrub plantings for the green area shall include a minimum of one deciduous or evergreen tree (min. 2 1/2" cal.) for each 1,000 sf of green area Green Area: 10,873 sf 10,873/1,000 = 11 trees		existing trees to remain
S.O. 146-39.B(3)(a)	[1] At least 5% of the total area devoted to parking area, not including buffers or yards on the perimeter, shall not be paved but shall be used for interior landscaping within a parking area. [2] Where total number of parking spaces exceeds 10 stalls, at least one (2 1/2" cal.) deciduous or evergreen tree shall be planted within the parking area. An additional tree of the same size shall be planted for each additional 15 spaces or portion thereof. 94 proposed parking spaces 94/15 = 7 trees		[waiver] [waiver] satisfied by Zoning requirement
	Total Landscape Proposed		**19 Shade Trees** **21 Evergreen Trees** **9 Understory Trees** **44 Shrubs** **92 Grasses/Perennials**



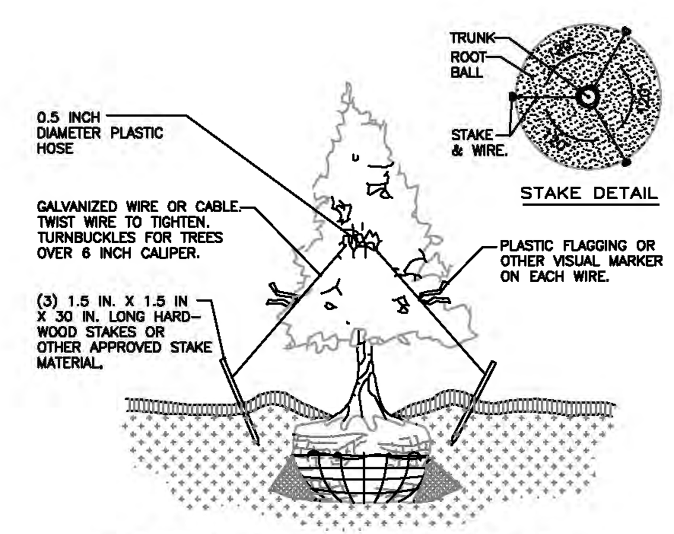
LOCATION MAP
SCALE: 1" = 800'

NOTES:
1. PRUNE DEAD AND DAMAGED BRANCHES IN ACCORDANCE WITH RECOGNIZED HORTICULTURAL PRACTICES.
2. DO NOT CUT LEADER.
3. ATTACH TREE STRAPS AT OFFSET POINTS OF CONTACT WITH THE TRUNK OF THE TREE TO PREVENT CONSTRICTION OF TRUNK. TREES SHALL BE GUYED TO THE STAKES AT ABOUT 5' IN HEIGHT. FLAG EACH GUY CABLE WITH FLUORESCENT MATERIAL FOR SAFETY.



ORNAMENTAL AND SHADE TREE PLANTING/ STAKING DETAIL

NOT TO SCALE

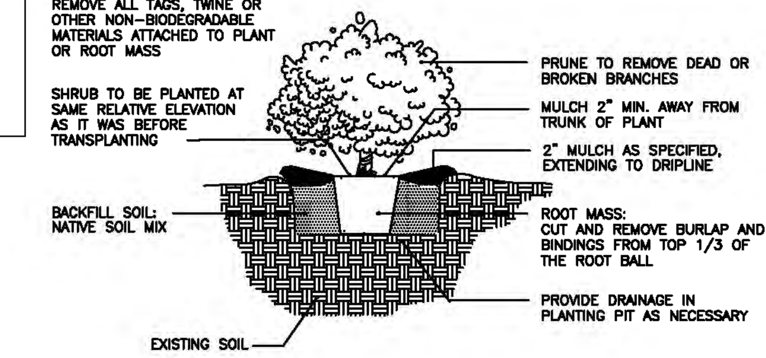


1. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.
2. ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM 0.5 INCH.
3. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON.
4. TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.
5. WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
   TREES UP TO 2.5 INCH CALIPER – 14 GAUGE
   TREES 2.5 INCH TO 3 INCH CALIPER – 12 GAUGE
6. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF TRUNK MOVEMENT.
7. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

EVERGREEN TREE STAKING DETAIL

NOT TO SCALE

NOTE:
REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS



SHRUB PLANTING DETAIL

NOT TO SCALE

General Notes

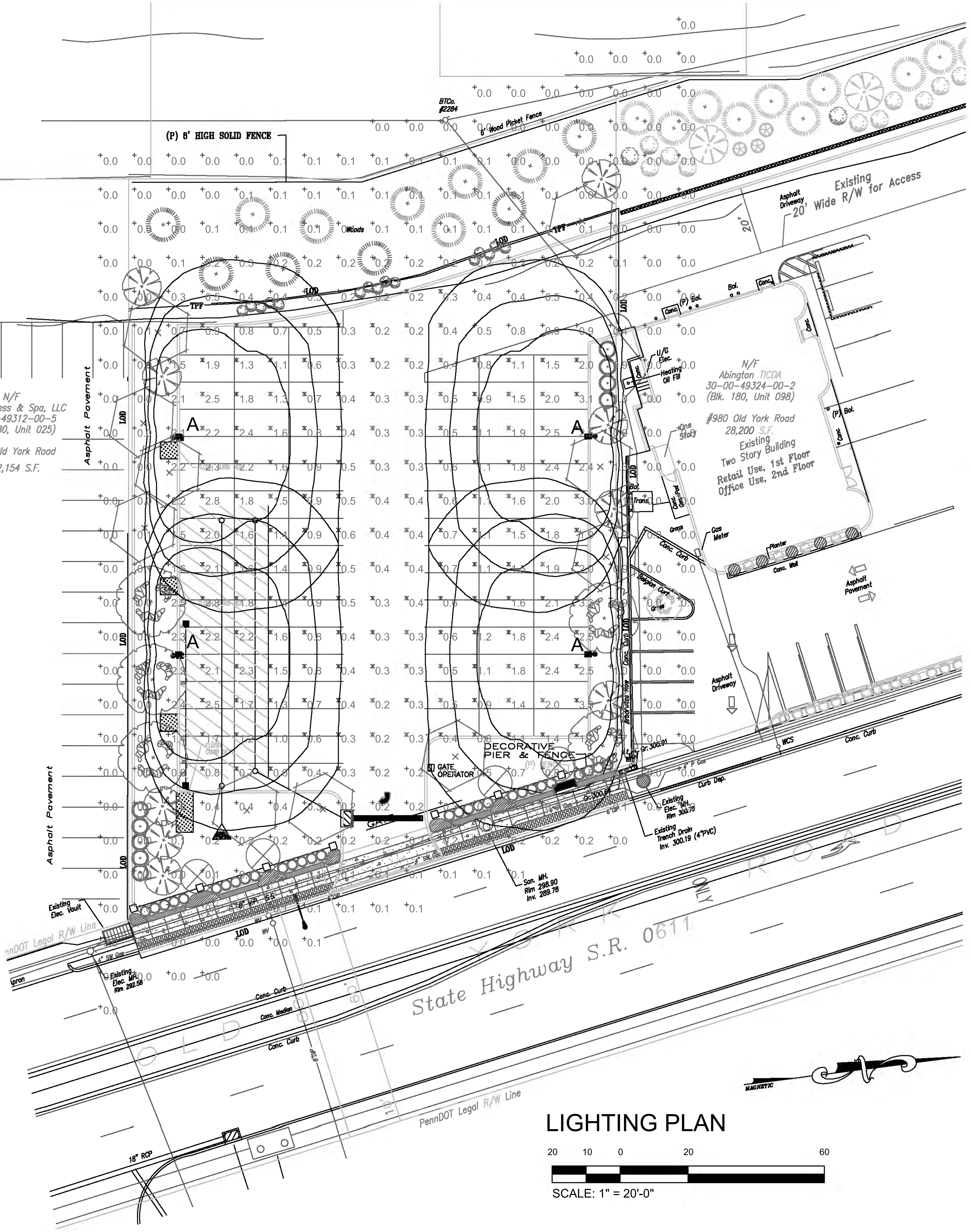
Landscape Plan & Details

No.	Revision/Issue	Date
1	PER TWP. LANDSCAPE COMMENTS	1/31/20

Firm Name and Address
InFocus Planning
EFFECTIVE. EFFICIENT.
LAND DEVELOPMENT SERVICES
7715 CRITTENDEN STREET #343
PHILADELPHIA, PA 19119
P: 267-336-7411 F: 267-775-5315
www.infocusplanning.com

Project Name and Address
966 & 968 OLD YORK ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PA

Project: InFocus_19-19
Date: 10/25/19
Scale: As Noted
Sheet: LP-1



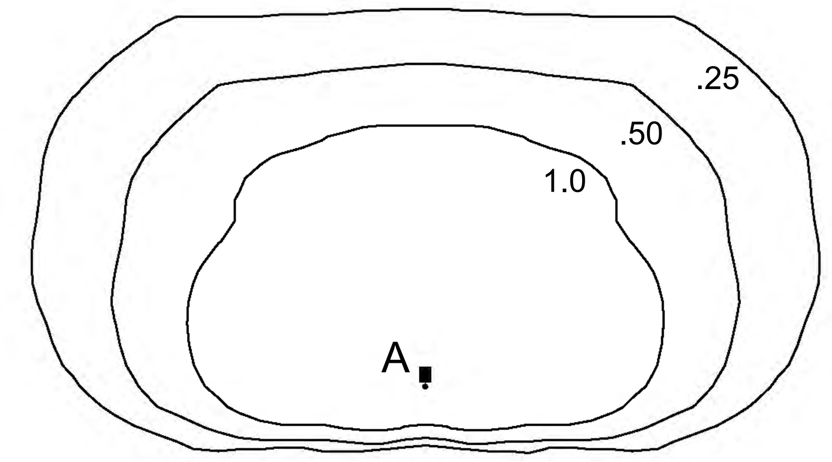
LIGHTING PLAN

20 10 0 20 60

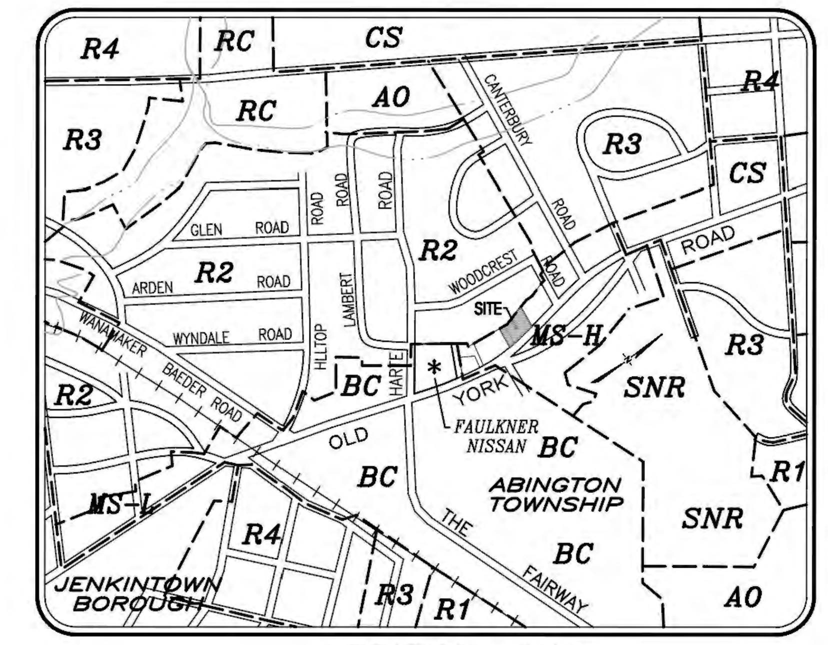
SCALE: 1" = 20'-0"

LUMINAIRE SCHEDULE - PARKING/ DRIVE LIGHTING - EATON-LUMARK 'PREVAIL' LED LUMINAIRE									
Symbol	Label	Qty	Catalog Number	Description	File	Lumens per Lamp	LLF	Watts	Mounting Ht.
■	A	4	PRV-C15-D-UNV-T4-HSS	PREVAIL AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K LED AND TYPE IV OPTIC WITH HOUSE SIDE SHIELD	PRV-C15-D-UNV-T4-HSS.ies	Absolute	1	52	16'

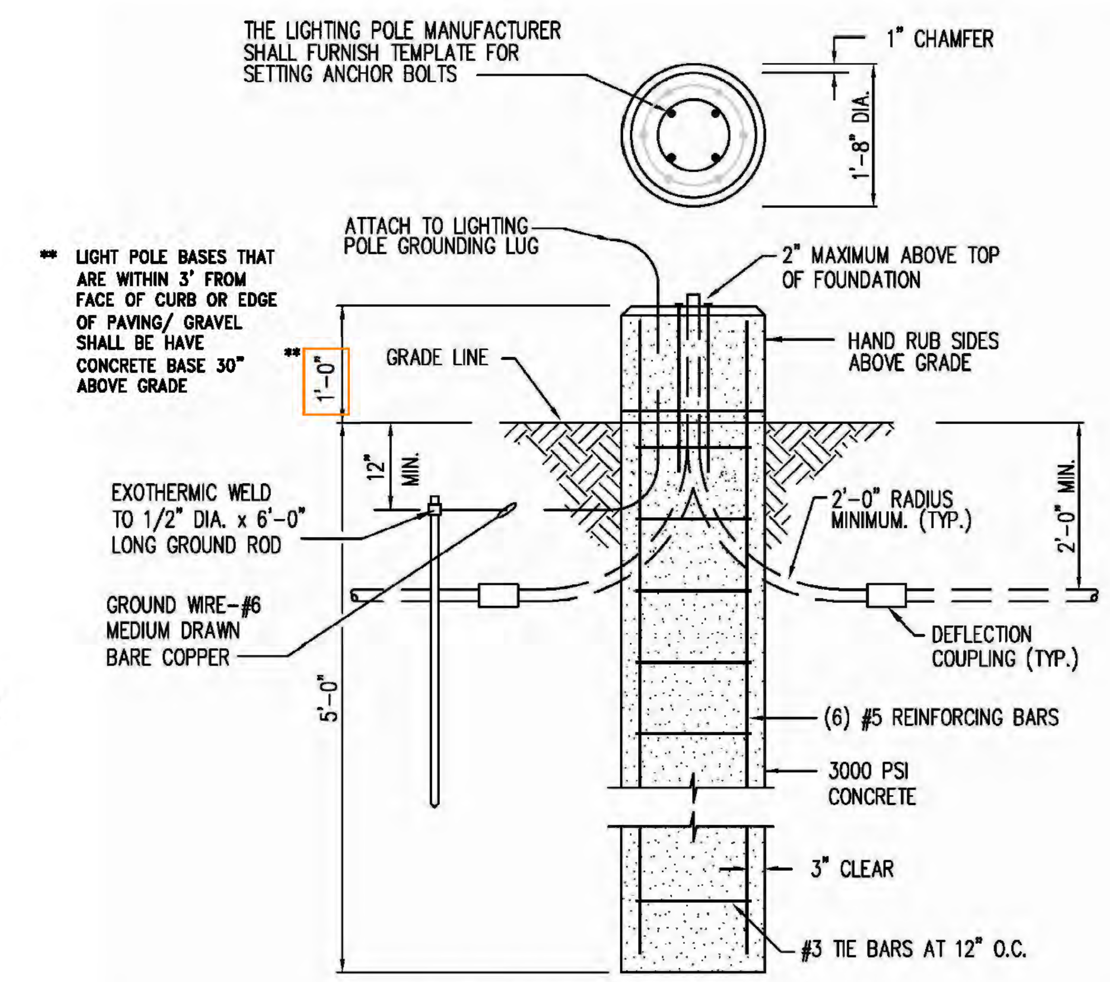
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	⁎	1.2 fc	3.3 fc	0.2 fc	16.5:1	6.0:1



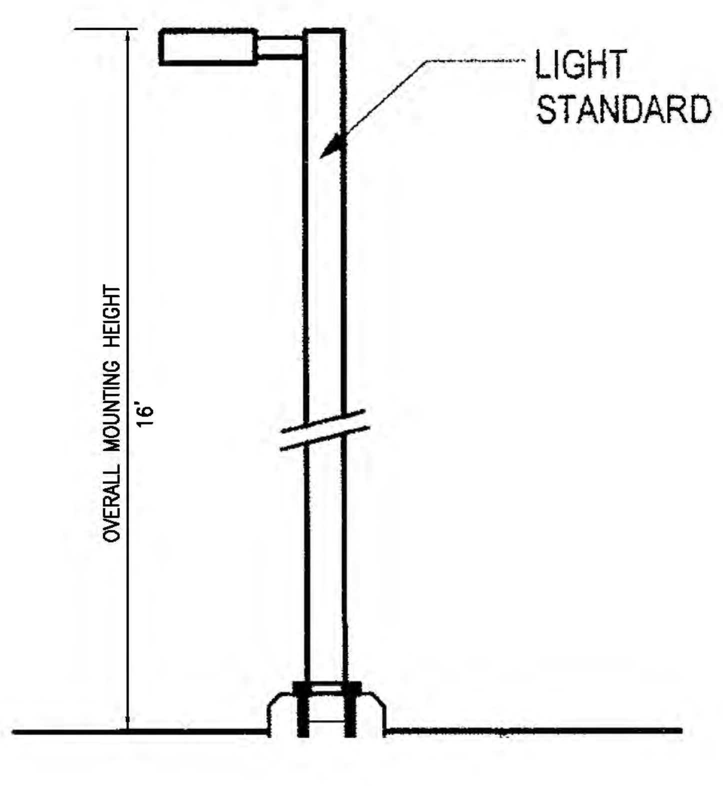
LIGHTING TEMPLATE
FOOTCANDLE LEVELS



LOCATION MAP
SCALE: 1" = 800'



POLE FOUNDATION DETAIL
NOT TO SCALE



POLE HEIGHT
NOT TO SCALE

Lumark

DESCRIPTION

The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 85%, the Prevail fixture replaces 150-1,000W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and vibration rated (ANSI C136.31) to insure strength of construction and longevity in the selected application.

Optics
Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type II, III, IV and V distributions with lumen packages ranging from 6,100 to 18,900 nominal lumens. Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

Electrical
LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 10kV/10 kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options.

Controls
See Control Options section for more details on available offerings.

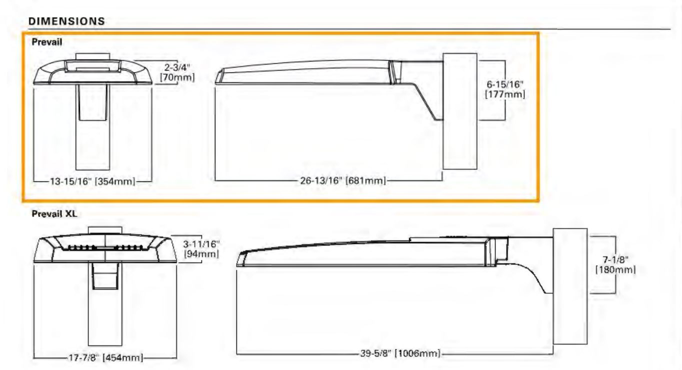
Mounting
Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. tenon.

Finish
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

Warranty
Five-year warranty.

PRV / PRV-XL
PREVAIL
LED
AREA / SITE / ROADWAY LUMINAIRE

DIMENSIONS



CERTIFICATION DATA
UL and cUL Wet Location Listed
DesignLights Consortium® Qualified*
IP66-Rated
3G Vibration Rated (PRV)
1.5G Vibration Rated (PRV-XL)
ISO 9001
FCC Class A

ENERGY DATA
Electronic LED Driver
0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 and 60Hz,
347V/60Hz, 480V/60Hz
-40°C Minimum Temperature Rating
+40°C Ambient Temperature Rating

SHIPPING DATA
Approximate Net Weight:
PRV: 20 lbs. (9.09 kgs.)
PRV-XL: 45 lbs. (20.41 kgs.)

EATON Powering Business Worldwide
*www.designlights.org
TD500069EN
September 30, 2019 9:28 AM

page 5 PRV / PRV-XL PREVAIL

ORDERING INFORMATION

Sample Number: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family	Light Engine	Driver	Voltage	Distribution	Mounting	Color
PRV=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	D=Dimming (0-10V)	UNV=Universal (120-277V) 347=347V 480=480V	T2=Type II T3=Type III T4=Type IV T5=Type V	SA=Standard Versatile Arm MA=Mast Arm WM=Wall Mount Arm	AP=Grey BZ=Bronze (Standard) BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
PRV-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens					

Options (Add as Suffix)	Accessories (Order Separately)
7030=70 CRI / 3000K CCT 7050=70 CRI / 5000K CCT HSS=House Side Shield L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right 10K=10kV/10kA UL 1449 Fused Surge Protective Device HA=50°C High Ambient Temperature PER=NEMA 3-PIN Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height MSP-L12=Integrated Sensor ON/OFF Operation, 8' - 12' Mounting Height MSP-L30=Integrated Sensor ON/OFF Dimming Operation, 12' - 30' Mounting Height MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ZW-SWPD4WH=Wavelinx Wireless Sensor, 7' - 15' Mounting Height, White ZW-SWPD4BZ=Wavelinx Wireless Sensor, 7' - 15' Mounting Height, Bronze ZW-SWPD5WH=Wavelinx Wireless Sensor, 15' - 40' Mounting Height, White ZW-SWPD5BZ=Wavelinx Wireless Sensor, 15' - 40' Mounting Height, Bronze LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height (See Table Below)=LumenSafe Integrated Network Security Camera	PRVWM-XX=Wall Mount Kit PRVMA-XX=Mast Arm Mounting Kit PRVSA-XX=Standard Arm Mounting Kit PRVXLSA-XX=Standard Arm Mounting Kit (for Prevail XL) MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon HS/VERD=House Side Shield VGS-F/B=Vertical Glare Shield, Front/Back VGS-SIDE=Vertical Glare Shield, Side OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V ISHH-01=Integrated Sensor Programming Remote FSIR-100=Wireless Configuration Tool for Occupancy Sensor SWPD4-WH=WaveLinx Wireless Sensor, 7' - 15' Mounting Height, White SWPD4-BZ=WaveLinx Wireless Sensor, 7' - 15' Mounting Height, Bronze SWPD5-WH=WaveLinx Wireless Sensor, 15' - 40' Mounting Height, White SWPD5-BZ=WaveLinx Wireless Sensor, 15' - 40' Mounting Height, Bronze WOLC-7P-10A=WaveLinx Outdoor Control Module (7-PIN)

NOTES:
1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information.
3. Standard 4000K CCT and 70CRI.
4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
5. Only available in PRV configurations C15, C25, C40 or C60.
6. Use dedicated IES files on product website for non-standard CCTs.
7. Option will come factory-installed. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, or 6). House Side Shield not suitable with T5 distribution or C60 lumen package.
8. Not available with C60 lumen package.
9. Controls system is not available with photocontrol receptacle (PER or PER7) or other controls systems (MS, MSP, ZW or LWR).
10. Utilizes the Wattstopper sensor FSP-211.
11. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).
12. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.
13. LumaWatt Pro wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for LumaWatt Pro application information.
14. Only available in PRV-XL configurations C75, C100, C125, C150, or C175.
15. Not available with 347V, 480V, or HA options. Consult LumenSafe system product pages for additional details and compatibility information.
16. Replace XX with paint color.
17. This tool enables adjustment to Integrated Sensor (MSP) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
18. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
19. Requires Wavelinx-enabled 4-PIN twistlock receptacle (ZW) option.
20. Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, MSP, ZW or LWR).

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul	
L=LumenSafe Technology	D=Dome Camera	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card	E=Ethernet Networking

STOCK ORDERING INFORMATION

Product Family	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVS=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	UNV=Universal (120-277V) 347=347V	T3=Type III T4=Type IV	MSP/DIM-L30=Integrated Sensor for Dimming Operation, Maximum 30' Mounting Height
PRVS-XL=Prevail	C75=(4 LEDs) 26,100 Nominal Lumens C100=(4 LEDs) 31,000 Nominal Lumens C125=(4 LEDs) 36,000 Nominal Lumens C150=(6 LEDs) 41,100 Nominal Lumens C175=(6 LEDs) 48,600 Nominal Lumens			

NOTES: 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.

EATON Powering Business Worldwide
Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting
Specifications and dimensions subject to change without notice.
TD500069EN
September 30, 2019 9:28 AM

General Notes

Lighting Plan & Details

No.	Revision/Issue	Date
1	PER TWP. LANDSCAPE COMMENTS	1/31/20

Firm Name and Address

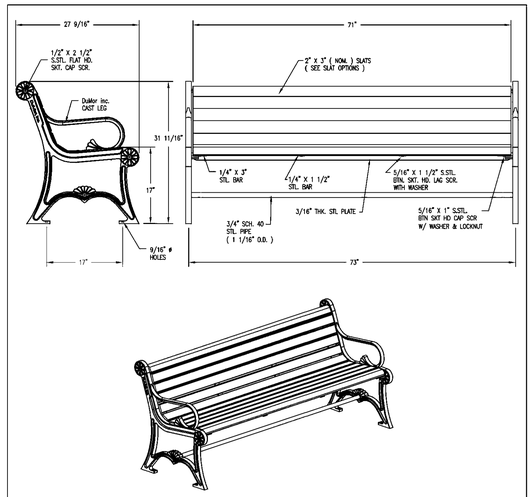
InFocus Planning
EFFECTIVE. EFFICIENT.
LAND DEVELOPMENT SERVICES
7715 CRITTENDEN STREET #343
PHILADELPHIA, PA 19119
P: 267-336-7411 F: 267-775-5315
www.infocusplanning.com

Project Name and Address

966 & 968 OLD YORK ROAD

ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PA

Project: InFocus_19-19
Date: 10/25/19
Scale: As Noted
Sheet: LP-2



☐ CUSTOM LETTERING (37 SPACES) _____

NOTES

1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.
3.) CUSTOM LETTERING AVAILABLE FOR RECESSED SIDE PANELS (TOTAL OF 37 SPACES).

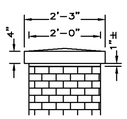
SLAT OPTIONS

☐ "CEDAR" RECYCLED PLASTIC
☐ "GREY" RECYCLED PLASTIC
☐ "REDWOOD" RECYCLED PLASTIC
☐ "WALNUT" RECYCLED PLASTIC
☐ OTHER_____

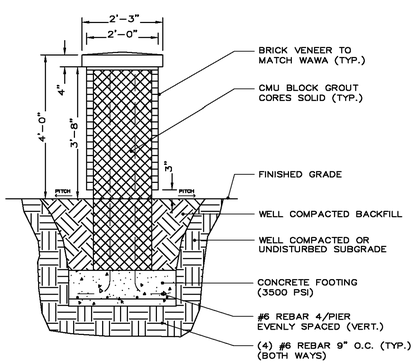
COLOR TO BE CONFIRMED BY OWNER

DuMor, inc.
P.O. Box 142 Mifflintown, PA 17059-0142

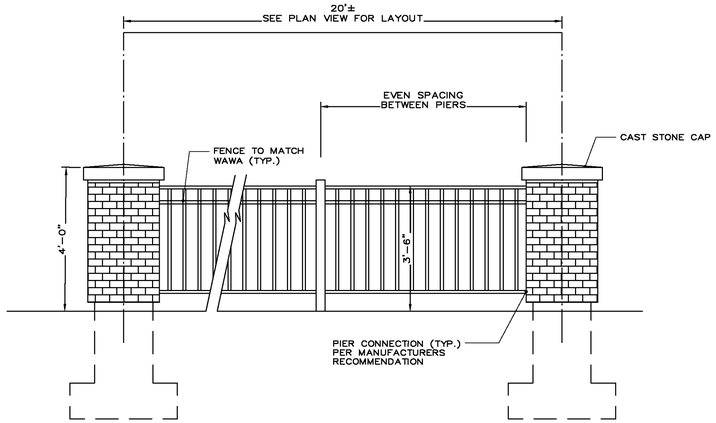
SCALE : NONE	TITLE : BENCH		
DATE DRAWN : 12/11/01			
DRAWN BY : AH	REV. E	DRAWING NUMBER 57-60PL	SHEET 1 OF 2
DATE REV. : 10/25/11			
REV. BY : RDH			



PIER CAP DETAIL
SCALE: 1/2" = 1'-0"



BRICK PIER DETAIL
SCALE: 1/2" = 1'-0"



FENCE & WALL DETAIL
SCALE: 1/2" = 1'-0"

General Notes

PENNSYLVANIA RACHEL SCLAN WALT REGISTERED LANDSCAPE ARCHITECT

Site Pier & Fence Details

No.	Revision/Issue	Date
1	PER TWP. LANDSCAPE COMMENTS	1/31/20

Firm Name and Address

InFocus Planning
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Project Name and Address

966 & 968 OLD YORK ROAD

ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PA

Project: InFocus_19-19
Date: 10/25/19
Scale: As Noted
Sheet: LP-3

LAND USE COMMITTEE

AGENDA ITEM

March 31, 2020

DATE

LU-02-040720

AGENDA ITEM NUMBER

Engineering

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☑

PUBLIC BID REQUIRED
Cost > $20,100
Yes ☐ No ☑

AGENDA ITEM:

Subdivision and Land Development Application LD-16-06, Steven Kozlowski, 1235 Meinel Road, Huntingdon Valley, PA

EXECUTIVE SUMMARY:

The applicant proposes to subdivide the 3.52 acre property into six lots to be served by a new cul-de-sac roadway. The proposed lots would range in size from 15,900 square feet to 29,180 square feet in area. The new single-family dwellings will be served by public water, sanitary sewer, gas and electric. Each of the proposed new lots will contain on-lot rain gardens. Additionally, a stormwater management system (underground basin) is to be located below the proposed new roadway. The roadway and the stormwater management facility are proposed to be dedicated to the Township. The properties are zoned in the (R-2) Residential District in Ward No. 2.
Review Period Expiration: N/A

PREVIOUS BOARD ACTIONS:

Board of Commissioners approved the Subdivision and Land Development Application of Steven Kozlowski for property located at 1235 Meinel Road at their regularly scheduled meeting on April 13, 2017.

RECOMMENDED BOARD ACTION:

Motion to grant an extension to the April 13, 2017 approval of the Subdivision and Land Development application for the property located at 1235 Meinel Road.

Township of Abington

Office of the Township Manager

Richard J. Manfredi
Township Manager

FISCAL NOTE

AGENDA ITEM NUMBER: LU-02-040720 **DATE INTRODUCED:** March 30, 2020

FISCAL IMPACT AMOUNT: N/A **FUND:** N/A

FISCAL IMPACT: ☑ YES ☐ NO

FISCAL IMPACT
Cost > $10,000.
Yes ☑ No ☐

SUMMARY

The applicant proposes to subdivide the 3.52 acre property into six lots to be served by a new cul-de-sac roadway. The stormwater management system is proposed to be located under the new roadway. Both the stormwater management system and the roadway are to be dedicated to the Township.

ANALYSIS

Long-term and lifetime maintenance and repair costs of the stormwater management system and the roadway are unknown. Maintenance and potential failure of infrastructure increases as the infrastructure ages. The Township could potentially be faced with significant repair or replacement costs for both the stormwater facility and the roadway at some point in the future.

Code Enforcement Committee Meeting April 5, 2017

The stated meeting of the Code Enforcement and Land Development Committee of the Board of Commissioners of the Township of Abington was held on Wednesday, April 5, 2017 at the Township Administration Building, Abington, PA., with Commissioner Sanchez presiding.

CALL TO ORDER: 7:16 p.m.

ROLL CALL: Present: Commissioners SANCHEZ, MARKMAN DiPLACIDO, ZAPPONE, GILLESPIE

Assistant Township Manager WEHMEYER
Township Solicitor CLARKE
Township Engineer POWERS
Director of Code Enforcement MATTEO
Community Development Director STROTHER
Planning & Zoning Official PENECALE

Also Present: Commissioners LUKER, KLINE, HECKER, FARREN, MYERS, SCHREIBER, BOWMAN, KALINOSKI, SPIEGELMAN

MINUTES: Commissioner Sanchez made a MOTION, seconded by Commissioner Gillespie to approve the minutes of the March 1, 2017 Code Enforcement and Land Development Committee Meeting

MOTION was ADOPTED 5-0.

Subdivision and Land Development LD-16-06 – Steven Kozlowski – 1235 Meinel Road

Commissioner Sanchez made a MOTION, seconded by Commissioner Gillespie to approve the Subdivision and Land Development application of Steven Kozlowski, applicant for the property located at 1235 Meinel Road, Abington Township. The applicant proposes to subdivide the existing property of 3.52 acres in size into six parcels. The proposed new properties will be served by a new cul-de-sac style roadway. The proposed properties range in size from 15,900 square feet to 29,180 square feet in lot area. The proposed new single-family dwellings will be served by public water, sanitary sewer, gas and electric. Each of the proposed new parcels will contain onsite rain gardens as well as public stormwater management system that is plotted to be located below the proposed new roadway. The properties are zoned in the (R-2) Residential District in Ward No. 2 of the Township of Abington.

This motion is subject to the following conditions:

1. Sanitary sewer service is available for this development. An Act 537 Exemption Application has been submitted and recommended for approval by the Planning Commission. The applicant is required to submit a DEP approval letter prior to the recording of the final plan.
2. The items listed within the Staff Review letter dated, January 10, 2017 is to be a condition of approval of this application.
3. The applicant is required to submit a minimum of four paper copies, four Mylar copies and one PDF formatted disk of the final plan at the time the plans are submitted for Township signatures.
4. The Township is required to provide the owners of the proposed new single-family dwellings with a copy of the best management practice maintenance requirements for the care of the private rain gardens.

This motion is subject to the following waivers:

1. Waiver from Section 146.11.A. – Property Identification Plan – The plan is required to supply the tax parcel information, owner's name and lot area for all properties within 400 feet of the site involved in this application.
2. Waiver from Section 146-11.B. – Existing Features Plan – The plan is required to plot the location of all utilities on the sites and within 400 feet of the properties involved in this application.
3. Waiver from Section 146.11.C. – Proposed Layout Plan – The plan is required to plot the location of all existing utilities to include the size, type and depth of all existing improvements propose to remain and be removed.
4. Waiver from Section 146-1.G – Utility Plan – The application has been submitted; however, the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines and provide a street name.
5. Waiver from Section 146-11.H – Landscape Plan – The applicant is required to submit a plan that clearly identifies the size, type and location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site.

   With the condition that the applicant submits a plan for the required street trees that include the type, size, and location of the required trees to the Township for review and approval.
6. Waiver from Section 146-11.1 – Phasing Plan – A phasing plan is required to be submitted that details the proposed timeline for construction.
7. Waiver from Section 146-11.L. – Architectural Plan – The applicant has submitted a rendering of the exterior finishes of the proposed alterations.
8. Waiver from Section 146-27 – Sidewalks – The applicant requires a waiver as no sidewalks are proposed within the new cul-de-sac.

   The vote was 7 in favor of the waive for the installation of sidewalks and 1 to deny the waiver.
9. Waiver from Section 146-39 – Street Trees – The applicant is required to plant one street tree five feet inside the front property line every 50 feet. The applicant has requested approval to plan the street trees within the front yard setback area.
10. Waiver from Section 146-9.B – Plan Categories – This section of the ordinance requires a two-stage approval process. The applicant has submitted the application as a preliminary as final Land Development Plan.

Commissioner Sanchez asked the applicant to present their plan.

Leslie Cunningham, Civil Engineer with Cornerstone Consulting 213 W. Main St. Lansdale, PA. 19446, representing the applicant, Steven Kozlowski, of Kozlowski Construction, 872 Jenkintown Road, Elkins Park, PA 19027, said the 3.52 acre parcel contained a large family residence, which was in poor condition prior to demolition and the property contained a barn, a large home and several accessory structures including a pool and large circular driveway. The lot was covered with grass, brush and a wooded area along the rear and northeast property line.

Proposed plan contemplates a six-lot subdivision with a new cul-de-sac road off of Meinel Road. The homes will take access from the cul-de-sac road and the site has been designed to meet all zoning requirements such as use, lot size and setbacks, and no relief is necessary.

Additional site improvements include stormwater management, landscaping and underground utilities. The applicant received Township staff review letters from January and February 2017; the MCPC review letter of December 2016 and a review letter from Director Wrigley of the Township's Wastewater Treatment Plant in February 2017. The applicant has also gone before Township's Planning Commission in February and March 2017. The applicant also met with Township staff regarding this project.

Latest plan submission was Revision 2, which is the plan that is before the Code Enforcement and Land Development Committee.

Commissioner Sanchez asked for any comments from Commissioners or staff.

Commissioner Markman commented that he is not in favor of waiver for installation of sidewalks as they are an important part of a development such as this one, so he is not in favor of waiver request #8 for installation of sidewalks.

Commissioner Kline agreed with Commissioner Markman to not grant waiver for installation of sidewalks and he clarified that this neighborhood has existing sidewalks throughout. Is that correct?

Mr. Penecale replied yes.

Commissioner Kline continued that he is concerned about stormwater management being put under the street and he wants to be sure that the development agreement will include an ample amount of time as well as escrow for both inspections and maintenance of it since the Township will take ownership.

Mr. Powers replied when subdivision is approved, the land development agreement will include a stormwater management permit issued that includes calculations and maintenance and inspections will be for a 10-year period.

Commissioner Kline clarified that the Township will not be required to do maintenance of any inlets or yard drains on each property in which it will be the property owners' responsibility.

Mr. Powers replied that is correct. The rain gardens are the responsibility of the property owners. However, the Township will require an inspection fee for rain gardens making sure they are being maintained.

Commissioner Kline clarified that part of the development agreement will include inspections during construction of stormwater management system underneath the street. Is that correct?

Mr. Powers replied yes, the Township will take developer's escrow or bond and the Township will also get a one-year maintenance bond when it is completed.

Commissioner Kline clarified that agreements will be reviewed by Township Solicitor's Office. Is that correct?

Mr. Powers replied yes.

Commissioner Gillespie clarified that the new access road will be dedicated to the Township. Is that correct?

Mr. Powers replied yes. The new road will be dedicated to the Township as well as the stormwater management system. Rain gardens will not be dedicated to the Township as they will be privately owned and privately maintained.

Commissioner Sanchez asked about comments made by MCPC in regards to lighting.

Mr. Penecale replied lighting has been addressed in that a street light will be added along the frontage between Lots 5 & 6. There is an existing street light within 50 feet of the intersection and the street lights were staggered, so there is one at the end of the new bulb; one at the midway point and one at the intersection. It will be shown on the final plan submitted for recording.

Also, Condition No. 4 as listed on the agenda was a recommendation by the Township's Planning Commission and DEP put out a pamphlet in 2015 of Best Management Practices for maintenance of rain gardens. If this development is approved, and when construction begins, we will link DEP's BMP's to any CO issued where the buyer would receive at settlement.

Due to the public entity's naming policy that went into effect last month, the applicant has not listed a name for proposed street. However, if the applicant has a name now, we can put it forward for the Board's consideration.

Mr. Kozlowski said the street name will be Stonewell Court.

Ms. Cunningham referring to waiver request for sidewalks; the 30 foot cartway is a requirement of a cul-de-sac and sidewalks would be adding additional impervious coverage.

Mr. Kozlowski added that he does not feel a sidewalk is necessary and members of the Planning Commission agreed as some live on cul-de-sacs. Handicapped ramps will be put in at the beginning of the street and Meinel is not a cut-thru street and only one block long, so sidewalks are not necessary for a cul-de-sac road.

Commissioner Sanchez asked for any public comments.

Nate Shugerman, 1245 Meinel Road, expressed concern about children having nowhere to play other than in the cul-de-sac, so he was in favor of installation of sidewalks.

Jacqueline Meyers, 552 Hoyt Road, commented that she was in support of installation of sidewalks for kids to have a safe place to play. On September 8, 1996 her property was declared a Federal disaster due to flooding in her home. She expressed concern that the rain gardens will not be maintained and questioned what will happen after the 10 year period and that this could happen again. She thanked Commissioner Markman for his assistance and assurance that proper measures will be taken.

Commissioner Markman asked Mr. Powers to explain what will mitigate any potential flooding to Mrs. Meyers' property.

Mr. Powers replied in regards to stormwater requirements; not only does the applicant need to contain it onsite, but reduce it by 20%. After 10 years, the Township will still be responsible for inspecting the system.

Commissioner Markman said in regards to the water that needs to be held onsite, what percentage are rain gardens and what percentage is underground detention.

Mr. Powers replied 30% rain gardens and 70% underground detention.

Commissioner Markman clarified that everything required is being done to capture stormwater. Is that correct?

Mr. Powers replied yes, Township's ordinance is very strict.

Commissioner Markman made a MOTION to AMEND the MOTION to **not** grant waiver from Section 146-27 – Sidewalks as requested by the applicant, as listed as number eight (8) in the motion, seconded by Commissioner DiPlacido.

MOTION to AMEND the MOTION – PASSED 5-0.

MOTION as AMENDED – PASSED 5-0.

Draft Ordinance No. 2131 – Medical Marijuana Dispensary and Medical Marijuana Grow Facility

For Information Only –

Commissioner Sanchez announced that the Board of Commissioners will consider the adoption of Draft Ordinance No. 2131, an amendment to the Zoning Ordinance of the Township of Abington. Ordinance No. 2131 creates use definitions for both a medical marijuana dispensary and medical marijuana grow facility. In addition, onsite parking regulations and separation requirements have been included in the ordinance. Ordinance No. 2131 was drafted to bring Abington Township into compliance with the requirements of Act 16 of 2016 of the Commonwealth of Pennsylvania. A public hearing has been scheduled for Thursday, April 13, 2017 at 7:30 PM in the boardroom.

Commissioner Sanchez asked for any general comments relating to Code Enforcement and Land Development.

Lora Lehmann, 1431 Bryant Lane, commented that she asked for documents relating to vacant properties and expressed concern that she feels "public money is used for blighted properties."

ADJOURNMENT: 7:51 p.m.

Respectfully submitted,

Michael LeFevre, Township Manager

sev

Account Transfer Authorization

Commissioner Hecker made a MOTION, seconded by Commissioner Kalinoski to authorize a transfer of $20,000 from 2017 Sump Pump Connections Expense Account No. 07-07-566-7516 to 2017 Stream Maintenance Expense Account No. 07-07-566-7514.

Commissioner Luker asked for any comments from Commissioners or staff. There were none.

MOTION was ADOPTED 14-0.

Jenkintown Borough Street – Light and Traffic Signal Agreement

Commissioner Hecker made a MOTION, seconded by Commissioner Farren to have the proper officials enter into an Inter-Municipal Agreement for maintenance of Traffic Signals and Street Lights located in Jenkintown Borough.

Commissioner Luker asked for any comments from Commissioners or staff. There were none.

MOTION was ADOPTED 14-0.

CODE ENFORCEMENT COMMITTEE:

Subdivision and Land Development LD-16-06 – Steven Kozlowski – 1235 Meinel Road

Commissioner Sanchez made a MOTION, seconded by Commissioner Gillespie to approve the Subdivision and Land Development application of Steven Kozlowski, applicant for the property located at 1235 Meinel Road, Abington Township. The applicant proposes to subdivide the existing property of 3.52 acres in size into six parcels. The proposed new properties will be served by a new cul-de-sac style roadway. The proposed properties range in size from 15,900 square feet to 29,180 square feet in lot area. The proposed new single-family dwellings will be served by public water, sanitary sewer, gas and electric. Each of the proposed new parcels will contain onsite rain gardens as well as public stormwater management system that is plotted to be located below the proposed new roadway. The properties are zoned in the (R-2) Residential District in Ward No. 2 of the Township of Abington.

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2. Waiver from Section 146-11.B. – Existing Features Plan – The plan is required to plot the location of all utilities on the sites and within 400 feet of the properties involved in this application.
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6. Waiver from Section 146-11.1 – Phasing Plan – A phasing plan is required to be submitted that details the proposed timeline for construction.
7. Waiver from Section 146-11.L. – Architectural Plan – The applicant has submitted
   a rendering of the exterior finishes of the proposed alterations. Architectural plans have not been submitted.

8. Waiver from Section 146-39 – Street Trees – The applicant is required to plant one street tree five feet inside the front property line every 50 feet. The applicant has requested approval to plan the street trees within the front yard setback area.
9. Waiver from Section 146-9.B – Plan Categories – This section of the ordinance requires a two-stage approval process. The applicant has submitted the application as a preliminary as final Land Development Plan.

Commissioner Luker asked for any comments from Commissioners or staff. There were none.

MOTION was ADOPTED 14-0.

Public Hearing – Ordinance No. 2131 – Chapter 162 – "Zoning" Article III "Establishment of Zoning Districts" related to the Medical Marijuana Dispensary and Medical Marijuana Grow Facility

Commissioner Luker opened Public Hearing at 8:01 p.m. and called on Township Solicitor Clarke.

Solicitor Clarke explained that the ordinance before the Board has been duly advertised. The Pennsylvania General Assembly passed the Medical Marijuana Act 16 of 2016, and the legislation is to allow two different types of uses for medical marijuana, dispensary and grower processor. The program of the medical marijuana will offer medical marijuana to patients who are residents of Pennsylvania and under a physician's care for serious medical condition as defined by Act 16. The legislation gave the Department of Health direction to develop rules and regulations to implement the legislation and the Department of Health provided guidance on zoning issues for local municipalities.

The Department of Health will begin issuing licenses in 2017 with expected full implementation in 2018. The Commonwealth of Pennsylvania has been divided into six regions and Montgomery County is part of Region 1, which also includes Philadelphia, Bucks, Chester, Delaware, Lancaster and Schuylkill Counties. There will be a limited number of each different type of license for each region.

Abington Township Code currently has no provision for this use because this use was not legal in the Commonwealth of Pennsylvania until the passage of Act 16, Medical Marijuana Act.

Proposed ordinance allows dispensaries by-right in the Township's Town Commercial, Special Commercial, Planned Business and Mixed-Use Districts subject to requirements set forth in the ordinance. It would also allow grower processors by conditional use in the Suburban Industrial District subject to the requirements set forth in the ordinance and subject to stringent requirements regarding security developed by the Department of Health. Proposed ordinance implements parking requirements related to the two uses.

Wayne C. Luker, President
Steven N. Kline, Vice President
Michael LeFevre, Manager
Jay W. Blumenthal, Treasurer

1176 Old York Road Abington PA 19001-3713 Telephone: 267-536-1000

April 17, 2017

Mr. Steven Kozlowski
872 Jenkintown Road
Elkins Park, PA 19027

Re: **Subdivision and Land Development – LD-16-06 – Steven Kozlowski**
1235 Meinel Road, Abington Township

Dear Mr. Kozlowski:

I am pleased to inform you that on Thursday, April 13, 2017, the Board of Commissioners of Abington Township **APPROVED** the Subdivision and Land Development Plan LD-16-06 as stated in the following motion:

- Motion to approve the Subdivision and Land Development application of **Steven Kozlowski**, applicant for the property located at 1235 Meinel Road, Abington Township. The applicant proposes to subdivide the existing property of 3.52 acres in size into six parcels. The proposed new properties will be served by a new cul-de-sac style roadway. The proposed properties range in size from 15,900 square feet to 29,180 square feet in lot area. The proposed new single-family dwellings will be served by public water, sanitary sewer, gas and electric. Each of the proposed new parcels will contain on-site rain gardens as well as a public storm water management system that is plotted to be located below the proposed new roadway. The properties are zoned in the (R-2) Residential District in Ward No. 2 of the Township of Abington.

- This motion is subject to the following conditions:

1. Sanitary sewer service is available for this development. An Act 537 Exemption Application has been submitted and recommended for approval by the Planning Commission. The applicant is required to submit a DEP approval letter prior to the recording of the final plan.
2. The items listed within the Staff Review letter dated January 10, 2017 are to be a condition of the approval of this application.
3. The applicant is required to submit a minimum of four paper copies, four Mylar copies and one PDF Formatted Disk of the final plan at the time the plans are submitted for Township signatures.
4. The Township is required to provide the owners of the proposed new single-family dwellings with a copy of the best management practice maintenance requirements for the care of the private rain gardens.

- This motion is subject to the following waivers:

1. **Waiver from Section 146-11.A – Property Identification Plan –** The plan is required to supply the tax parcel information, owner's name and lot area for all properties within 400 feet of the site involved in this application

www.abington.org TTY/TTD: 9-1-1 Fax: 215-884-8271

2. **Waiver from Section 146-11.B – Existing Features Plan** – The plan is required to plot the location of all utilities on the sites and within 400 feet of the properties involved in this application.
3. **Waiver from Section 146-11.C – Proposed Layout Plan** – The plan is required to plot the location of all existing utilities, to include the size, type and depth of all existing improvements proposed to remain and be removed.
4. **Waiver from Section 146-11.G – Utility Plan** – The application has been submitted however the plan is incomplete as it does not plot the location of the required street lights, proposed gas lines, telephone lines and provide a street name.
5. **Waiver from Section 146-11.H – Landscape Plan** – The applicant is required to submit a plan that clearly identifies the size, type and location of all materials and vegetation proposed to be removed and all proposed vegetation proposed to be added to the site.

- *With the condition that the applicant submit a plan for the required street trees that include the type, size and location of the required trees to the Township for review and approval.*

6. **Waiver from Section 146-11.I – Phasing Plan** – A phasing plan is required to be submitted that details the proposed timeline for construction.
7. **Waiver from Section 146-11.L – Architectural Plan** – The applicant has submitted a rendering of the exterior finishes of the proposed alterations. Architectural plans have not been submitted.
8. **Waiver from Section 146-39 – Street Trees** – The applicant is required to plant one street tree five feet inside the front property line every 50 feet. The applicant has requested approval to plant the street trees within the front yard setback area.
9. **Waiver from Section 146-9.B – Plan Categories** - This Section of the Ordinance required a two stage approval process. The applicant has submitted the application as a preliminary as final Land Development Plan.

According to the Municipalities Planning Code, you have ninety days from the date of this approval to officially record the plan subsequent to the appropriate signatures being affixed to the recording copies.

Upon submission of proof to Abington Township of recording the approved plan with the Montgomery County Recorder of Deeds, the subdivision process will be completed.

Please feel free to contact me at 267-536-1010 if you have any questions regarding this process. Abington Township appreciates your cooperation with our approval process.

Sincerely,

Lawrence T. Matteo, Jr.
Director of Planning & Code Enforcement

c: **Board of Commissioners**
Michael Clarke, Esq.
Lauren Gallagher, Esq.
Leslie Cunningham, P.E. – Cornerstone Consulting Engineering Office
Planning Commission
Code Enforcement Department

RUDOLPH CLARKE, LLC
ATTORNEYS AT LAW

Edward Rudolph
Michael P. Clarke
Peter C. Amuso
Michael L. Barbiero*
Lauren A. Gallagher*

Barbara R. Merlie
Sara Johnson Rothman
Alexander M. Glassman*
Leslie Pregel DiNapoli*
Nicole L. Feight
Valentina M. Nicolo
Aaron E. Kostyk
Benjamin F. Cohen

*Member of PA & NJ Bars

OF COUNSEL:
Matthew D. Bradford
Steven J. Santarsiero
Joseph W. Pizzo

SEVEN NESHAMINY INTERPLEX
SUITE 200
TREVOSE, PA 19053
Phone 215-633-1890
Fax 215-633-1830

www.rudolphclarke.com
e-mail: lgallagher@rudolphclarke.com

Montgomery County Office
350 Sentry Parkway East
Building 630, Suite 110A
Blue Bell, PA 19422
Phone 484-368-3808
Fax 215-633-1830

Delaware County Office
341 West State Street
Media, PA 19063
By appointment only
Phone 215-633-1890
Fax 215-633-1830

Chester County Office
200 Lincoln Avenue, #104
Phoenixville, PA 19460
By appointment only
Phone 215-633-1890
Fax 215-633-1830

Please respond to: Trevose

February 26, 2020

Steven Kozlowski
872 Jenkintown Road
Elkins Park, PA 19027

Re: 1235 Meinel Road – Subdivision and Land Development Application

Dear Mr. Kozlowski:

As you know, this Firm serves as the Solicitor for Abington Township ("Township"). On April 13, 2017, the Township Board of Commissioners granted approval for the above referenced Subdivision and Land Development Application. The Municipalities Planning Code requires that, following approval, the approved plans be recorded within ninety (90) days. You may request consideration of an approval extension from the Board of Commissioners. Please contact Terry Castorina at Abington Township to coordinate an extension. The plans that were the subject of the approval in this matter were never recorded. As a result, they must be re-submitted and reviewed for compliance with Township requirements.

If you have any questions or concerns, I suggest you contact an attorney of your own choosing.

Thank you.

Very truly yours,

Lauren A. Gallagher

LAG:lg

cc: Amy Montgomery, P.E., Township Engineer

Richard J. Manfredi
Township Manager
1176 Old York Road
Abington, PA 19001

March 4, 2020

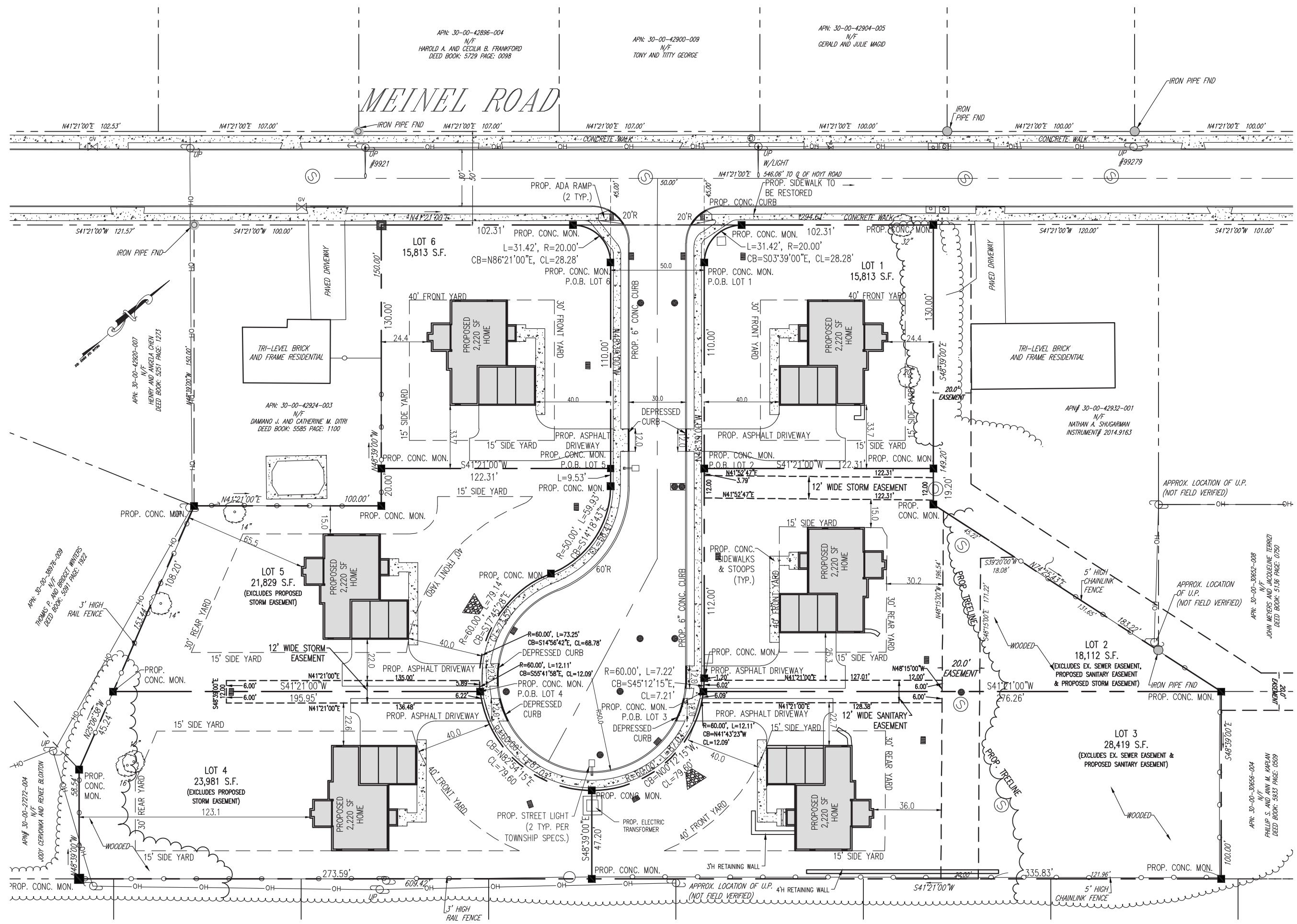
Re: Waiver of the 90 day recording requirement of the Subdivision & Land Development Ordinance of the Township of Abington.

Dear Mr. Manfredi,

Please allow this letter to serve as my formal request for a waiver from Section146-19.C of the Subdivision & Land Development Ordinance of the Township of Abington. I seek a waiver of the requirement to record the approved plan for, Subdivision and Land Development LD-16-06 Steven Kozlowski 1235 Meinel Road within 90 days of the date of approval (April 13 2017) by the Board of Commissioners of the Township of Abington.

Sincerely,

Steven Kozlowski



LOCATION MAP

GENERAL NOTES

1. THIS PLAN REFERENCES A PLAN: CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL, INC.
   213 W MAIN STREET, SUITE 201
   LANSDALE, PA 19446
   PLAN TITLED: "BOUNDARY & TOPOGRAPHIC SURVEY"
   DATED: 7/12/2016
2. OWNER/APPLICANT: MEINEL ASSOCIATES, LLC
   872 JENKINTOWN ROAD
   ELKINS PARK, PA 19027
3. PROJECT LOCATION INFORMATION: 1235 MEINEL ROAD
   ABINGTON TOWNSHIP, PA 19001
   MONTGOMERY COUNTY, PENNSYLVANIA
   DEED BOOK 5999 PAGE 1780
4. ZONING INFORMATION: ZONING DISTRICT: R-2 RESIDENTIAL LOW-MEDIUM DENSITY ZONING DISTRICT
   EXISTING USE: SINGLE FAMILY RESIDENTIAL HOME
   PROPOSED USE: SIX (6) LOT SUBDIVISION; SINGLE FAMILY HOMES
5. ZONING BULK AND AREA REQUIREMENTS:
   CURRENT R-2 ZONING DISTRICT:

MINIMUM LOT REQUIREMENTS:	REQUIRED	EXISTING	PROPOSED (LOT 1)	PROPOSED (LOT 2)	PROPOSED (LOT 3)	PROPOSED (LOT 4)	PROPOSED (LOT 5)	PROPOSED (LOT 6)
MIN. LOT AREA:	15,000 SF	153,723 SF	15,813 SF	18,112 SF	28,276 SF	23,981 SF	21,829 SF	15,813 SF
MIN. LOT WIDTH:	100 FT	294.6 FT	130.0 FT	112.0 FT	100.0 FT	100.0 FT	100.0 FT	130.0 FT
MIN. LOT DEPTH:	100 FT	349.2 FT	122.3 FT	122.3 FT	276.3 FT	196.95 FT	122.3 FT	122.3 FT
BUILDING								
MIN. FRONT YARD SETBACK:	40 FT 30 FT(LOTS 1&6)	77.0 FT	40.0 FT(MEINEL RD) 40.0 FT(C.D.S)	40.0 FT	40.0 FT	40.0 FT	40.0FT	40.0 FT(MEINEL RD) 40.0 FT(C.D.S)
MIN. REAR YARD:	30 FT	93.3 FT	N/A	30.2 FT	50.5 FT	123.1 FT	65.5 FT	N/A
MIN. SIDE YARD (EACH):	15 FT	33.6 FT	24.4 & 33.7 FT	15.0 & 25.3 FT	15.0 & 22.7 FT	15.0 & 22.6 FT	15.0 & 22.0 FT	24.4 & 33.7FT
MAX. BLDG AREA:	25%	5.29% (8,128 SF)	14% (2,220 SF)	11% (2,220 SF)	8% (2,220 SF)	8% (2,220 SF)	9% (2,220 SF)	14% (2,220 SF)
MAX. IMPERVIOUS AREA:	35%	11.82% (18,171 SF)	26% (4,113 SF)	20.46% (3,705 SF)	13.68% (3,869 SF)	15.16% (3,635 SF)	16.65% (3,635 SF)	26% (4,114 SF)
MIN. GREEN AREA:	65%	88.18% (135,552 SF)	74.53% (11,787 SF)	79.54% (14,407 SF)	86.32% (24,407 SF)	84.84% (20,346 SF)	83.35% (18,194 SF)	74.53% (11,786 SF)
MAX. BLDG HEIGHT:	35 FT	35+ FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT	<35 FT
MAX. BLDG LENGTH:	150 FT	99.4 FT	56.3 FT	56.3 FT	56.3 FT	56.3 FT	56.3 FT	56.3 FT
MIN. BLDG SEPARATION:	30 FT	79 FT	N/A	N/A	N/A	N/A	N/A	N/A

6. MINIMUM PARKING REQUIREMENTS:
   REQUIRED PARKING: 2 OFF-STREET PARKING SPACES EXCLUSIVE OF GARAGE SPACE
   PROPOSED PARKING: 2 OFF-STREET PARKING SPACES EXCLUSIVE OF GARAGE SPACE
7. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
8. THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION OR COLOR SEAL ARE NOT VALID.
9. BY GRAPHICAL PLOTTING ONLY, THIS PROPERTY IS LOCATED IN FLOOD ZONE X – AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, MONTGOMERY COUNTY, PENNSYLVANIA (ALL JURISDICTIONS), PANEL 402 OF 451, MAP NUMBER 42091C0402G, EFFECTIVE DATE MARCH 2, 2016.
10. FIRE HYDRANTS AND STREETLIGHTS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND WITH THE RECOMMENDATIONS OF THE RESPECTIVE UTILITY COMPANIES, SUBJECT TO THE APPROVAL OF THE BOARD OF COMMISSIONERS.
11. STREETLIGHTS AND STREET NAME SIGNS ARE TO BE INSTALLED AT THE EXPENSE OF THE SUBDIVIDER/LAND DEVELOPER IN ACCORDANCE WITH TOWNSHIP STANDARDS AND DEDICATED TO THE TOWNSHIP.
12. THE PHILADELPHIA ELECTRIC COMPANY AND THE BELL TELEPHONE COMPANY OF PENNSYLVANIA ARE GRANTED THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS LOTS, AND THIS SHALL BE SO RECITED IN ALL DEED DESCRIPTIONS, TOGETHER WITH THE RIGHT TO CONSTRUCT, MAINTAIN AND REPAIR POLE LINES AND UNDERGROUND EQUIPMENT ON, UNDER AND ACROSS ALL HIGHWAYS IN THIS TRACT.
13. WHEN THE INSTALLATION OF CURBS OR SIDEWALKS IS WAIVED FOR A PARTICULAR DEVELOPMENT PLAN, "CURBS AND/OR SIDEWALKS MAY BE REQUIRED TO BE INSTALLED BY SUBSEQUENT LANDOWNERS AT THEIR EXPENSE, BY DIRECTION OF THE BOARD OF COMMISSIONERS.
14. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE RAIN GARDENS LOCATED ON THEIR PROPERTY.
15. THERE ARE 14 STREET TREES REQUIRED FOR THE DEVELOPMENT. THE DEVELOPER AGREES TO PLANT THESE 14 TREES, BUT IS REQUESTING A WAIVER FROM THEIR LOCATION REQUIREMENT. THESE TREES WILL BE PLANTED THROUGHOUT THE PROPOSED LOTS.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

SHEET LIST

1. SUBDIVISION PLAN
2. EXISTING FEATURES PLAN
3. UTILITY PLAN
4. GRADING PLAN
5. DRAINAGE PLAN
6. CUL-DE-SAC PLAN & PROFILE
7. EROSION & SEDIMENTATION CONTROL PLAN
8. E&S DETAILS
9. E&S DETAILS
10. E&S DETAILS
11. DRAINAGE PROFILES
12. SANITARY SEWER PROFILE
13. SITE DETAILS
14. SITE DETAILS
15. SITE DETAILS
16. SITE DETAILS
17. UTILITY DETAILS
18. STORM BASIN & LANDSCAPE DETAILS
19. LANDSCAPE PLAN

PENNSYLVANIA
ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

SURVEYOR'S STATEMENT

I, ________________________, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY ON ______________, 20 ___ CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED LAND DEVELOPMENT.

____________ DATE
____________ REGISTERED SURVEYORS' SIGNATURE

APPROVAL BLOCK

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABINGTON THIS _______ DAY OF _____________________, 20_____.

ATTEST:

____________ PRESIDENT
____________ SECRETARY
____________ ENGINEER

OWNER'S STATEMENT

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

ON THE _________ DAY OF ________________, A.D. 20 _____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN ________________, PERSONALLY APPEARED ______________________, WHO ACKNOWLEDGED HIMSELF TO BE THE (PRESIDENT OR SECRETARY), BEING AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THAT SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC ______________________________

MY COMMISSION EXPIRES ________________________

OWNER'S OR AUTHORIZED CORPORATE OFFICER'S SIGNATURES

PRINTED NAME PRINTED NAME

SWORN AND SUBSCRIBED BEFORE THIS _______ DAY OF _________________, 20 ___.

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY AT ABINGTON PENNSYLVANIA IN PLAN BOOK NO. ______________________
PAGE NO._______ ON________ 20__.

RECORDER OF DEEDS

MCPC No. ________________________

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date ________________________

MONTGOMERY COUNTY PLANNING COMMISSION

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street . Lansdale . PA 19446
Phone: 215-362-2600 . Fax: 215-362-8400
WWW.CORNERSTONENET.COM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-8200
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	LAC	REVISED FOR NPDES SUBMISSION	11/25/2016
2	LAC	REVISED PER TOWNSHIP REVIEW (JAN. 2017)	2/8/2017
3	LAC	REVISED PER TWP. & MCCD REVIEWS (FEB 2017)	4/11/2017
4	LAC	REVISED PER MCCD'S REVIEW (DATED 8/31/2017)	10/16/2017
5	LAC	REVISED PER E&S COMMENTS (DATED 12/1/2017)	12/6/2017
6	LAC	REVISED FOR RECORDING	2/20/2018

STEVEN J. ROMICH
PENNSYLVANIA PROFESSIONAL LAND SURVEYOR
PENNSYLVANIA LICENSE No. SU057592

J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 055536
MARYLAND LICENSE No. 29313
NEW JERSEY LICENSE No. 24GE04520400
VIRGINIA LICENSE No. 0402 045725
FLORIDA LICENSE No. 75184
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

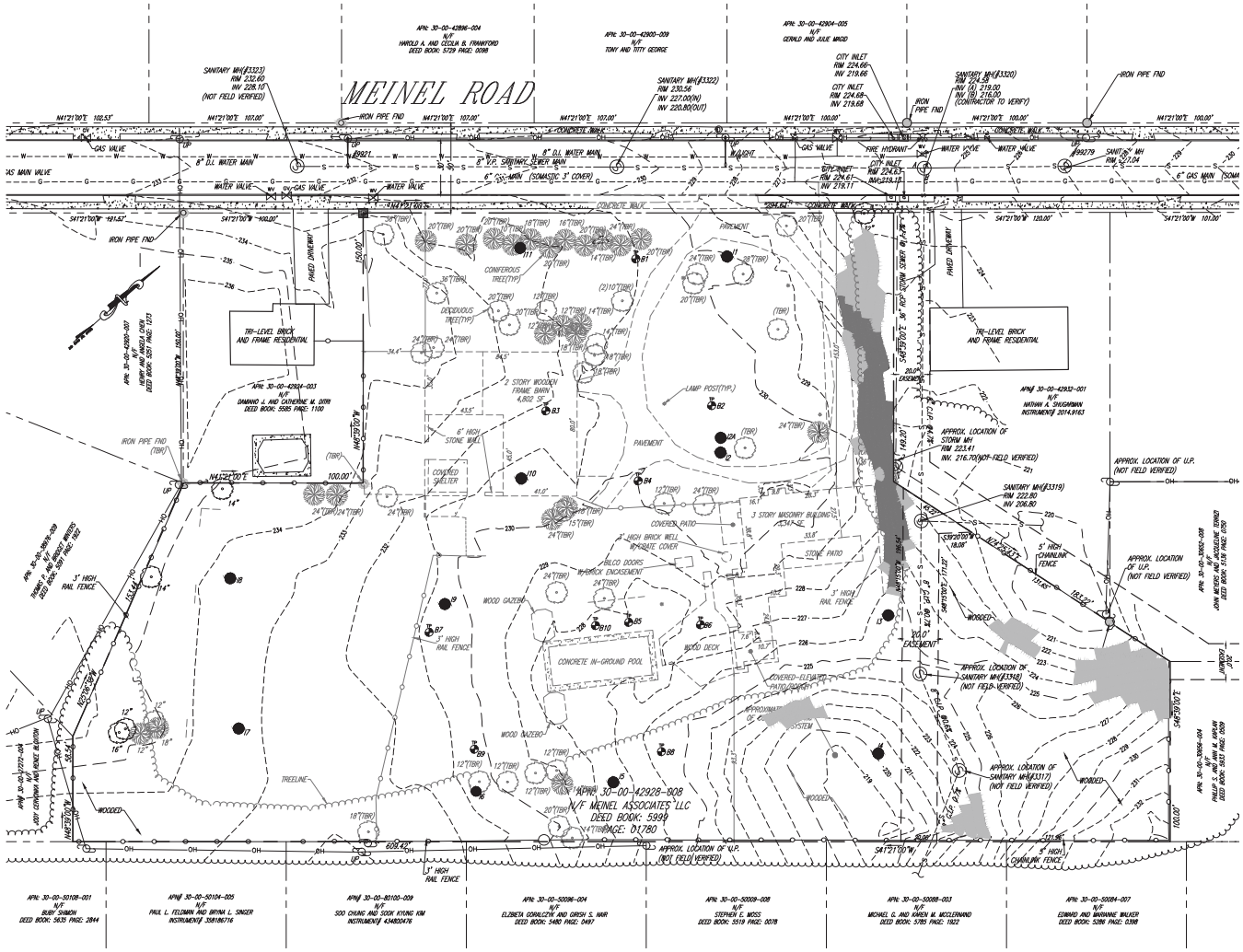
TITLE

SUBDIVISION PLAN

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 1 OF 19

REVISION 6



NOTES:

1. PROPERTY KNOWN AS TAX MAP PARCEL 30-00-42928-008 AS SHOWN ON THE OFFICIAL TAX MAP OF MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA.

2. AREA OF PARCEL IS 153,723 SQUARE FEET OR 3.529 ACRES.

3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN LOCATED. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD ARE SHOWN. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON. SURVEY (& TOPOGRAPHIC) INFORMATION SHOWN HEREON DERIVED FROM A FIELD SURVEY PERFORMED BY CORNERSTONE CONSULTING IN JUNE, 2016.

5. COPYRIGHT © 2016. CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT A RAISED OR COLORED SEAL ARE NOT VALID.

6. THIS PLAN IS VALID ONLY WHEN SIGNED AND SEALED WITH A RAISED OR COLORED SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

7. ELEVATIONS ARE BASED ON A PLAN PREPARED FOR ABINGTON TOWNSHIP TITLED "CONTRACT NO. 85 MEINEL ROAD TO OLIVER ROAD". (SEE REFERENCE #4)

8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND SUBJECT THERETO.

9. SUBJECT TO ANY AND ALL EASEMENTS OF RECORD WHETHER SHOWN HEREON OR NOT.

10. NO EVIDENCE OF STORM WATER IMPOUNDMENT WAS FOUND ON THIS SITE OR ON ADJACENT PROPERTIES.

11. BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FLOOD ZONE X. (SEE MAP REFERENCE #2).

12. BOUNDARY RESOLUTION BASED ON FOUND EVIDENCE AND OTHER REFERENCE MATERIALS AS LISTED HEREON AVAILABLE AT THE TIME OF SURVEY. (DESCRIPTION OF PARCEL, AS RECORDED IN BOOK 5999, PAGE 1780, DOES NOT PRESENT A MATHEMATICAL CLOSURE. THE COURSES DESCRIBED HEREON WERE DETERMINED BY FOUND MONUMENTS, ADJOINERS AND RESULTING CALCULATIONS.

REFERENCES:

1. THE OFFICIAL TAX MAP OF MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA.

2. MAP ENTITLED "FINAL FLOOD INSURANCE RATE MAP, MONTGOMERY COUNTY, PENNSYLVANIA (ALL JURISDICTIONS), PANEL 402 OF 451, MAP NUMBER 42091C0402G, EFFECTIVE MARCH, 2, 2016.

3. MAP ENTITLED IN PART "MAIN REPLACEMENT FOR JUNE ROAD". PREPARED BY AQUA PENNSYLVANIA INC., DATED 11-25-14

4. MAP ENTITLED IN PART " CONTRACT NO. 85 PLAN & PROFILE MEINEL ROAD TO OLIVER ROAD". PREPARED BY ALBRIGHT & FREEL INC., DATED 6-15-1970

EXISTING TREE NOTE:

THERE ARE 52 OF THE 61 TOTAL EXISTING TREES TO BE REMOVED (85%). THESE TREES ARE LABELED "TBR" ON THIS PLAN. THIS TABULATION DOES NOT INCLUDED THE LARGE WOODED AREA WITHIN THE SOUTHEASTERN PORTION THE LOT. THIS WOODED AREA IS APPROXIMATELY 43,800 SF AND APPROXIMATELY 19,400 SF OF THIS AREA IS TO BE PRESERVED THROUGH THE DEVELOPMENT (56% WILL BE REMOVED).

LEGEND & ABBREVIATIONS

- PROPERTY BOUNDARY
- ADJOINER BOUNDARY
- RIGHT OF WAY LINE
- BUILDING SETBACK LINE
- 95 EXISTING CONTOUR
- x 95 EXISTING SPOT ELEVATION
- EXISTING TREE
- EXISTING TREELINE
- EXISTING FENCE
- EXISTING SIGN
- EXISTING UTILITY POLE (UP)
- C – T CONDUIT – TRANSFORMER
- L – M LIGHT – METER
- OH EXISTING OVERHEAD WIRE
- G APPROXIMATE GAS LINE
- W APPROXIMATE WATER LINE
- C APPROXIMATE TELCO LINE
- E APPROXIMATE ELECTRIC LINE
- EXISTING CURB
- EXISTING DEPRESSED CURB (DC)
- 15% TO 25% STEEP SLOPES (3,696 SF)
- 25%+ STEEP SLOPES (1,957 SF)
- TP ROCK TEST PIT LOCATIONS
- INFILTRATION TEST PIT LOCATIONS

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0400 Fax: 215-362-0403
WWW.CORNERSTONEEA.COM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6500
Poconos Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	REVISED FOR NEWSLS SUBDIVISION	1/25/2016
2	J.A.C.	REVISED PER PWP & MCCD REVIEWS (JAN. 2017)	3/17/2017
3	J.A.C.	REVISED PER PWP & MCCD REVIEWS (FEB. 2017)	4/11/2017
4	J.A.C.	REVISED PER MCCD'S REVIEW (DATED 5/31/2017)	10/16/2017
5	J.A.C.	REVISED PER & & COMMENTS (DATED 12/1/2017)	12/5/2017
6	J.A.C.	REVISED FOR RECORDING	2/23/2018

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122-1898

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J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15,638
PENNSYLVANIA LICENSE No. PE 072,536
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
WASHINGTON LICENSE No. 22,000
FLORIDA LICENSE No. 75388
NEW YORK LICENSE No. 085867-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

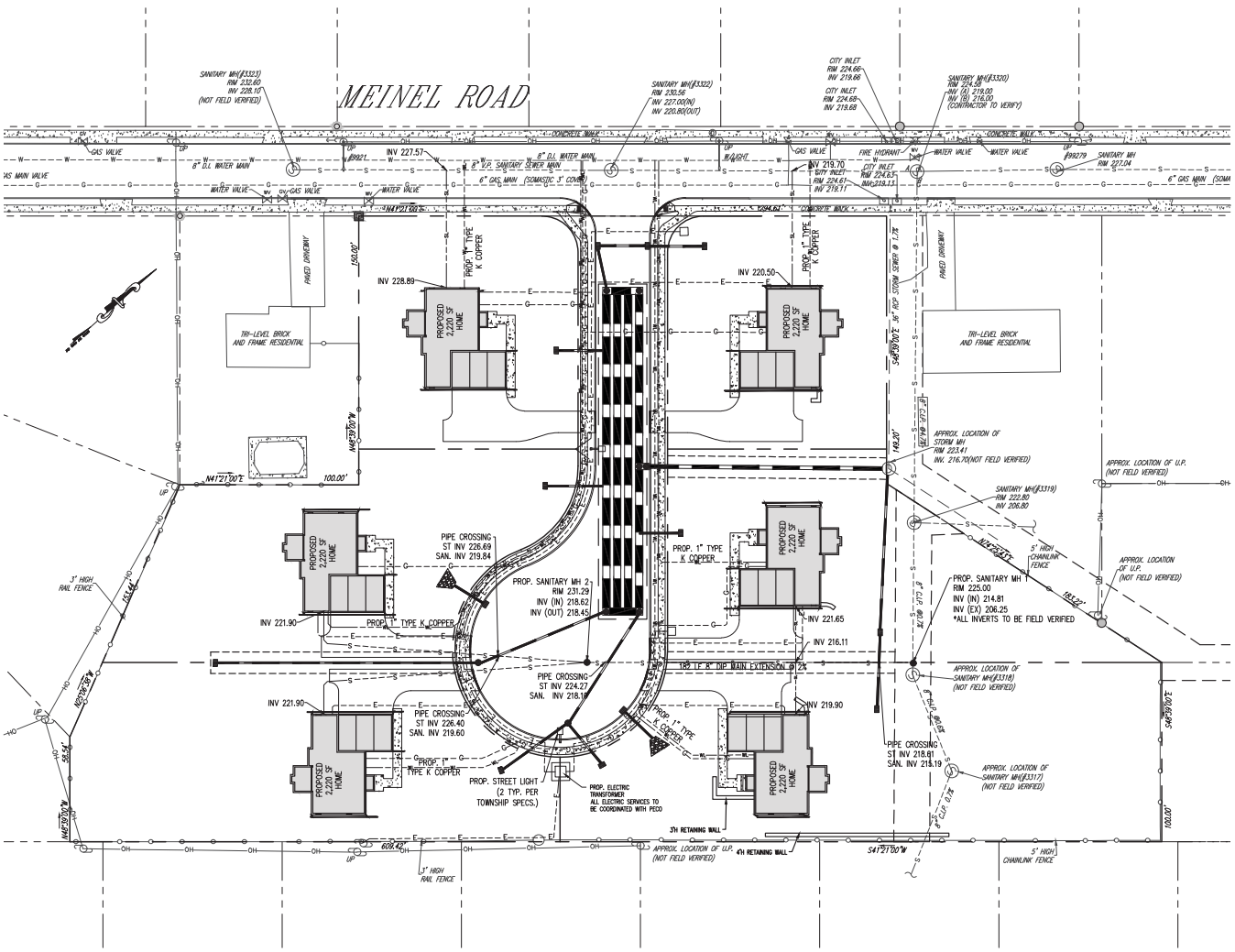
TITLE

EXISTING FEATURES PLAN

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 2 OF 19

REVISION 6



UTILITY NOTES

GENERAL NOTES

1. COORDINATE LOCATIONS AND TIE-IN POINTS OF PROPOSED MECHANICAL AND ELECTRICAL SYSTEMS WITH THE APPROPRIATE CONSULTANTS PLANS, AND / OR THE APPROPRIATE GOVERNMENTAL AGENCY HAVING JURISDICTION AT THE TIME OF CONSTRUCTION.
2. ALL TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
3. PA ONE CALL SERIAL NO. 20161682749.
4. ALL ELECTRICAL LINES TO LIGHT POLES SHALL BE INSTALLED IN 1 1/2" PVC CONDUIT WITH NECESSARY PULL/JUNCTION BOXES.
5. CLEANOUTS AND CURB BOXES WITHIN PAVED AREAS MUST HAVE TRAFFICE LOADING FRAMES AND COVERS MEETING HS-25 LIVE LOAD.
6. CONTRACTOR SHALL NOT CONNECT PIPES INTO THE CORNER OF INLET BOXES.

WATER NOTES

1. ALL WATER PIPES SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET. A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES OR A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET SHALL BE MAINTAINED AT ALL CROSSINGS OF WATER LINES WITH SANITARY OR STORM SEWERS. IF 18" VERTICAL CLEARANCE CANNOT BE MAINTAINED, THE SANITARY SEWER, SEWER LATERAL OR WATER LINE IF NECESSARY SHALL BE CONCRETE ENCASED, IN ACCORDANCE WITH PA. D.E.P. REQUIREMENTS.
2. ALL WATER SYSTEM MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH AQUA PENNSYLVANIA STANDARDS AND SPECIFICATIONS.

SANITARY SEWER NOTES

1. ALL SANITARY PIPE WITHIN THE TOWNSHIP R.O.W. SHALL BE CLASS 52 DUCTILE IRON PIPE.
2. ALL SANITARY SYSTEM MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY STANDARDS AND SPECIFICATIONS.
3. ALL PROPOSED SANITARY SEWER SERVICES SHALL BE COORDINATED WITH THE MECHANICAL/ PLUMBING CONSTRUCTION DOCUMENTS.
4. SANITARY SEWER LINES AND STORM SEWER CROSSINGS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES OR A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. IF 18" VERTICAL CLEARANCE CANNOT BE MAINTAINED, THE SANITARY SEWER OR SEWER LATERAL SHALL BE CONCRETE ENCASED, IN ACCORDANCE WITH PA D.E.P. REQUIREMENTS.
5. WITHIN EXISTING OR PROPOSED SEWER EASEMENTS, THERE SHALL NOT BE BUILT, INSTALLED, CONSTRUCTED, PLANTED , OR LOCATED ANY TEMPORARY OR PERMANENT BUILDINGS OR STRUCTURES, OR ANY TREES, SHRUBS, OR OTHER LANDSCAPING, EXCEPT TREES, SHRUBS, AND OTHER LANDSCAPING WHICH WILL NOT GROW MORE THAN SIX FEET (6') IN HEIGHT.
6. A MINIMUM SLOPE OF 2% SHOULD BE PROVIDED FOR SEWER LATERALS, UNLESS OTHERWISE NOTED.
7. ALL SEWER LATERAL CONNECTIONS TO THE GRAVITY MAIN SHALL UTILIZE A WYE AND A 45 DEGREE ELBOW.
8. CONTRACTOR SHALL RESTORE TO EXISTING CONDITIONS ALL SURFACE AREA WITHIN THE RIGHT-OF-WAY OVER THE PROPOSED SANITARY LATERAL. ALL PAVEMENT ENCOUNTERED SHALL BE REPLACED IN KIND.

LEGEND

- PROPERTY BOUNDARY
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRE
- EXISTING CURB
- EXISTING CONTOURS
- EXISTING TREES
- EXISTING WATER MAIN
- EXISTING ELECTRICAL LINE
- EXISTING SANITARY LINE
- EXISTING GAS LINE
- PROPOSED STORM SEWER
- PROPOSED FORCEMAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED ELECTRICAL LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED STORM DRAINAGE INLET
- PROPOSED MANHOLE
- PROPOSED HYDRANT

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0400 Fax: 215-362-0401
WWW.CORNERSTONEES.ECOM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6500
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.K.	REVISED FOR NONSUBMISSION	11/21/2016
2	J.K.	REVISED PER PWP & MCCD REVIEW (JAN 2017)	2/7/2017
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UTILITY PLAN

PROJ. #	16-0205	DATE	11/1/2016
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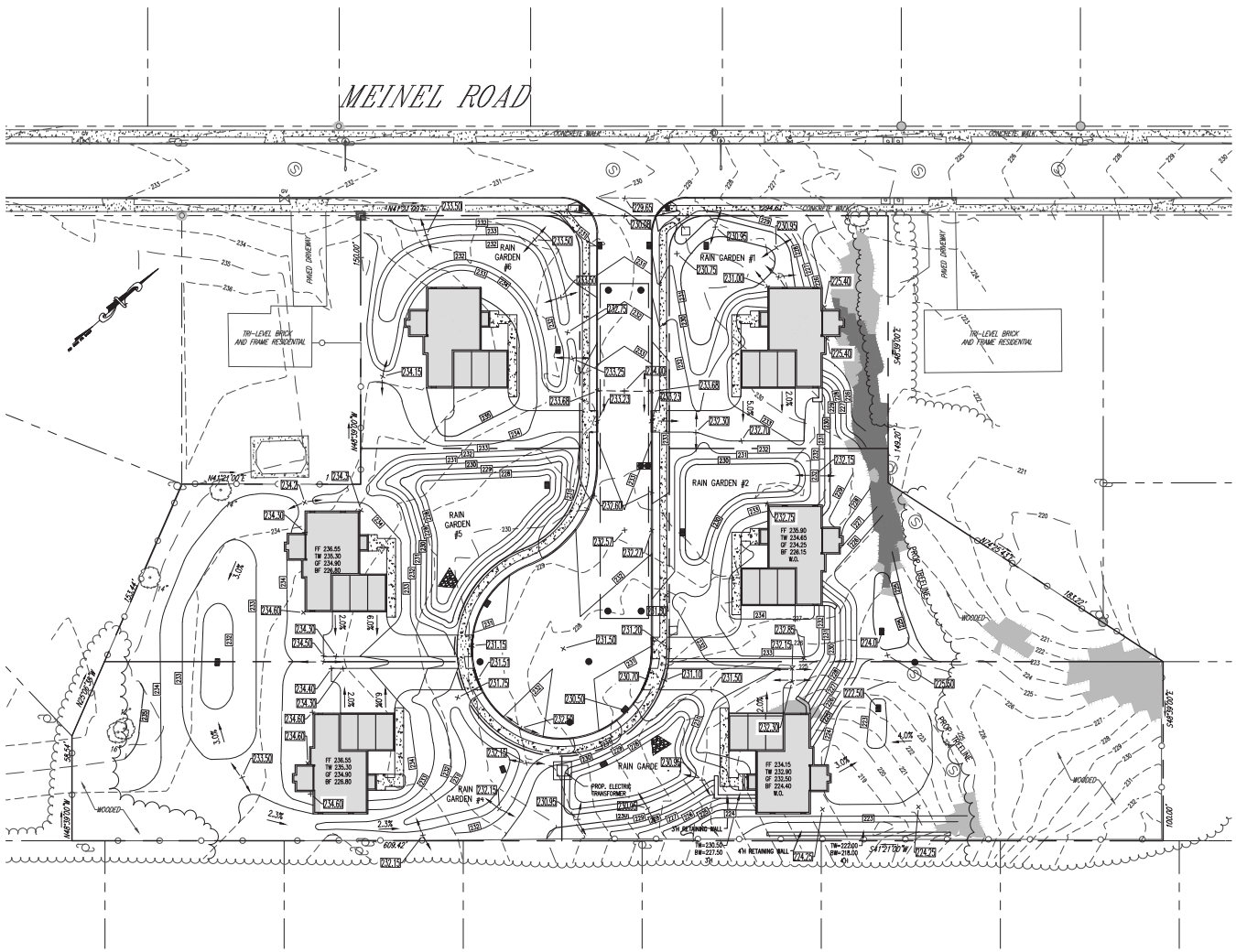
SHEET 3 OF 19

REVISION 6



GRADING AND DRAINAGE NOTES

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2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1% MIN. SLOPE AGAINST ALL ISLANDS GUTTERS, CURBS AND 2.0% ON ALL CONCRETE SURFACES, AND 2.0% MIN. ON ASPHALT, EXCEPT AS NOTED ON PLANS. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
4. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICT.
5. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
7. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATION. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
8. ALL PAVEMENT SLOPES WITHIN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION AS WELL AS ON ALL SIDEWALK CROSS SLOPES.
9. ALL EXISTING CAPS, LIDS, RIMS, ETC. TO REMAIN SHALL BE RESET FLUSH WITH PROPOSED GRADE.
10. SITE IS LOCATED OUTSIDE OF THE 100 YR. AND 500 YR. FLOOD ZONE.
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. THE PROPOSED FINISHED GRADING SHOWN ON THIS PLAN HAS BEEN USED TO DESIGN THE STORMWATER MANAGEMENT FACILITIES. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL GRADING SCHEME INDICATED UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
13. INLETS SHALL BE PENNDOT TYPE M, OR TYPE C. INLETS EXCEEDING 5 FT. IN DEPTH SHALL BE EQUIPPED WITH STEPS IN ACCORDANCE WITH PENNDOT PUB. 408.
14. CONTRACTOR SHALL NOT ENCROACH ONTO ADJOINING PROPERTIES UNLESS A TEMPORARY CONSTRUCTION EASEMENT HAS BEEN GRANTED BY THE ADJOINING PROPERTY OWNER. CONTRACTOR SHALL MAKE PROPERTY LINES CLEARLY MARKED AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCROACHMENT ONTO ADJOINING PROPERTIES.
15. NO EXCAVATION OR FILL ON LOTS SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1). SPECIAL SLOPE REQUIREMENTS APPLY TO THE DETENTION POND. SEE APPLICABLE DETAILS.
16. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
17. THE PROPOSED CONCRETE CURB REVEAL IS 6" (INCH).
18. RAINWATER CONDUCTORS (RWC) SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) FOR PIPING BEYOND PLUMBING CONTRACTOR'S LIMIT OF WORK.
19. ALL STORMPIPE SHALL BE SMOOTH BORE HIGH DENSITY POLYETHYLENE PIPE UNLESS OTHERWISE SHOWN. MINIMUM PIPE SIZE SHALL BE 18" EXCEPT FOR ROOF LEADERS.
20. CLEANOUTS AND CURB BOXES WITHIN PAVED AREAS MUST HAVE TRAFFICE LOADING FRAMES AND COVERS MEETING HS-25 LIVE LOAD.
21. CONTRACTOR SHALL NOT CONNECT PIPES INTO THE CORNER OF INLET BOXES.

LEGEND

- PROPERTY BOUNDARY
- EXISTING UTILITY POLE
- OH — EXISTING OVERHEAD WIRE
- EXISTING CURB
- 250 — PROPOSED CONTOURS
- 250 — EXISTING CONTOURS
- EXISTING TREES
- EXISTING WATER MAIN
- EXISTING ELECTRICAL LINE
- EXISTING SANITARY LINE
- EXISTING GAS LINE
- PROPOSED STORM SEWER
- PROPOSED FORCEMAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED ELECTRICAL LINE
- PROPOSED TELEPHONE LINE
- C.O. — PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED STORM DRAINAGE INLET
- PROPOSED MANHOLE
- PROPOSED HYDRANT
- 15% TO 25% STEEP SLOPES (3,696 SF) 450 SF DISTURBED
- 25%+ STEEP SLOPES (1,957 SF) 1,059 SF DISTURBED

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0840 Fax: 215-362-0845
WWW.CORNERSTONEEC.COM
Pocono Region 570-839-1770
Lehigh Valley Region 610-820-6500
Philadelphia Region 215-362-2600

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	REVISED FOR NPDES SUBMISSION	11/02/2016
2	J.A.C.	REVISED PER PWP & MCCD REVIEW (JAN 2017)	01/18/2017
3	J.A.C.	REVISED PER PWP & MCCD REVIEWS (FEB 2017)	4/11/2017
4	J.A.C.	REVISED PER MCCD'S REVIEW (DATED 9/13/2017)	10/06/2017
5	J.A.C.	REVISED PER E&S COMMENTS (DATED 12/1/2017)	12/5/2017
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ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

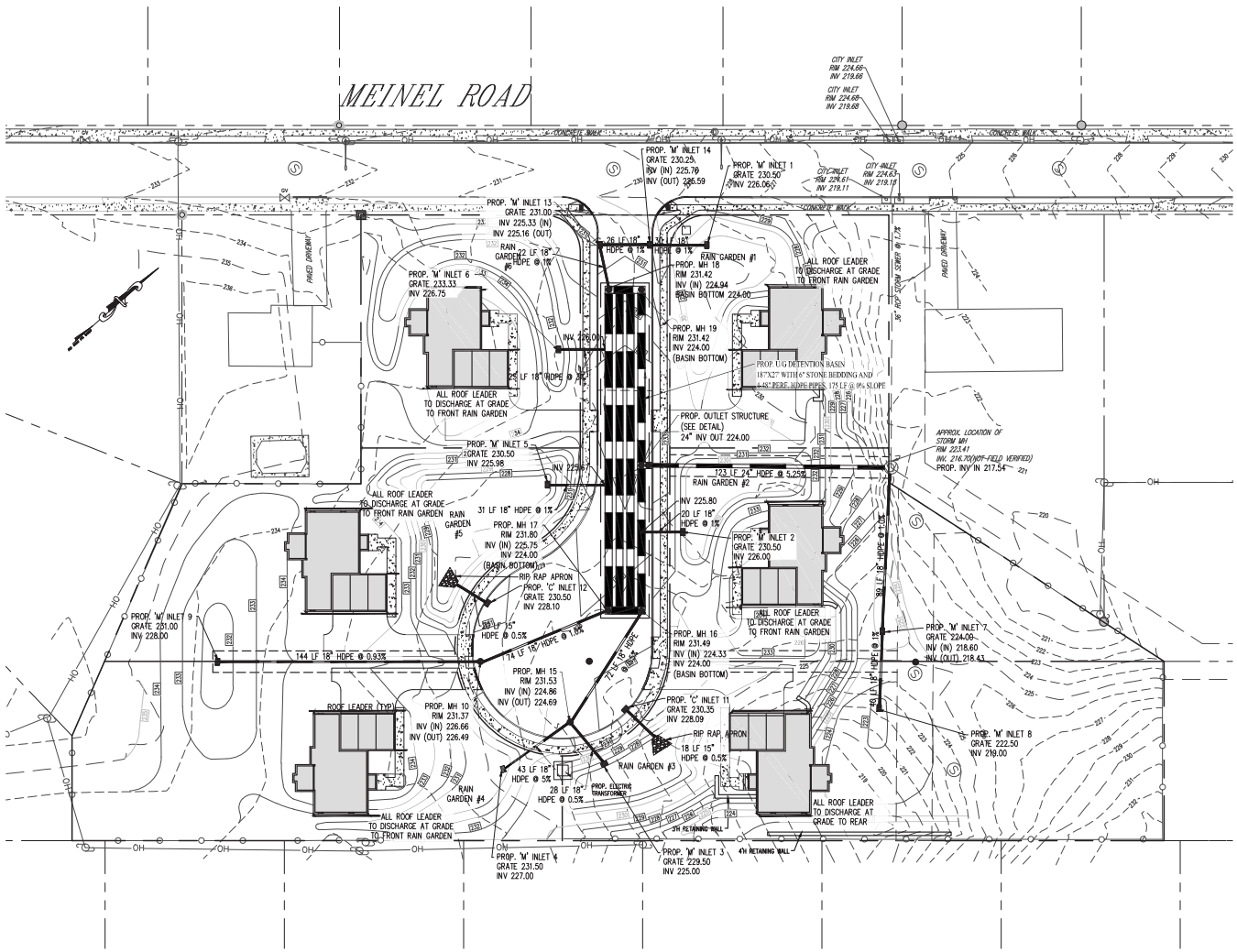
TITLE

GRADING PLAN

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 4 OF 19

REVISION 6



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Lehigh Valley Region 610-820-6200
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	REVISED FOR MINOR SUBDIVISION	11/21/2016
2	J.A.C.	REVISED PER TOWNSHIP COMMENTS (JAN 2017)	3/7/2017
3	J.A.C.	REVISED PER PWP & MCCD REVISIONS (FEB 2017)	4/11/2017
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PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

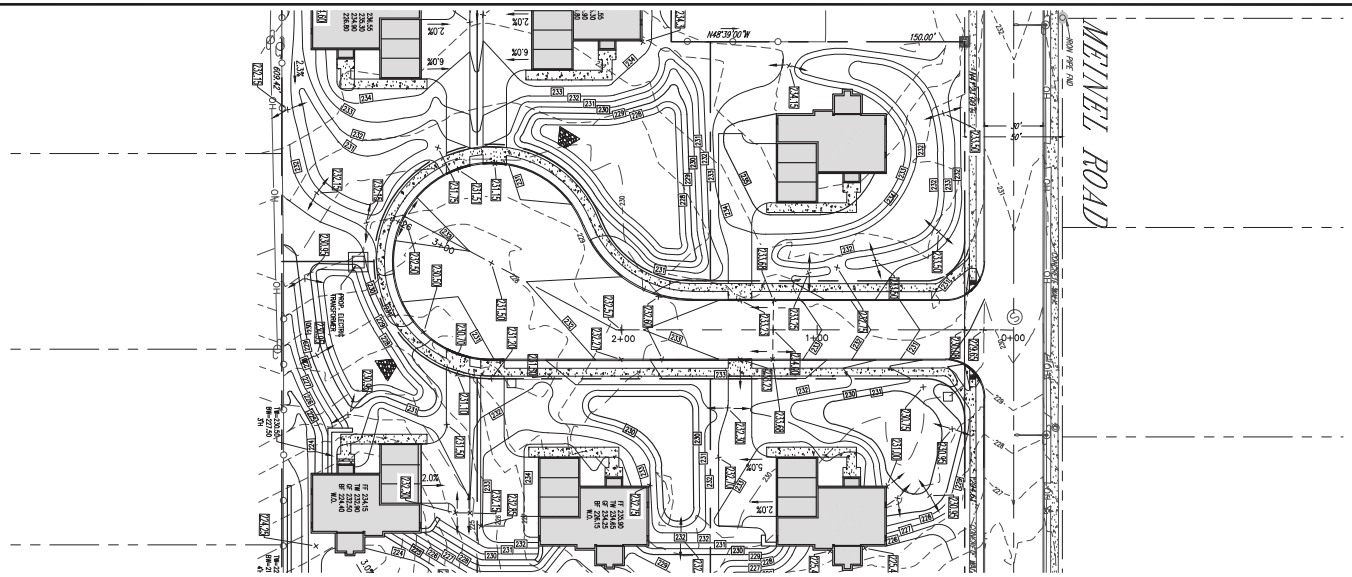
TITLE

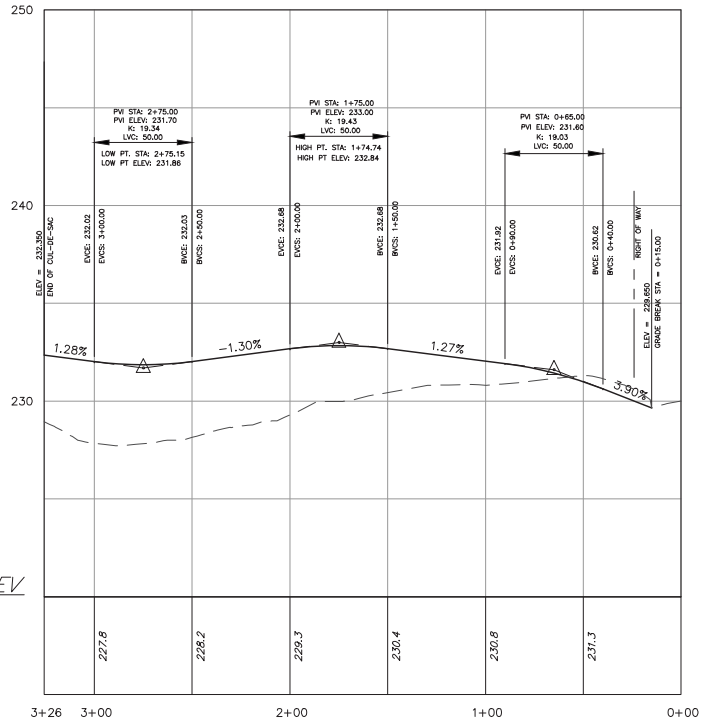
DRAINAGE PLAN

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 5 OF 19

REVISION 6





DATUM ELEV
220.00

CUL-DE-SAC PROFILE

HORIZ SCALE: 1"=30'
VERT SCALE: 1"=3'

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0600 Fax: 215-362-0400
WWW.CORNERSTONEEA.COM

Philadelphia Region
215-362-2600

Lehigh Valley Region
610-820-6500

Pocono Region
570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	RE-VISED FOR NOTES/SUBMISSION	11/21/2016
2	J.A.C.	RE-VISED FOR TOWNSHIP REVIEW (JAN. 2017)	2/7/2017
3	J.A.C.	RE-VISED PER PWP & MCCD REVISIONS (FEB. 2017)	4/11/2017
4	J.A.C.	RE-VISED PER MCCD'S REVIEW (DATED 8/31/2017)	10/18/2017
5	J.A.C.	RE-VISED PER & A'S COMMENTS (DATED 11/1/2017)	12/5/2017
6	J.A.C.	RE-VISED FOR RECORDING	2/23/2018

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925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1059

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NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE BEFORE BEGINNING EXCAVATE, DRILL, BLAST OR DEMOLISH

J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 052336
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
CONNECTICUT LICENSE No. 28,583
FLORIDA LICENSE No. 75446
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

CUL-DE-SAC
PLAN & PROFILE

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SHEET 6 OF 19

REVISION 6

LOCATION MAP (USGS FRANKFORD QUADRANGLE)

SEQUENCE OF CONSTRUCTION

NOTES:

A. CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE MONTGOMERY COUNTY CONSERVATION DISTRICT (MCCD), ABINGTON TOWNSHIP, PROPERTY OWNER AND/OR DEVELOPMENT REPRESENTATIVE, DESIGN ENGINEER (CCEA), AND CONSTRUCTION REVIEW PROFESSIONALS.

B. CONTRACTOR SHALL CONTACT MCCD SEVEN (7) DAYS PRIOR TO THE START OF WORK.

C. CONTRACTOR SHALL PROVIDE MCCD WITH CO-PERMITTEE FORMS PRIOR TO PRE-CONSTRUCTION MEETING (IF NECESSARY).

D. THE CONTRACTOR IS ADVISED TO FULLY REVIEW THE SEQUENCE OF CONSTRUCTION AND ENSURE PROPER SEQUENCING CAN BE MAINTAINED WITH THE ANTICIPATED CONTRACTOR WORK METHODS. SHOULD THE CONTRACTOR FEEL THAT MODIFICATIONS ARE DESIRED, HE SHALL PROVIDE THE MODIFIED SEQUENCE IN WRITING TO THE MCCD FOR APPROVAL.

E. THE CONTRACTOR IS REQUIRED TO HAVE AN APPROVED COPY OF THE EROSION AND SEDIMENT CONTROL PLANS AND NARRATIVE, PCSM (POST CONSTRUCTION STORMWATER MANAGEMENT PLANS), PPC PLAN AND NPDES PERMIT ON SITE AT ALL TIMES. THESE DOCUMENTS ARE TO BE CONTINUALLY REFERENCED DURING CONSTRUCTION.

1. INSTALL CONSTRUCTION ENTRANCE, SILT SOCK, AND TREE PROTECTION. CLEARLY MARK LIMITS OF PROPOSED RAIN GARDENS USING STAKES AND SILT SOCK. THESE AREAS ARE TO BE PROTECTED FROM COMPACTION AND SEDIMENTATION THROUGHOUT CONSTRUCTION.
2. CONTRACTOR SHALL COMMENCE CLEARING THE VEGETATION FOR THE SITE AND STRIPPING THE TOPSOIL. CONTRACTOR TO STOCKPILE TOPSOIL AND INSTALL THE ASSOCIATED SILT FENCE. CONTRACTOR TO STABILIZE THE STOCKPILE WITH TEMPORARY SEEDING AS DIRECTED IN FERTILIZATION NOTES. STABILIZATION OF ALL BMPS SHALL BE COMPLETED BEFORE ANY MASS GRADING TO THE SITE OCCURS.
3. CLEAR REMAINDER OF THE SITE AND ROUGH GRADE THE SITE. CONTRACTOR TO INSTALL 4' RETAINING WALL ALONG THE REAR PROPERTY LINE (LOT 3) IMMEDIATELY. CONTRACTOR CAN CONCURRENTLY BEGIN CONSTRUCTION OF UNDERGROUND DETENTION BASIN. THIS IS A CRITICAL STAGE IN THE PROJECT THAT REQUIRES REVIEW BY THE CONSTRUCTION REVIEW PROFESSIONAL. CONSTRUCTION REVIEW PROFESSIONAL SHALL FIELD MEASURE THE BASINS TO VERIFY THAT THE VOLUME OF RECORD AND THE LOCATION, AND ELEVATIONS ARE CONSISTENT WITH THE APPROVED PLANS AND REVIEW THE GENERAL CONDITIONS OF THE CONSTRUCTION. WHEN THE INLETS ASSOCIATED WITH THE UNDERGROUND DETENTION BASINS ARE INSTALLED, THE ASSOCIATED INLET PROTECTION SHALL ALSO BE INSTALLED.
4. CONTINUE GRADING THE SITE TO NEAR FINAL GRADE.
5. CONSTRUCTION OF THE HOMES' FOUNDATION SYSTEM CAN BEGIN AT THIS POINT IN TIME.
6. INSTALL DRAINAGE PIPE OUTLINED ON THE PLAN. ALL PIPING SHALL BE INSTALLED FROM THE LOWEST INVERT ELEVATION AND PROGRESS UPSLOPE. ALL INLETS LOCATED WITHIN GRASSED AREAS AND RAINGARDENS SHALL USE MASTIC OR EQUIVALENT TO PREVENT SOIL FROM WASHING INTO THE STORM SEWER THROUGH THE JOINTS IN THE INLET BOX AND TOP. THIS APPLIES TO INLETS 1-9. THIS IS A CRITICAL STAGE IN THE PROJECT THAT REQUIRES REVIEW BY THE CONSTRUCTION REVIEW PROFESSIONAL. CONSTRUCTION REVIEW PROFESSIONAL SHALL FIELD MEASURE AND VERIFY THE LOCATION AND ELEVATIONS OF THE INLETS, AND DRAINAGE PIPE, AS OBSERVABLE, ARE CONSISTENT WITH THE APPROVED PLANS.

SEQUENCE OF CONSTRUCTION CONTINUED

7. INSTALL INLET PROTECTION IMMEDIATELY ON ALL INLETS.
8. INSTALL WATER, SEWER, ELECTRIC AND GAS UTILITIES. INSTALLATIONS SHALL BE COMPLETED FROM THE LOWEST INVERT UPSLOPE.
9. FINISH GRADING SITE TO SUBGRADE. INSTALL CONCRETE CURB, SIDEWALK, AND STONE BASE WITHIN DRIVE AREAS.
10. INSTALL RAIN GARDEN AREAS USED FOR WATER QUALITY. SEE SPECIFIC SEQUENCE FOR THESE AREAS. THIS IS A CRITICAL STAGE IN THE PROJECT THAT REQUIRES REVIEW BY THE CONSTRUCTION REVIEW PROFESSIONAL. CONSTRUCTION REVIEW PROFESSIONAL SHALL FIELD MEASURE THE BASIN TO VERIFY THAT THE VOLUME OF RECORD AND THE LOCATION AND ELEVATIONS OF THE OUTLET STRUCTURE AND BERM, ARE CONSIST WITH THE APPROVED PLANS AND REVIEW THE GENERAL CONDITION OF THE CONSTRUCTION.
11. INSTALL SITE PAVING AND CONCRETE.
12. INSTALL LANDSCAPING AND FINAL SEED DISTURBED AREAS.
13. EROSION AND SEDIMENT CONTROL PROTECTIONS CAN BE REMOVED ONCE FINAL STABILIZATION IS ACHIEVED. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS, ETC.
14. UPON ACHIEVEMENT OF FINAL STABILIZATION, CONTRACTOR SHALL COORDINATE A FINAL INSPECTION WITH THE MCCD AND PROVIDE THE PROPERTY OWNER WITH THE REQUISITE PAPER WORK FOR THE NPDES NOTICE OF TERMINATION.

RAIN GARDEN AREA CONSTRUCTION SEQUENCE

THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCE; HOWEVER, ALTERATIONS MIGHT BE NECESSARY DEPENDING ON DESIGN VARIATIONS.

1. ENSURE TEMPORARY SEDIMENT CONTROL BMPs (ie. SILT SOCK) IS INSTALLED AROUND THE RAIN GARDENS AS SHOWN ON THE PLANS.
2. COMPLETE SITE GRADING. CONSTRUCT CURB CUTS OR OTHER INFLOW ENTRANCE BUT PROVIDE PROTECTION SO THAT DRAINAGE IS PROHIBITED FROM ENTERING CONSTRUCTION AREA.
3. STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT WITHIN THE RAIN GARDEN AREA.
4. EXCAVATE RAIN GARDEN AREAS TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES. DO NOT COMPACT IN-SITU SOILS.
5. BACKFILL RAIN GARDEN WITH AMENDED SOIL AS SHOWN ON PLANS AND SPECIFICATIONS. OVERFILLING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT. LIGHT HAND TAMPERING IS ACCEPTABLE IF NECESSARY.
6. PRESOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION TO AID IN SETTLEMENT.
7. COMPLETE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS, LEAVING SPACE FOR UPPER LAYER OF COMPOST AS SPECIFIED ON PLANS.
8. PLANT VEGETATION ACCORDING TO LANDSCAPE PLAN.
9. MULCH AND/OR INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY.

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS
BASED ON U.S.D.A. - N.R.C.S. SOILS SURVEY (WEBSOILSURVEY.NRCS.USDA.GOV) 9/15/2016
LIMITATIONS FOR SITE DEVELOPMENT

SYMBOL	NAME	SLOPE	CAPABILITY UNIT	LIMITATIONS FOR SITE DEVELOPMENT: DEPTH TO SEASONAL HIGH WATER TABLE	DEPTH TO BEDROCK	HAZARD OF EROSION	PERMEABILITY
UugB	URBAN LAND-UDORTHENTS COMPLEX	0-8%	8s	VARIABLE	10 INCHES+	VARIABLE	POOR

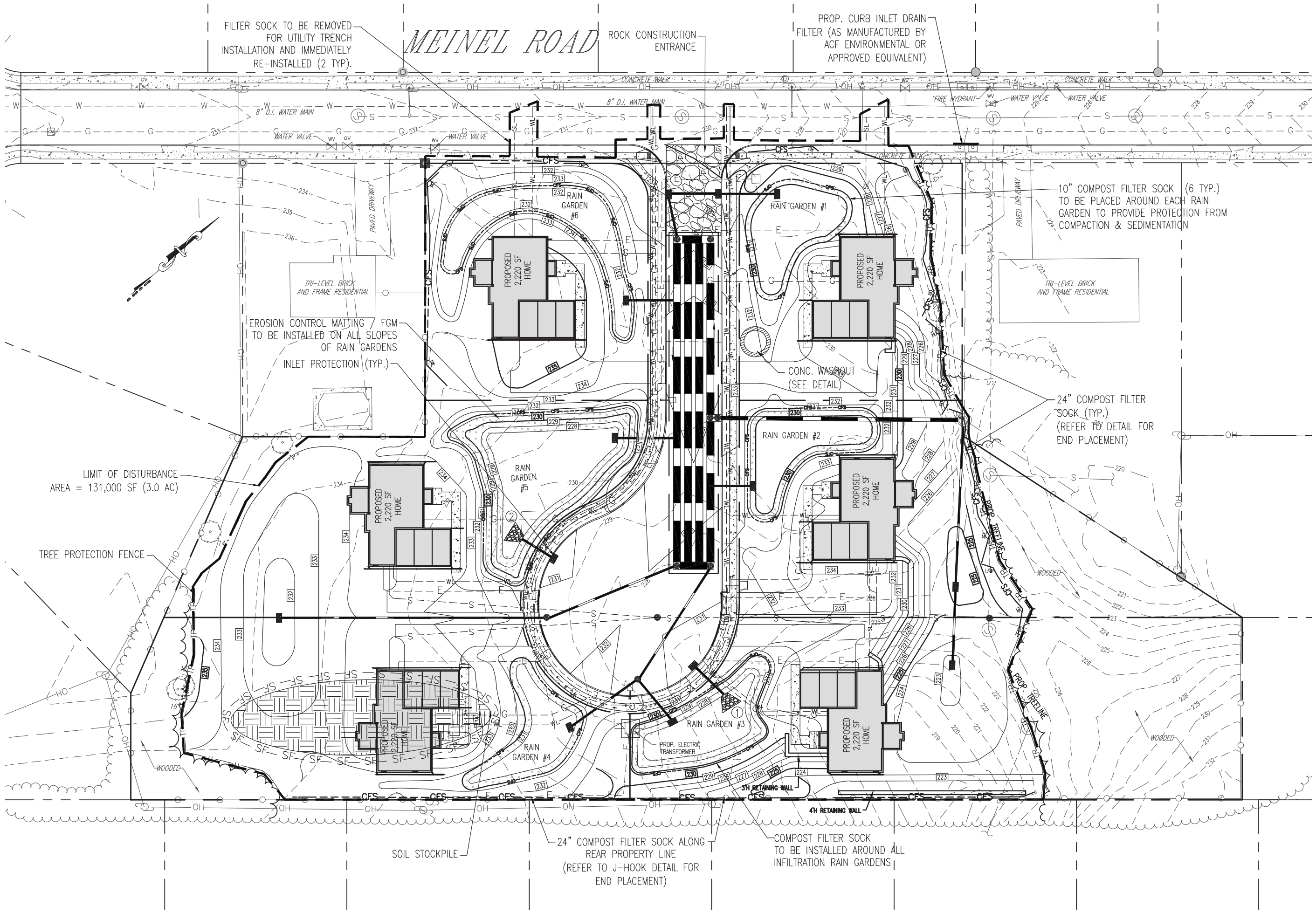
UugB - URBAN LAND, 0-8% SLOPES

TABLE E.1 LIMITATION OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS FROM THE EROSION AND SEDIMENT CONTROL MANUAL DOES NOT LIST THESE SOIL TYPES. USE LIMITATIONS AND RESOLUTIONS FROM BELOW IF ANY LIMITATIONS ARE ENCOUNTERED.

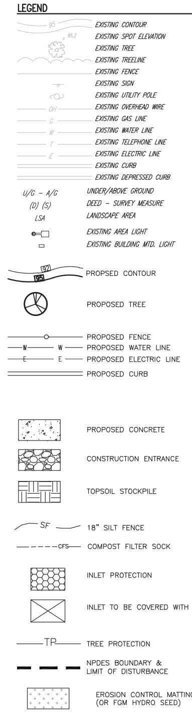
RESOLUTIONS FOR LIMITATIONS:
- CUTBANKS CAVE = APPROPRIATE PRECASUTIONS SHALL BE TAKEN TO SAFEGUARD WORKERS DURING ALL TRENCHING AND EXCAVATION OPERATIONS. ALL APPLICABLE OSHA STANDARDS AND REGULATIONS MUST BE IMPLEMENTED AT ALL TIMES.
- CORROSIVE TO CONCRETE/STEEL = UNDERGROUND PIPES SHALL BE PROTECTED AND/OR DIFFERENT MATERIAL SPECIFIED.
- DROUGHTY = PROVIDE IRRIGATION TO SOILS.
- EASILY ERODIBLE = DESIGN AN EROSION AND SEDIMENTATION PLAN DETAILING A SEQUENCE OF CONSTRUCTION AND EROSION CONTROL MEASURES WHICH SHALL BE IMPLEMENTED THROUGHOUT CONSTRUCTION.
- FLOODING = INSTALL FLOOD CONTROL MEASURES; IMPROVE CHANNELS; RAISE FOUDNATIONS.
- DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE = OBTAIN SOIL FROM OTHER AREA OF SITE OR OFF SITE; SELECT APPROPRIATE SEED MIXTURE; PROVIDE DRAINAGE CHANNELS OR UNDERDRAINS.
- HYDRIC/HYDRIC INCLUSIONS = DESIGN SITE TO AVOID AREAS OF HYDRIC SOILS; PERFORM A WETLAND SURVEY.
- LOW STRENGTH/LANDSLIDE PRONE = PRECAUTIONS SHALL BE TAKEN TO PREVENT SLOPE FAILURES (SUCH AS AVOIDING OVER-STEEPING, OVERLOADING SLOPES, REMOVAL OF LATERAL SUPPORT, AND/OR FAILURE TO PREVENT SATURATION OF SLOPES). SETBACKS SHALL BE MAINTIANED FROM AREAS OF WEAK SOILS, AND/OR FILL MATERIAL MAY NEED TO BE IMPORTED TO INCREASE STRENGTH.
- SLOW PERCOLATION = AVOID LOCATING INFILTRATION AREAS WITHIN THESE AREAS; SOIL TESTING SHALL BE USED TO IDENTIFY AREAS OF CONCERN; AND UNDERDRAINS SHALL BE USED.
- PIPING = INSTALL A CLAY PLUG IF PIPING BEGINS TO FORM.
- POOR SOURCE OF TOPSOIL = SOIL AMENDMENTS SHALL BE USED TO PROMOTE GROWTH OF DESIRED VEGETATION. AREAS OF GOOD TOPSOIL ON SITE SHALL BE RELOCATED AND STORED FOR LATER USE ON THE SITE.
- FROST ACTION = PRECAUTIONS SHALL BE IMPLEMENTED TO PREVENT DAMAGE WHEN FROST IS ANTICIPATED.
- WETNESS = INSTALL SURFACE DRAINAGE MEASURES; DESIGN THE E&S PLAN TO AVOID ADDITIONAL PONDING IN THESE AREAS, GRADE THE SITE TO ELEVATE THESE AREAS.
- LOW DEPTH TO BEDROCK = REVISE DESIGN TO RELOCATE; EXCAVATE RIPPABLE ROCK OR BLAST

E&S CONTROL PLAN DESIGN NOTES

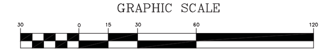
THE E&S PLAN HAS BEEN DESIGNED TO ACHIEVE THE FOLLOWING;
1. MINIMIZE THE EXTENT AND THE DURATION OF EARTH DISTURBANCE
2. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION
3. MINIMIZE SOIL COMPACTION
4. UTILIZE CONTROL MEASURES THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF



LEGEND



GRAPHIC SCALE



(IN FEET)
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CLIENT DATA

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213 West Main Street . Lansdale . PA 19446
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WWW.CORNERSTONENET.COM
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Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	LAC	REVISED FOR NPDES SUBMISSION	11/25/2016
2	LAC	REVISED PER TOWNSHIP REVIEW (JAN. 2017)	2/8/2017
3	LAC	REVISED PER TWP. & MCCD REVIEWS (FEB 2017)	4/11/2017
4	LAC	REVISED PER MCCD'S REVIEW (DATED 8/31/2017)	10/16/2017
5	LAC	REVISED PER E&S COMMENTS (DATED 12/1/2017)	12/6/2017
6	LAC	REVISED FOR RECORDING	2/20/2018

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MARYLAND LICENSE No. 29313
NEW JERSEY LICENSE No. 24GE04520400
VIRGINIA LICENSE No. 0402 045725
FLORIDA LICENSE No. 75184
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

EROSION & SEDIMENTATION CONTROL PLAN

PROJ. #	16-0205	DATE	11/1/2016
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SHEET 7 OF 19

REVISION 6

HYDRAULICALLY-APPLIED EROSION CONTROL: HIGH PERFORMANCE-FLEXIBLE GROWTH MEDIUM

GENERAL

1.01 SUMMARY

A. THIS SECTION SPECIFIES A HYDRAULICALLY-APPLIED, 100% BIODEGRADABLE, HIGH PERFORMANCE-FLEXIBLE GROWTH MEDIUM (HP-FGM) THAT IS MANUFACTURED IN THE UNITED STATES AND IS COMPOSED OF 100% RECYCLED THERMALLY REFINED (WITHIN A PRESSURE VESSEL) WOOD FIBERS, CRIMPED INTERLOCKING MAN-MADE BIODEGRADABLE FIBERS, MINERAL ACTIVATORS, NATURALLY DERIVED CROSSLINKED BIOPOLYMERS AND WATER ABSORBENTS. THE HP-FGM IS PHYTOSANITIZED, FREE FROM PLASTIC NETTING, REQUIRES NO CURING PERIOD AND UPON APPLICATION FORMS AN INTIMATE BOND WITH THE SOIL SURFACE TO CREATE A CONTINUOUS, POROUS, ABSORBENT AND FLEXIBLE EROSION RESISTANT BLANKET THAT ALLOWS FOR RAPID GERMINATION AND ACCELERATED PLANT GROWTH

B. RELATED SECTIONS: OTHER SPECIFICATION SECTIONS, WHICH DIRECTLY RELATE TO THE WORK OF THIS SECTION INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
1. SECTION 01 57 00 – TEMPORARY EROSION AND SEDIMENT CONTROL
2. SECTION 31 00 00 – EARTHWORK
3. SECTION 31 91 00 – PLANTING PREPARATION
4. SECTION 32 92 00 – TURF AND GRASSES

1.02 SUBMITTALS

A. PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DATA AND INSTALLATION INSTRUCTIONS. INCLUDE REQUIRED SUBSTRATE PREPARATION, LIST OF MATERIALS AND APPLICATION RATE.

B. CERTIFICATIONS: MANUFACTURER SHALL SUBMIT A LETTER OF CERTIFICATION THAT THE PRODUCT MEETS OR EXCEEDS ALL TECHNICAL AND PACKAGING REQUIREMENTS.

1.03 DELIVERY, STORAGE AND HANDLING

A. DELIVER MATERIALS AND PRODUCTS IN UV AND WEATHER-RESISTANT FACTORY LABELED PACKAGES. STORE AND HANDLE IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT FROM DAMAGE, WEATHER, EXCESSIVE TEMPERATURES AND CONSTRUCTION OPERATIONS.

PRODUCTS
2.01 ACCEPTABLE MANUFACTURER

A. PROFILE PRODUCTS LLC
750 LAKE COOK ROAD – SUITE 440
BUFFALO GROVE, IL 60089
800-366-1180 (FAX 847-215-0577)
WWW.PROFILEPRODUCTS.COM

2.02 MATERIALS

A. THE HP-FGM SHALL BE FLEXTERRA® HP-FGM AND CONFORM TO THE FOLLOWING PROPERTY VALUES WHEN UNIFORMLY APPLIED AT A RATE OF 3500 POUNDS PER ACRE (3900 KILOGRAMS/HECTARE) UNDER LABORATORY CONDITIONS.

PROPERTY	TEST METHOD	REQ. VALUE (ENGLISH)	REQ. VALUE (SI)
PHYSICAL			
MASS PER UNIT AREA	ASTM D65661	12 OZ/YD2 MINIMUM	407 G/M2 MINIMUM
THICKNESS	ASTM D65251	0.22 INCH MINIMUM	5.6 MM. MINIMUM
WET BOND STRENGTH	ASTMD68181	9LB/FT	131N/M
GROUND COVER	ASTM D65671	99% MINIMUM	99% MINIMUM
WATER HOLDING CAPACITY	ASTM D7367	1700% MINIMUM	1700% MINIMUM
MATERIAL COLOR	OBSERVED	GREEN	GREEN
PERFORMANCE			
COVER FACTOR2	LARGE SCALE TESTING4	0.01 MAXIMUM	0.01 MAXIMUM
% EFFECTIVENESS3	LARGE SCALE TESTING4	99% MINIMUM	99% MINIMUM
CURE TIME	OBSERVED	0 – 2 HOURS	0 – 2 HOURS
VEGETATION ESTABLISHMENT	ASTM D73221	800% MINIMUM	800% MINIMUM
YIELD5	CALCULATED	2.6 MINIMUM	2245 MINIMUM
KINETIC ENERGY ABSORPTION POTENTIAL6	CALCULATED	2.0 MINIMUM	734 MINIMUM
ENVIRONMENTAL			
FUNCTIONAL LONGEVITY7	ASTM D5338	UP TO 18 MONTHS	UP TO 18 MONTHS
ECOTOXICITY	EPA 2021.0	96-HR LC50 > 100%	96-HR LC50 > 100%
EFFLUENT TURBIDITY	LARGE SCALE TESTING4	100 NTU MAXIMUM	100 NTU MAXIMUM
BIODEGRADABILITY	ASTM D5338	100% MINIMUM	100% MINIMUM

1. ASTM TEST METHODS DEVELOPED FOR ROLLED EROSION CONTROL PRODUCTS AND HAVE BEEN MODIFIED TO ACCOMMODATE HYDRAULICALLY-APPLIED EROSION CONTROL PRODUCTS.
2. COVER FACTOR IS CALCULATED AS SOIL LOSS RATIO OF TREATED SURFACE VERSUS AN UNTREATED CONTROL SURFACE.
2. % EFFECTIVENESS = ONE MINUS COVER FACTOR MULTIPLIED BY 100%.
4. LARGE SCALE TESTING CONDUCTED AT UTAH WATER RESEARCH LABORATORY. FOR SPECIFIC TESTING INFORMATION PLEASE CONTACT A PROFILE TECHNICAL SERVICE REPRESENTATIVE AT 866-325-6262.
5. YIELD = (MASS PER UNIT AREA)*(THICKNESS)*(GROUND COVER PERCENTAGE).
6. KINETIC ENERGY ABSORPTION POTENTIAL = (WET BOND STRENGTH)*(THICKNESS)
7. FUNCTIONAL LONGEVITY IS THE ESTIMATED TIME PERIOD, BASED UPON ASTM D5338 TESTING AND FIELD OBSERVATIONS, THAT A MATERIAL CAN BE ANTICIPATED TO PROVIDE EROSION CONTROL AND AGRONOMIC BENEFITS AS INFLUENCED BY COMPOSITION, AS WELL AS SITE-SPECIFIC CONDITIONS, INCLUDING; BUT NOT LIMITED TO – TEMPERATURE, MOISTURE, LIGHT CONDITIONS, SOILS, BIOLOGICAL ACTIVITY, VEGETATIVE ESTABLISHMENT AND OTHER ENVIRONMENTAL FACTORS.

2.03 COMPOSITION

A. ALL COMPONENTS OF THE HP-FGM SHALL BE PRE-PACKAGED BY THE MANUFACTURER TO ASSURE BOTH MATERIAL PERFORMANCE AND COMPLIANCE WITH THE FOLLOWING VALUES. NO CHEMICAL ADDITIVES WITH THE EXCEPTION OF FERTILIZER, SOIL PH MODIFIERS, EXTENDED-TERM DYES AND BIOSTIMULANT MATERIALS SHOULD BE ADDED TO THIS PRODUCT.

1. THERMALLY PROCESSED (WITHIN A PRESSURE VESSEL) WOOD FIBER – 80% ± 3%
   • HEATED TO A TEMPERATURE GREATER THAN 380 DEGREES FAHRENHEIT (193 DEGREES CELSIUS) FOR 5 MINUTES AT A PRESSURE GREATER THAN 50 PSI (345 KPA)
   CROSSLINKED BIOPOLYMERS AND WATER ABSORBENTS – 10% ± 1%
   CRIMPED, MAN-MADE BIODEGRADABLE INTERLOCKING FIBERS – 5% ± 1%
   MICRO-PORE GRANULES – 5% ± 1%

2.04 PACKAGING

A. BAGS: NET WEIGHT – 50 LB, UV AND WEATHER-RESISTANT PLASTIC FILM
PALLETS: WEATHER-PROOF, STRETCH-WRAPPED WITH UV RESISTANT PALLET COVER
PALLET QUANTITY: 40 BAGS/PALLET OR 1 TON/PALLET

EXECUTION

3.01 SUBSTRATE AND SEEDBED PREPARATION

A. EXAMINE SUBSTRATES AND CONDITIONS WHERE MATERIALS WILL BE APPLIED. APPLY PRODUCT TO GEOTECHNICALLY STABLE SLOPES THAT HAVE BEEN DESIGNED AND CONSTRUCTED TO DIVERT RUNOFF AWAY FROM THE FACE OF THE SLOPE. DO NOT PROCEED WITH INSTALLATION UNTIL SATISFACTORY CONDITIONS ARE ESTABLISHED.

B. DEPENDING UPON PROJECT SEQUENCING AND INTENDED APPLICATION, PREPARE SEEDBED IN COMPLIANCE WITH OTHER SPECIFICATIONS UNDER SECTION 1.01 B

3.02 INSTALLATION

A. STRICTLY COMPLY WITH EQUIPMENT MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS. USE APPROVED HYDRO-SPRAYING MACHINES WITH FAN-TYPE NOZZLE (50-DEGREE TIP). TO ACHIEVE OPTIMUM SOIL SURFACE COVERAGE, APPLY HP-FGM FROM OPPOSING DIRECTIONS TO SOIL SURFACE. ROUGH SURFACES (ROCKY TERRAIN, CAT TRACKS AND RIPPED SOILS) MAY REQUIRE HIGHER APPLICATION RATES TO ACHIEVE 100% COVER. SLOPE INTERRUPTION DEVICES OR WATER DIVERSION TECHNIQUES ARE RECOMMENDED WHEN SLOPE LENGTHS EXCEED 100 FEET (30 M). MAXIMUM SLOPE LENGTH IS FOR PRODUCT APPLICATIONS ON A 3H:1V SLOPE. FOR APPLICATION ON STEEPER SLOPES, SLOPE INTERRUPTION LENGTHS MAY NEED TO BE DECREASED BASED ON ACTUAL SITE CONDITIONS. NOT RECOMMENDED FOR CHANNELS OR AREAS WITH CONCENTRATED WATER FLOW. THIS PRODUCT MAY BE APPLIED ON SATURATED SOILS AND DOES NOT REQUIRE A CURING PERIOD TO BE EFFECTIVE. NO CHEMICAL ADDITIVES WITH THE EXCEPTION OF FERTILIZER, LIMING AND BIOSTIMULANT MATERIALS SHOULD BE ADDED TO THIS PRODUCT.

B. FOR EROSION CONTROL AND REVEGETATION: TO ENSURE PROPER APPLICATION RATES, MEASURE AND STAKE AREA. FOR MAXIMUM PERFORMANCE, APPLY HP-FGM IN A TWO-STEP PROCESS*:

1. STEP ONE: APPLY FERTILIZER WITH SPECIFIED PRESCRIPTIVE AGRONOMIC FORMULATIONS AND 50% OF SEED WITH A SMALL AMOUNT OF HP-FGM FOR VISUAL METERING.
2. STEP TWO: MIX BALANCE OF SEED AND APPLY HP-FGM AT A RATE OF 50 LB PER 125 GALLONS (23 KG/475 LITERS) OF WATER OVER FRESHLY SEEDED SURFACES. CONFIRM LOADING RATES WITH EQUIPMENT MANUFACTURER. DO NOT LEAVE SEEDED SURFACES UNPROTECTED, ESPECIALLY IF PRECIPITATION IS IMMINENT.

*DEPENDING UPON SITE CONDITIONS HP-FGM MAY BE APPLIED IN A ONE-STEP PROCESS WHERE ALL COMPONENTS MAY BE MIXED TOGETHER IN SINGLE TANK LOADS. CONSULT WITH MANUFACTURER FOR FURTHER DETAILS.

BEST RESULTS AND MORE RAPID CURING ARE ACHIEVED AT TEMPERATURES EXCEEDING 60°F (15°C). CURING TIMES MAY BE ACCELERATED IN HIGH TEMPERATURE, LOW HUMIDITY CONDITIONS WITH PRODUCT APPLIED ON DRY SOILS.

OVER-APPLICATION OF PRODUCT MAY INHIBIT GERMINATION AND PLANT GROWTH.

C. MIXING: A MECHANICALLY AGITATED HYDRAULIC-APPLICATION MACHINE IS STRONGLY RECOMMENDED:
1. FILL 1/3 OF MECHANICALLY AGITATED HYDROSEEDER WITH WATER. TURN PUMP ON FOR 15 SECONDS AND PURGE AND PRE-WET LINES. TURN PUMP OFF.
2. TURN AGITATOR ON AND LOAD LOW DENSITY MATERIALS FIRST (I.E. SEED).
3. CONTINUE SLOWLY FILLING TANK WITH WATER WHILE LOADING FIBER MATRIX INTO TANK.
4. CONSULT APPLICATION AND LOADING CHARTS TO DETERMINE NUMBER OF BAGS TO BE ADDED FOR DESIRED AREA AND APPLICATION RATE. MIX AT A RATE OF 50 LB OF HP-FGM PER 125 GALLONS (23 KG/475 LITERS). CONTACT EQUIPMENT MANUFACTURER TO CONFIRM OPTIMUM MIXING RATES.
5. ALL HP-FGM SHOULD BE COMPLETELY LOADED BEFORE WATER LEVEL REACHES 75% OF THE TOP OF TANK.
6. TOP OFF WITH WATER AND MIX UNTIL ALL FIBER IS FULLY BROKEN APART AND HYDRATED (MINIMUM OF 10 MINUTES –– INCREASE MIXING TIME WHEN APPLYING IN COLD CONDITIONS). THIS IS VERY IMPORTANT TO FULLY ACTIVATE THE BONDING ADDITIVES AND TO OBTAIN PROPER VISCOSITY.
7. ADD FERTILIZER
8. SHUT OFF RECIRCULATION VALVE TO MINIMIZE POTENTIAL FOR AIR ENTRAINMENT WITHIN THE SLURRY.
9. SLOW DOWN AGITATOR AND START APPLYING WITH A 50-DEGREE FAN TIP NOZZLE.
10. SPRAY IN OPPOSING DIRECTIONS FOR MAXIMUM SOIL COVERAGE.

D. APPLICATION RATES: THESE APPLICATION RATES ARE FOR STANDARD CONDITIONS. DESIGNERS MAY WISH TO REDUCE RATES TO ENCOURAGE FASTER VEGETATION ESTABLISHMENT OR MAY NEED TO INCREASE APPLICATION RATES ON ROUGH SURFACES.

SLOPE GRADIENT / CONDITION	ENGLISH	SI
≤ 4H TO 1V	2500 LB/AC	2800 KG/HA
> 4H TO 1V AND ≤ 3H TO 1V	3000 LB/AC	3400 KG/HA
≥ 3H TO 1V AND ≤ 2H TO 1V	3500 LB/AC	3900 KG/HA
> 2H TO 1V AND ≤ 1H TO 1V	4000 LB/AC	4500 KG/HA
> 1H TO 1V	4500 LB/AC	5100 KG/HA
BELOW ECB OR TRM	1500 LB/AC	1700 KG/HA
AS INFILL FOR TRM*	3500 LB/AC	3900 KG/HA

*USE ONLY APPROVED AND TESTED TRMS TO CREATE THE GREENARMOR™ SYSTEM

3.03 CLEANING AND PROTECTION

A. AFTER APPLICATION, THOROUGHLY FLUSH THE TANK, PUMPS AND HOSES TO REMOVE ALL MATERIAL. WASH ALL MATERIAL FROM THE EXTERIOR OF THE MACHINE AND REMOVE ANY SLURRY SPILLS. ONCE DRY, MATERIAL WILL BE MORE DIFFICULT TO REMOVE.

B. CLEAN SPILLS PROMPTLY. ADVISE OWNER OF METHODS FOR PROTECTION OF TREATED AREAS. DO NOT ALLOW TREATED AREAS TO BE TRAFFICKED OR SUBJECTED TO GRAZING.
D ENGLISH SI
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REVISION DATE: 06/2010

PCSM BMP OPERATIONS AND MAINTENANCE REQUIREMENTS

BMP TYPE: RAIN GARDEN AREA

APPLIED AREAS: THIS BMP APPLIES TO RAIN GARDEN AREAS 1-12.

EQUIPMENT: VISUAL INSPECTION, LANDSCAPE CREW/BACKHOE AS NEEDED

RECORD KEEPING: THE SITE OPERATOR/MANAGER SHOULD KEEP LOGS OF WHEN THE FACILITY IS CLEANED AND FILE THE RECEIPTS OR LOGS FOR THEIR RECORDS SHOULD THE MUNICIPALITY OR PADEP REQUIRE DOCUMENTATION OF THE BMP IMPLEMENTATION.

RESPONSIBLE PARTY: THE PROPERTY OWNER, OR AUTHORIZED OWNER REPRESENTATIVE, IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S ONCE CONSTRUCTION IS COMPLETED.

VISUAL INSPECTION

THE RAIN GARDEN AREA SHALL BE INSPECTED AT THE END OF THE WINTER SEASON, AT LEAST ONCE EVERY SIX MONTHS AND AT LEAST 72 HOURS AFTER A RAINFALL EVENT GENERATING MORE THAN 3.32-INCHES TO ENSURE THAT THE FACILITY HAS DRAINED. SHOULD THE VISUAL INSPECTION REVEAL THAT THERE IS PONDED WATER, OR THERE HAVE BEEN CONTINUOUS RAIN EVENTS, ALLOW AN ADDITIONAL 24 HOURS FOR DRAWDOWN.

THE RAIN GARDEN AREA SHALL BE INSPECTED WITH THE FREQUENCY AS INDICATED ABOVE TO ENSURE:
- THERE IS NO SEDIMENT ACCUMULATED ON THE BOTTOM OF THE FACILITY,
- THAT NO SEDIMENT IS ENTERING THE INLET RISER,
- THE INLET RISER IS INTACT,
- THAT THERE IS NO ACCUMULATED SEDIMENT IN THE INLET SUMP,
- THAT THERE IS NO EROSION WITHIN THE FACILITY, THE SWALES LEADING TO THE FACILITY OR WITHIN THE DRAINAGE AREA OF THE FACILITY
- THE BERM SHOWS NO SIGNS OF SLUMPING OR SETTLEMENT
- VEGETATIVE COVER IS IN A HEALTHY STATE

SHOULD ANY OF THE ABOVE CRITERIA NOT BE MET, THEN FURTHER ACTION IS REQUIRED AS OUTLINED BELOW.

LOG BOOK ENTRIES FOR VISUAL INSPECTIONS SHALL NOTE THE DATE, TIME, APPROXIMATE NUMBERS OF DAYS AFTER A RAINFALL EVENT, AND NAME OF PERSON INSPECTING THE FACILITY. INSPECTIONS DO NOT NEED TO BE COMPLETED BY A PROFESSIONAL AND CAN BE COMPLETED BY ON-SITE STAFF.

RAIN GARDEN AREA MAINTENANCE

THE FOLLOWING ITEMS ARE TO BE COMPLETED SHOULD VISUAL INSPECTION REVEAL FURTHER ACTION IS NEEDED.

ACCUMULATED SEDIMENT IN FACILITY – REMOVE ACCUMULATED SEDIMENT ON FACILITY BOTTOM, RE-SPREAD MULCH AND REPEAT OBSERVATIONS AFTER NEXT RAIN EVENT TO ENSURE PROPER FUNCTION.

SEDIMENT ENTERING INLET RISER – ENSURE FACILITY IS PROPERLY GRADED TO ALLOW AN INLET REVEAL ON THE EXTERIOR OF THE INLET, AND TO ENSURE THAT THE INLET IS SEALED AT THE SEAMS.

INLET CONDITION – ENSURE THAT THE INLET IS NOT CRACKED AND IS SEALED IN LOCATIONS WHERE SEDIMENT LADEN RUNOFF COULD ENTER

ACCUMULATION IN INLET SUMP – CLEAN OUT INLET SUMP AND FURTHER REVIEW ITEMS ABOVE TO DETERMINE THE CAUSE OF SEDIMENT.

EROSION – IF INSIDE THE RAIN GARDEN AREA, REPLACE MULCH IN ERODED AREA AND DETERMINE CAUSE OF EROSION. ADDITIONAL DISSIPATION BY USE OF RIP RAP MAY BE NECESSARY IF EROSION CONTINUES. FOR UPSLOPE AREAS, IMMEDIATELY REPLACE TOPSOIL, SEED AND STABILIZE IN ACCORDANCE WITH DEP REQUIREMENTS. SLOPES IN EXCESS OF 3:1 WHICH EXHIBIT EROSION SHOULD BE HYDROSEEDED OR STABILIZED WITH EROSION CONTROL MATTING, PROPERLY ANCHORED/STAPLED PER THE MANUFACTURERS INSTRUCTIONS.

STANDING WATER – SHOULD IT BE DETERMINED THAT THE FACILITY IS NOT DRAINING PROPERLY, THEN VEGETATIVE COVER AND PLANTINGS, SOIL AND FILTER FABRIC ARE TO BE REMOVED TO THE TOP STONE AND REPLACED ACCORDING TO THE DETAILS WITHIN THIS PCSM PLAN.

VEGETATIVE COVER – IF SOILS APPEARS TO BE DRY, OR IF WEATHER IS IN DROUGHT CONDITION, PROVIDE ADDITIONAL IRRIGATION/WATERING FOR PLANTS. IF SOIL IS WET AND NOT DRAINING – SEE ABOVE. REPLACE PLANTINGS THAT ARE NOT THRIVING.

ADDITIONAL MAINTENANCE ACTIVITIES INCLUDE:

VEGETATIVE MAINTENANCE – DURING ESTABLISHMENT OF GROWTH IN THE BIO-RETENTION AREA SOME WEEDING AND PRUNING MAY BE REQUIRED. DETRITUS MAY NEED TO BE REMOVED EVERY YEAR.

COMPOST – COMPOST SHOULD BE RE-SPREAD IF THE SURFACE BECOMES HARDENED AND THE TOP FOUR INCHES REMOVED, REPLACED AND RE-SPREAD EVERY THREE YEARS.

LOG BOOK ENTRIES FOR MAINTENANCE ACTIVITIES SHALL NOTE THE DATE, TIME, APPROXIMATE NUMBERS OF DAYS AFTER A RAINFALL EVENT, AND NAME OF PERSON(S) MAINTAINING THE FACILITY AND WORK COMPLETED.

BMP TYPE: SUBSURFACE DETENTION BASIN

APPLIED AREAS: THIS BMP APPLIES TO SUBSURFACE DETENTION BASIN

EQUIPMENT: VISUAL INSPECTION, VAC TRUCK AS NEEDED

RECORD KEEPING: THE SITE OPERATOR/MANAGER SHOULD KEEP LOGS OF WHEN THE FACILITY IS CLEANED AND FILE THE RECEIPTS OR LOGS FOR THEIR RECORDS SHOULD THE MUNICIPALITY OR PADEP REQUIRE DOCUMENTATION OF THE BMP IMPLEMENTATION.

RESPONSIBLE PARTY: THE OWNER, OR AUTHORIZED OWNER REPRESENTATIVE, IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S ONCE CONSTRUCTION IS COMPLETED.

VISUAL INSPECTION
THE UNDERGROUND BASINS SHALL BE INSPECTED AT THE END OF THE WINTER SEASON, AT LEAST ONCE EVERY THREE MONTHS AND 72 HOURS AFTER A RAINFALL EVENT GENERATING MORE THAN 3.32-INCHES TO ENSURE THAT THE BED HAS DRAINED. SHOULD THE VISUAL INSPECTION REVEAL THAT THERE IS PONDED WATER, OR THERE HAVE BEEN CONTINUOUS RAIN EVENTS, ALLOW AN ADDITIONAL 24 HOURS FOR DRAWDOWN.
THE BED SHALL BE INSPECTED AT THE OUTLET STRUCTURE, MAINTENANCE RISERS AND INSPECTION PORTS. LOG BOOK ENTRIES SHALL NOTE THE DATE, TIME, APPROXIMATE NUMBERS OF DAYS AFTER A RAINFALL EVENT, AND NAME OF PERSON INSPECTING THE FACILITY. INSPECTIONS DO NOT NEED TO BE COMPLETED BY A PROFESSIONAL AND CAN BE COMPLETED BY ON-SITE STAFF.

BED MAINTENANCE
OWNER SHALL FIELD VERIFY DRAW DOWN TIME AFTER EACH MAJOR STORM. SHOULD IT BE DETERMINED THAT THE BASIN IS NOT DRAINING PROPERLY, THEN THE BASIN SHALL BE DRAINED BY USE OF A VAC TRUCK AND THE BOTTOM CLEANED ACCORDINGLY. IT IS IMPERATIVE THAT IF THIS OCCURS, THAT A MORE STRINGENT MAINTENANCE REGIME OCCUR IN THE UPSTREAM DRAINAGE FACILITIES AND BMP'S. IF THE BASIN DOES NOT COMPLETELY DRAIN WITHIN 72 HOURS THE REMAINING WATER SHALL BE PUMPED TO A STABLE OUTFALL AND THE BASIN INSPECTED FOR SEDIMENT BUILD-UP. SEDIMENT BUILD-UP AND CLOGS SHALL BE REMOVED IMMEDIATELY. IF THE BASIN CONTINUES TO HOLD WATER FOR GREATER THAN 72 HOURS A PROFESSIONAL ENGINEER AND THE CONSERVATION DISTRICT SHOULD BE CONSULTED FOR FURTHER INVESTIGATION AND REMEDIATION AS NECESSARY.

ROLLMAX™
ROLLED EROSION CONTROL

Specification Sheet – BioNet® S75BN™ Erosion Control Blanket

DESCRIPTION

Index Property | Test Method | Typical

Material Content

Standard Roll Size

Design Permissible Shear Stress

Slope Design Data: C Factors

Toughness Coefficients – Unveg.

Tensar
NORTH AMERICAN GREEN®

TEMPORARY STABILIZATION & PERMANENT STABILIZATION

1. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
2. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
3. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. E&SPCPM P168
4. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLNADS, FLOOPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

TEMPORARY SEEDING SPECIFICATIONS

ALL DISTURBED EARTH SURFACES OR TOPSOIL SHALL BE STABILIZED AND SEEDED WITH A CONTRACTOR'S MIX IN ACCORDANCE WITH PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL MARCH 2012, CURRENT EDITION, AS FOLLOWS:

MIXTURE 1– ANNUAL RYEGRASS, SPREAD AT A SEEDING RATE OF 10 LB. PER 1,000 SQ. YDS.
MIXTURE 2– PERENNIAL RYEGRASS SPREAD AT A SEEDING RATE OF 15 LBS PER 1,000 SQ. YDS.

OTHER MIXTURES PER TABLE 11.4 MAY BE USED WITH CONSERVATION DISTRICT APPROVAL

LIME AND FERTILIZER AND MULCH SPECIFICATIONS
TEMPORARY SEEDING –
– LIME 2000 LB PER ACRE
– FERTILIZER 10-10-10 500 LB PER ACRE
– MULCH, HAY OR STRAW – 3 TONS PER ACRE (AFTER TEMPORARY SEEDING HAS BEEN PERFORMED)

PERMANENT SEEDING SPECIFICATIONS

IMMEDIATELY UPON FINAL GRADING OF ANY PHASE OR SECTION, TOPSOIL SHALL BE BROUGHT BACK OVER THE DISTURBED AREAS WHICH ARE NOT TO BE PAVED OR BUILT UPON. THIS TOPSOIL SHALL BE SPREAD TO A SMOOTH FINISH GRADE WITH A MINIMUM DEPTH OF SIX (6) INCHES. THE TOPSOIL SHALL THEN BE:

A. RAKED FREE OF STONES;
B. LIMED AND FERTILIZED AS NECESSARY;
C. PLANTED WITH GRASS OR OTHER SPECIFIED SEED, AND
D. MULCHED TO PROTECT THE SEED FROM DRYNESS AND EROSION. (STRAW OR HAY AT 1240 LB. PER 1000 SQ. YDS.)

PERMANENT SEEDING SHALL BE UNDERTAKEN IN ACCORDANCE WITH PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL MARCH 2012, CURRENT EDITION, AS FOLLOWS:

MIXTURE 2– PRIMARILY KENTUCKY BLUEGRASS, SPREAD AT A SEEDING RATE OF 25 LB. PER 1000 SQ. YDS.

OTHER MIXTURES PER TABLE 11.4 MAY BE USED WITH CONSERVATION DISTRICT APPROVAL

NOTE: SLURRY APPLICATIONS MUST INCLUDE A STRAW MULCH BINDER AT A RATE OF 3.0 TONS PER ACRE.

LIME AND FERTILIZER SPECIFICATIONS
PERMANENT SEEDING –

–PULVERIZED AGR. LIMESTONE– 410 LBS. PER 1,000 S.Y.
–10-10-20 ANALYSIS COMMERCIAL– 140 LBS. PER 1,000 S.Y.

MULCHED TO PROTECT THE SEED FROM DRYNESS AND EROSION. (STRAW OR HAY AT 1240 LB. PER 1000 SQ. YDS.)

PROJECT NARRATIVE

THE PURPOSE OF THIS SEDIMENTATION AND EROSION CONTROL PLAN IS TO PROVIDE THE CONTRACTOR WITH THE MINIMUM REQUIREMENTS NECESSARY TO IMPLEMENT EROSION AND SEDIMENT CONTROL FEATURES TO REDUCE THE AMOUNT OF DENUDED SOILS FROM LEAVING THE SITE DURING THE DEMOLITION PROCESS. THE PLAN IS NOT INTENDED TO ADDRESS ALL THE POSSIBLE TOPOGRAPHIC CONDITIONS WHICH WOULD AFFECT CONSTRUCTION AND PLACEMENT OF SEDIMENTATION AND EROSION CONTROL FEATURES, HOWEVER, THE PLAN DOES ILLUSTRATE THE FOLLOWING CONSTRUCTION PROCEDURES FOR IMPLEMENTING SEDIMENTATION AND CONTROL FEATURES FOR THIS TYPE OF DEVELOPMENT.
RESPONSIBLE AGENT: KOZLOWSKY CONSTRUCTION
872 JENKINTOWN ROAD
ELKINS PARK, PA 19027

THE APPLICANT IS PROPOSING TO CONSTRUCT A RESIDENTIAL DEVELOPMENT CONSISTING OF 6 SINGLE FAMILY HOMES WITH ASSOCIATED SITE IMPROVEMENTS, INCLUDING STORMWATER MANAGEMENT.

EROSION AND SEDIMENT CONTOL NOTES:

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 TO MARK THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
15. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES –– 6 TO 12 INCHES ON COMPACTED SOILS –– PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO $10,000 PER DAY IN CIVIL PENALTIES, UP TO $10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO $25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
33. CONTRACTOR SHALL COORDINATE ANY CHANGE OF WASHOUT LOCATION WITH CONSERVATION DISTRICT.
34. SEDIMENT FROM E&S BMPs SHALL BE PLACED IN LANDSCAPED AREAS THAT ARE NOT BMP'S AND STABILIZED WITH SEED AND MULCH IMMEDIATELY. IF PLACED ON SLOPES GREATER THAN 3:1, APPLY EROSION CONTROL MATTING OR HYDRO SEED.

SITE INSPECTION LOG REQUIREMENTS:

UNTIL THIS SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION POLLUTION CONTROL (E&SPC) FACILITIES MUST BE MAINTAINED PROPERLY.
MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&SPC FACILITIES AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS.
SITE INSPECTIONS SHALL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE LOG SHALL INCLUDE THE DATE, AND TIME OF THE INSPECTIONS, DESCRIPTIONS OF ANY E&SPC FACILITY DEFICIENCIES, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG SHALL BE KEPT ONSITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.

ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, E&SPC REPAIR OR REPLACEMENT, AND ANY STABILIZATION SATISFACTORILY, REPLACEMENT FACILITIES OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

WHERE E&SPC FACILITIES FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION THE INSPECTION LOG SHALL INCLUDE THE FOLLOWING INFORMATION:
1. THE LOCATION & SEVERITY OF E&SPC FACILITY FAILURE, AND ANY POLLUTION EVENTS RESULTING FROM THE FAILURE.
2. REMEDIAL STEPS TAKEN TO REDUCE, ELIMINATE, AND PREVENT THE RECURRENCE OF THE FACILITY FAILURE AND/OR POLLUTION EVENT.
3. A TIMEFRAME TO CORRECT THE FACILITY FAILURE AND/OR POLLUTION EVENT, INCLUDING THE APPROXIMATE FUTURE DATE WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

CONSTRUCTION WASTE AND PROPER WASTE DISPOSAL NOTES

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE , OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE PRODUCTS IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ, 271.1 ET SEQ, AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIALS OR WASTE PRODUCTS AT THE SITE.

THE DEVELOPMENT OF THE SITE WILL CREATE DEBRIS MATERIAL TO BE REMOVED FROM THE PROPERTY. IT WILL CONSIST OF THE EXISTING ASPHALT, CONCRETE, BRICKS, AND OTHER BUILDING MATERIAL FROM THE EXISTING STRUCTRUES TO BE DEMOLISHED. THE ASPHALT, BRICK, AND CONCRETE WILL BE TAKEN TO A RECYCLE CENTER AND THE OTHER DEBRIS WILL BE TAKEN TO THE APPROPRIATE LANDFILL SITE.

GEOLOGIC FORMATION NOTE

THERE ARE NO GEOLOGIC FORMATIONS OR SOILS CONDITIONS ON THE PROJECT SITE THAT HAVE THE POTENTIAL TO CAUSE POLLUTION DURING EARTH DISTURBANCE ACTIVITIES. EXPOSED SOIL WILL BE CONTAINED WITH SILT FENCE.

POTENTIAL THERMAL IMPACT NOTE

THIS IS A RESIDENTIAL DEVELOPMENT WITH MINIMUM PROPOSED IMPERVIOUS COVERAGE. PROPOSED IMPERVIOUS COVERAGE INCLUDES THE CUL-DE-SAC ROADWAY, DRIVEWAYS, AND HOMES. THE PROPOSED DESIGN PROVIDES FOR NATIVE LANDSCAPE COVERAGE SO MUCH OF THE POST DEVELOPMENT RUNOFF FROM IMPERVIOUS SURFACES WILL FLOW OVERLAND TO THE SUBSURFACE BASIN WHERE THE RUNOFF WILL BE DETAINED BELOW GROUND; THUS COOLING ANY HEATED RUNOFF PRIOR TO IT REACHING THE RECEIVING WATERS. BEFORE ENTERING THE DETENTION BASIN, A MAJORITY OF THE SITE'S RUNOFF WILL BE FILTERED THROUGH THE RAIN GARDENS LOCATED THROUGH THE SITE. ALTHOUGH THESE RAIN GARDENS WILL POND THE STORMWATER RUNOFF TO ALLOW FOR INFILTRATION, WHICH MAY ALLOW FOR THE WATER TO BE WARMED BY SUNLIGHT, DENSE VEGETATION WILL BE PLANTED IN THE RAIN GARDENS TO PROVIDE SHADE AND PROMOTE EVAPOTRANSPIRATION FOR THE LARGER STORMS. FURTHERMORE, THE DISCHARGE FROM THE BASIN WILL BE VIA THE EXISTING PUBLIC SEWER PIPING WHICH WILL KEEP IT BELOW GROUND BEFORE IT REACHES ITS RECEIVING WATERS.

CLIENT DATA

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213 West Main Street . Lansdale . PA 19446
Phone: 215-362-2600 . Fax: 215-362-8400
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Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-8200
Pocono Region 570-839-1770

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J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 055536
MARYLAND LICENSE No. 29313
NEW JERSEY LICENSE No. 24GE04520400
VIRGINIA LICENSE No. 0402 045725
FLORIDA LICENSE No. 75184
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

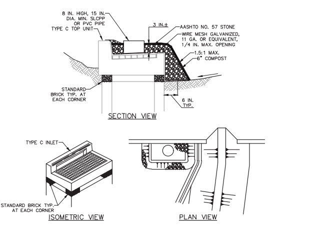
PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

EROSION & SEDIMENTATION CONTROL DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

REVISION 6



NOTES:

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLETS TRIBUTARY TO SEDIMENT BASINS OR SEDIMENT TRAPS. ALTERNATE TYPE C INLET PROTECTION CAN BE USED ON ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD.

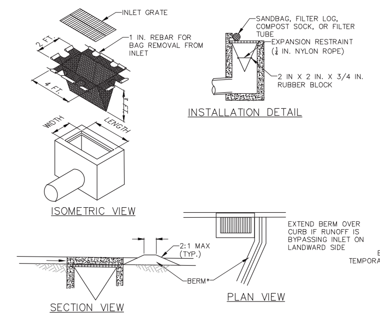
BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT LOW POINTS. EARTHEN BERMS SHALL BE STABILIZED WITH VEGETATION AND MAINTAINED UNTIL ROADWAY IS STONED OR TRIBUTARY AREA IS PERMANENTLY VEGETATED. ROAD SUBBASE BERMS SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.

FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

MAINTENANCE ITEM:

INLETS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.

STANDARD CONSTRUCTION DETAIL #4-22
ALTERNATE TYPE C INLET PROTECTION - NOT AT GRADE



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT WITHIN THE PUBLIC RIGHT-OF-WAY.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. BERMS SHALL NOT BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY.

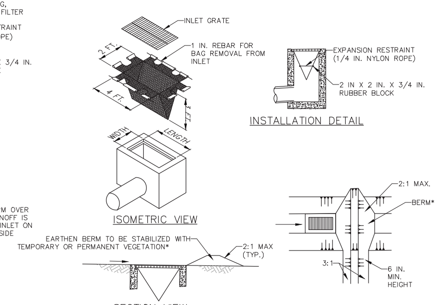
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

* BERMS SHALL NOT BE PLACED WITHIN THE PUBLIC RIGHT-OF-WAY.

STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION - TYPE C INLET



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT WITHIN THE PUBLIC RIGHT-OF-WAY.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY. BERMS SHALL NOT BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY.

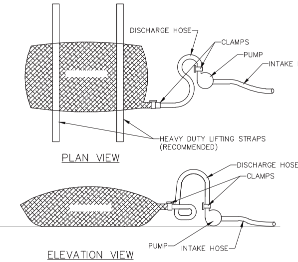
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

* BERMS SHALL NOT BE PLACED WITHIN THE PUBLIC RIGHT-OF-WAY.

STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

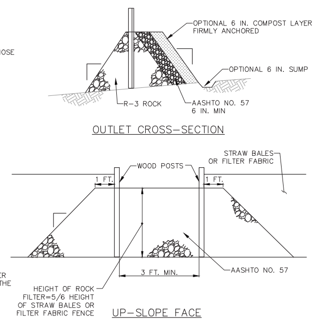
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

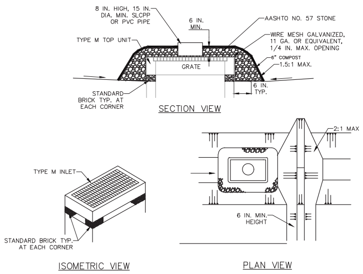
STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG



NOTES:

A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW.
ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

STANDARD CONSTRUCTION DETAIL #4-6
ROCK FILTER OUTLET



NOTES:

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLETS TRIBUTARY TO SEDIMENT BASINS OR SEDIMENT TRAPS. ALTERNATE TYPE C INLET PROTECTION CAN BE USED ON ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD.

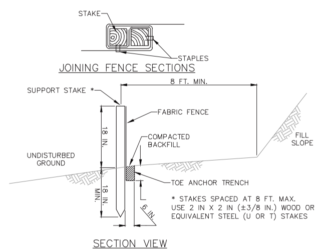
BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT LOW POINTS. EARTHEN BERMS SHALL BE STABILIZED WITH VEGETATION AND MAINTAINED UNTIL ROADWAY IS STONED OR TRIBUTARY AREA IS PERMANENTLY VEGETATED. ROAD SUBBASE BERMS SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.

FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

MAINTENANCE ITEM:

INLETS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.

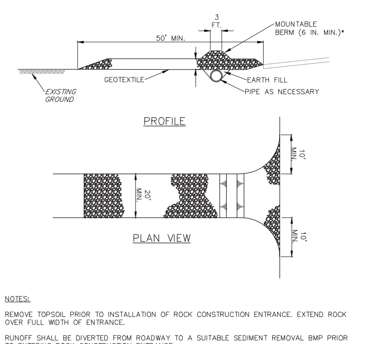
STANDARD CONSTRUCTION DETAIL #4-23
ALTERNATE TYPE M INLET PROTECTION - NOT AT GRADE



NOTES:

- FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.
- FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.
- SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-6).
- FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

STANDARD CONSTRUCTION DETAIL #4-7
STANDARD SILT FENCE (18" HIGH)



NOTES:

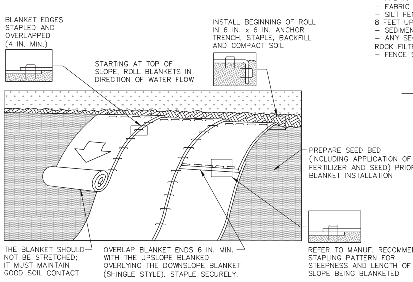
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

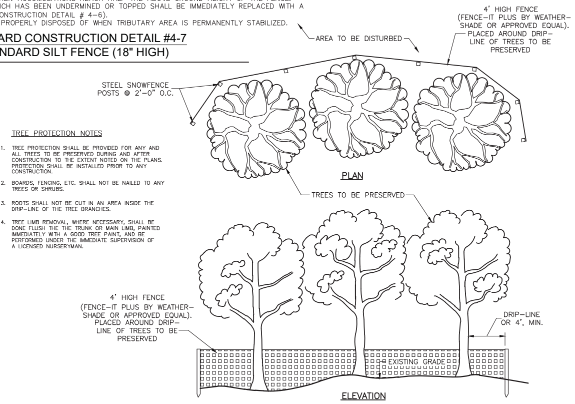
THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

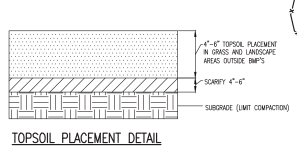
STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION

TREE PROTECTION NOTES

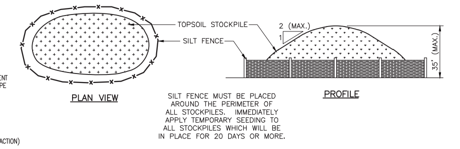
1. TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PRESERVED DURING AND AFTER CONSTRUCTION TO THE EXTENT NOTED ON THE PLANS. PROTECTION SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION.
2. BOARDS, FENCING, ETC. SHALL NOT BE NAILED TO ANY TREES OR SHRUBS.
3. ROOTS SHALL NOT BE CUT IN AN AREA INSIDE THE DRIP-LINE OF THE TREE BRANCHES.
4. TREE LIMB REMOVAL, WHERE NECESSARY, SHALL BE DONE FLUSH THE THE TRUNK OR MAIN LIMB, PAINTED IMMEDIATELY WITH A GOOD TREE PAINT, AND BE PERFORMED UNDER THE IMMEDIATE SUPERVISION OF A LICENSED NURSERYMAN.



TREE PROTECTION DETAIL
NOT TO SCALE



TOPSOIL PLACEMENT DETAIL



SILT FENCE MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES WHICH WILL BE IN PLACE FOR 20 DAYS OR MORE.

SOIL STOCKPILE AREA DETAIL
NOT TO SCALE

CLIENT DATA

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213 West Main Street . Lansdale . PA 19446
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WWW.CORNERSTONENET.COM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-8200
Pocono Region 570-839-1770

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PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 055536
MARYLAND LICENSE No. 29313
NEW JERSEY LICENSE No. 24GE04520400
VIRGINIA LICENSE No. 0402 045725
FLORIDA LICENSE No. 75184
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

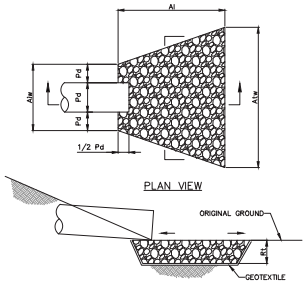
TITLE

EROSION & SEDIMENTATION CONTROL DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 9 OF 19

REVISION 6



PLAN VIEW

SECTION A–A

RIP RAP NO.	PIPE DIA Pd (IN)	RIPRAP SIZE R--	RIPRAP THICK. Rt (IN)	APRON LENGTH Al (FT)	APRON INITIAL WIDTH Alw (FT)	APRON TERMINAL WIDTH Alw (FT)
1	15	3	12	8	4	12
2	15	3	12	8	4	12

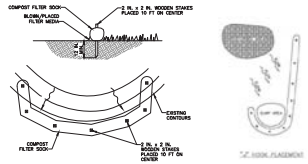
NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

STANDARD CONSTRUCTION DETAIL #9-2
RIPRAP APRON AT PIPE OUTLET
NO FLARED ENDWALL



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. MAIN DUTY OF THE BARRIER SHALL BE EVIDENCED BY LEAST A FOOT OF SLOPE. A 45 DEGREES TO THE MAIN BARRIER ALIGNMENT, MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

MAINTENANCE DETAIL

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF THE INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. NON-BIODEGRADABLE COMPOST FILTER SOCKS OF POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	8 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		29 psi	26 psi	44 psi	292 psi
Ultraviolet Stability % Original Strength (ASTM G-152)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	6 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting				HDPE tractor net Continuously wrapped Fusion-welded junctions 3/4" X 3/4" Max. aperture size	
Outer Filtration Mesh				Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperture size	

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

Fibers & Mill

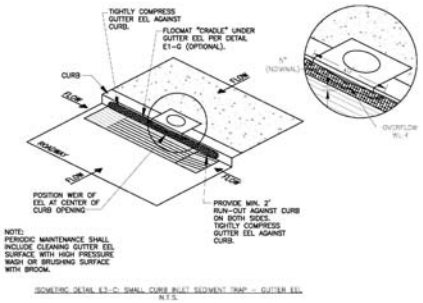
Compost should be a well decomposed, weed-free organic matter derived from agriculture, food, stump grindings, and yard or woodchuck organic matter sources. The compost should be aerobically composted. The compost should possess no objectionable odors and should be reasonable free (<1% by dry weight) of man-made foreign matter. The compost product should not resemble the raw material from which it was derived. Wood and bark chips, ground construction debris or reprocessed wood products are not acceptable as the organic component of the mix.

The physical parameters of the compost should comply with the standards in Table 4.2. The standards contained in the PennDOT Publication 408 are an acceptable alternative.

TABLE 4.2
Compost Standards

Organic Matter Content	40% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

Fibers



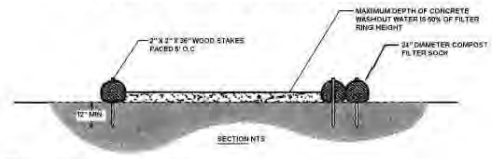
NOTE:
PERIODIC MAINTENANCE SHALL INCLUDE CLEANING GUTTER EEL SURFACE WITH HIGH PRESSURE WASH OR BRUSHING SURFACE WITH BROOM.

ISOMETRIC DETAIL E3-C: SMALL CURB INLET SEDIMENT TRAP - GUTTER EEL
NTS

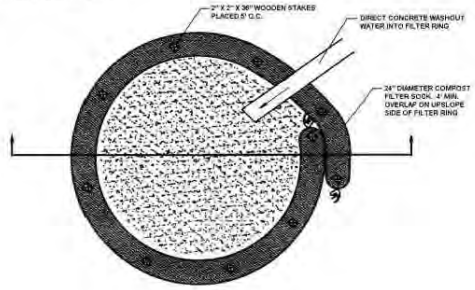
1. Install the GutterEEL™ in front of the curb inlet opening. Each end of the GutterEEL™ should overlap the curb inlet approximately 12".
2. Overflow weir should be centered on curb inlet. If more than 1 unit is required, units should be placed with each end flush against each other.
3. The GutterEEL™ should be cleaned if a visual inspection shows silt and debris build up in front of the unit.
4. The GutterEEL™ is reusable. Once the construction project is complete and it is no longer needed for sediment control, remove, clean and store out of the sunlight.
5. Ponding is possible if sediment is not removed regularly. Inspection of GutterEEL™ should be on a regular basis and immediately after major storm events.

ACF ENVIRONMENTAL GUTTER EEL
(FOR USE IN EX. INLETS WITHIN THE RIGHT-OF-WAY)

FIGURE 3.18
Typical Compost Sock Washout Installation



NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.



PLAN NTS

1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
2. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
3. ACCUMULATED MATERIALS HSOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
4. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

NOTES:
1. CONCRETE TRUCKS SHALL BE EQUIPPED WITH AT LEAST 50 GALLONS OF WATER TO CLEAN THE TRUCK AND HOPPER, PLUS AT LEAST 7 GALLONS OF WATER TO CLEAN CONCRETE CHUTE.

MAINTENANCE:
1. ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
3. ANY PLASTIC LINERS USED SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

CONCRETE WASHOUT DETAIL

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0400 Fax: 215-362-0403
WWW.CORNERSTONEEA.COM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6200
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	LAC	REVISED FOR NPDES SUBMISSION	11/02/2016
2	LAC	REVISED PER TOWNSHIP COMMENTS (JAN 2017)	1/17/2017
3	LAC	REVISED PER PWP & MCCD REVIEWS (FEB 2017)	4/11/2017
4	LAC	REVISED PER MCCD'S REVIEW (DATED 8/31/2017)	10/06/2017
5	LAC	REVISED PER E&S COMMENTS (DATED 12/1/2017)	12/5/2017
6	LAC	REVISED FOR RECORDING	2/20/2018

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 3698

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J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 052336
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
VIRGINIA LICENSE No. 0402 052001
FLORIDA LICENSE No. 75446
NEW YORK LICENSE No. 085667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

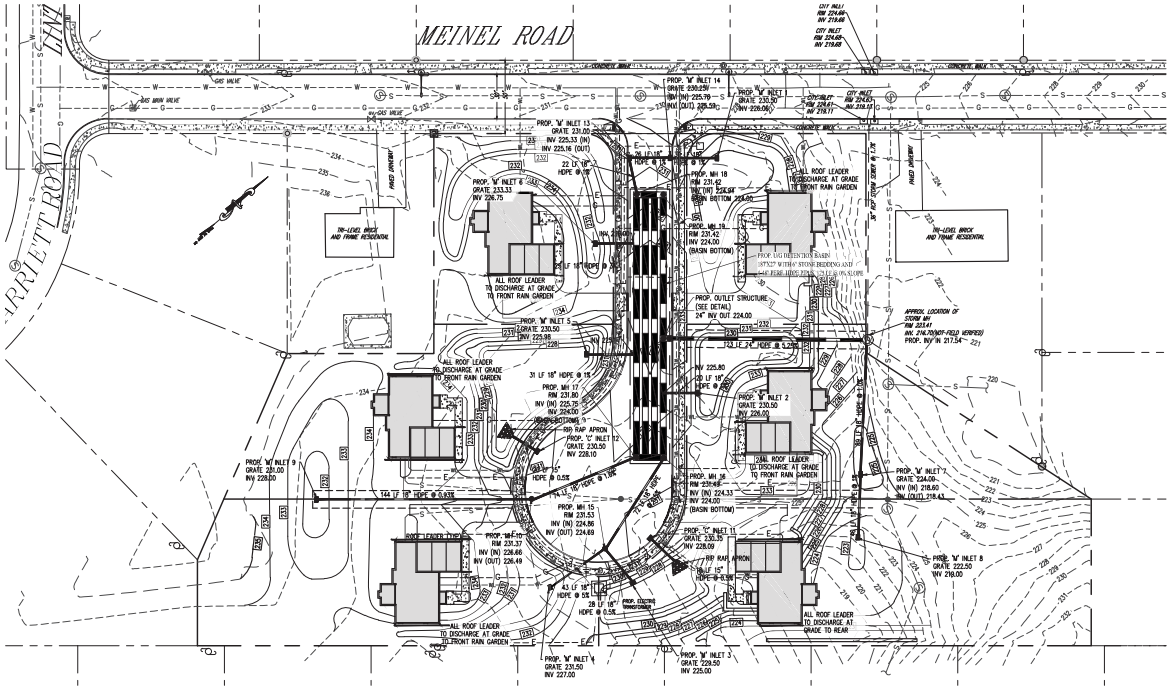
TITLE

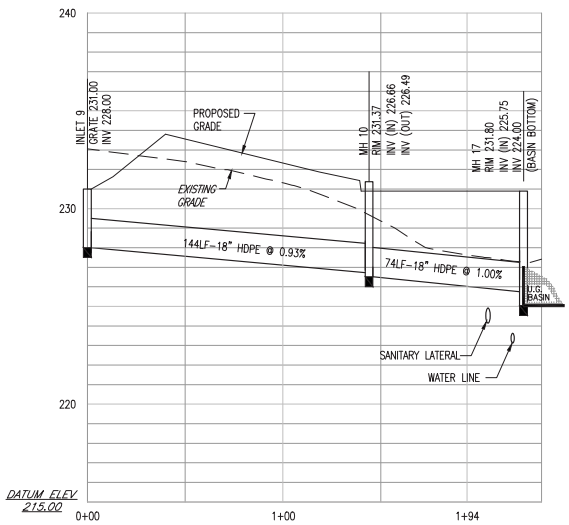
EROSION & SEDIMENTATION CONTROL DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 10 OF 19

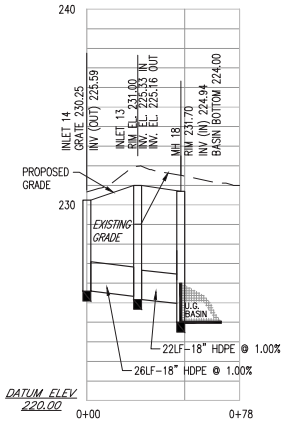
REVISION 6





INLET 9 TO MH 17

HORIZ. SCALE: 1"=30'
VERT. SCALE: 1"=3'



INL 14 TO MH 18

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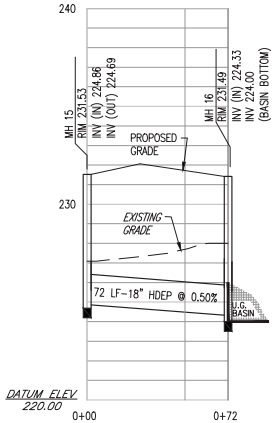

MH 15 TO MH 16

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VERT. SCALE: 1"=3'

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0600 Fax: 215-362-0601
WWW.CORNERSTONEEA.COM
Pocono Region
570-839-1770
Lehigh Valley Region
610-820-6500
Philadelphia Region
215-362-2600

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	RE-VISED FOR NEWSLS SUBMISSION	11/02/2016
2	J.A.C.	RE-VISED FOR TOWNSHIP REVIEW (JAN. 2017)	4/17/2017
3	J.A.C.	RE-VISED PER PWP & MCCD REVISIONS (FEB. 2017)	4/11/2017
4	J.A.C.	RE-VISED PER MCCD'S RE-VIEW (DATED 3/31/2017)	10/06/2017
5	J.A.C.	RE-VISED PER E&A'S COMMENTS (DATED 12/1/2017)	12/5/2017
6	J.A.C.	RE-VISED FOR RECORDING	2/23/2018

PENNSYLVANIA
ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122-1098

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J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE-15438
PENNSYLVANIA LICENSE No. PE-052336
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
WASHINGTON LICENSE No. 22004
FLORIDA LICENSE No. 75446
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

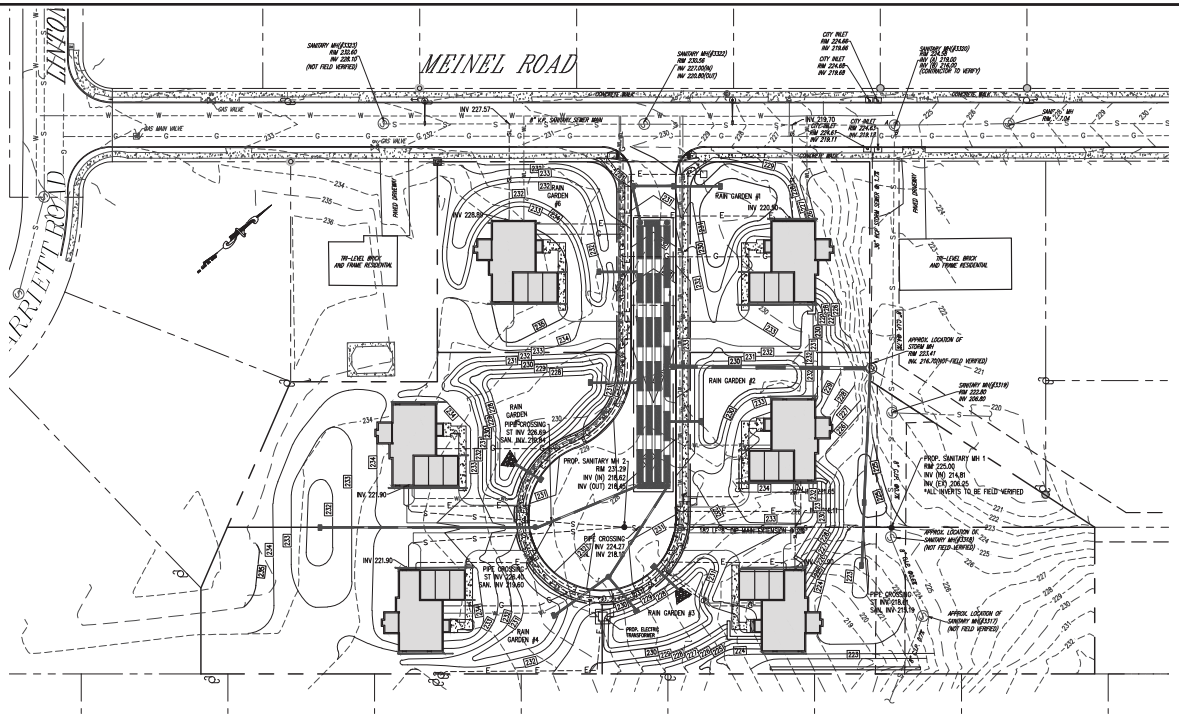
TITLE

DRAINAGE PROFILES

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 11 OF 19

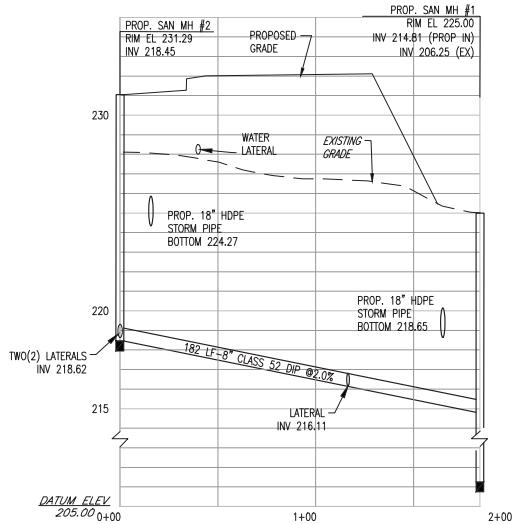
REVISION 6



GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.



SANITARY MH2 TO SANITARY MH1

HORIZ. SCALE: 1"=30'

VERT. SCALE: 1"=3'

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0840 Fax: 215-362-0840
WWW.CORNERSTONEEA.COM

Pocono Region 570-839-1770

Lehigh Valley Region 610-820-6500

Philadelphia Region 215-362-2600

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	REVISED FOR NEWSLS SUBMISSION	1/25/2016
2	J.A.C.	REVISED FOR TOWNSHIP REVIEW (JAN. 2017)	4/11/2017
3	J.A.C.	REVISED PER PWP & MCCD REVISIONS (FEB. 2017)	4/11/2017
4	J.A.C.	REVISED PER MCCD'S REVIEW (DATED 8/31/2017)	10/16/2017
5	J.A.C.	REVISED PER PA & A'S COMMENTS (DATED 12/1/2017)	12/5/2017
6	J.A.C.	REVISED FOR RECORDING	2/23/2018

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ONE CALL SYSTEM, INC.

925 Irwin Run Road
West Mifflin, Pennsylvania
15122 - 1059

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J.B. ANDERSON

PROFESSIONAL ENGINEER
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PENNSYLVANIA LICENSE No. PE 052336
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
VIRGINIA LICENSE No. 0402 052336
FLORIDA LICENSE No. 75446
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

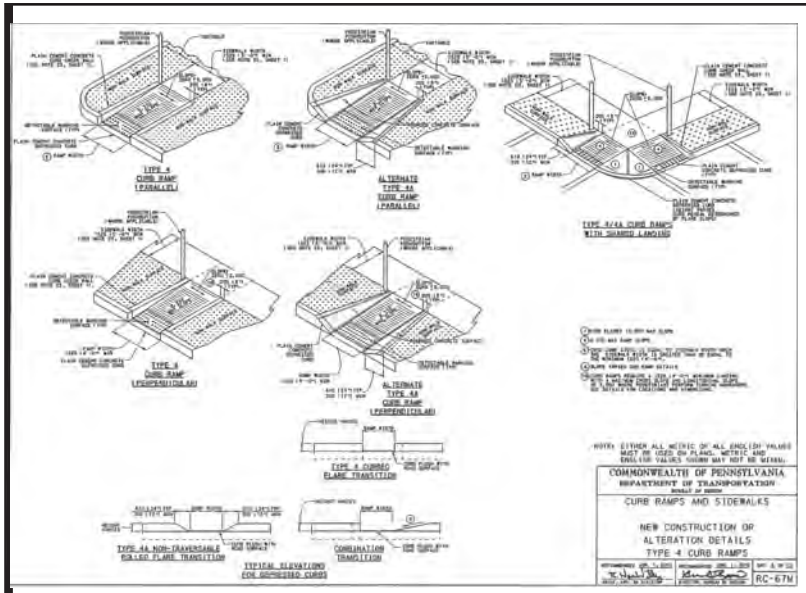
TITLE

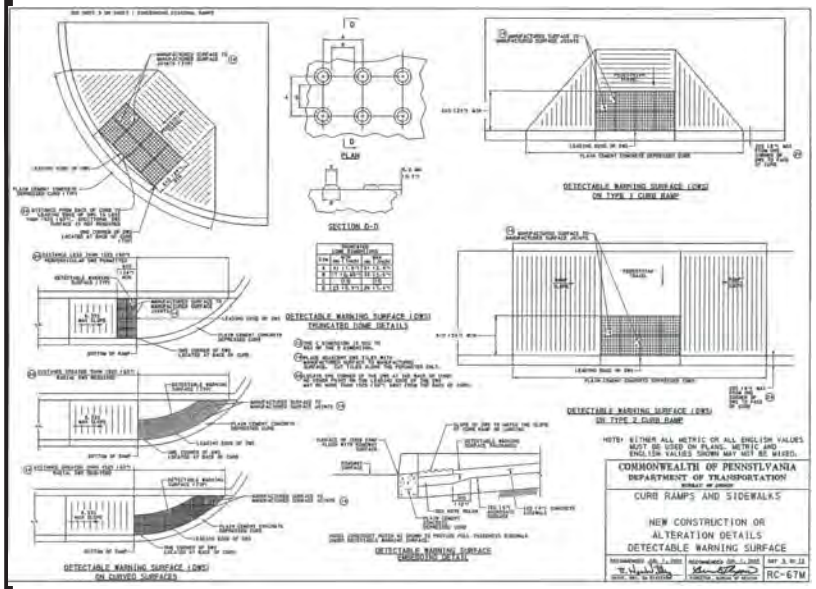
SANITARY SEWER PROFILE

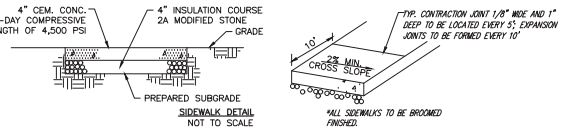
PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 12 OF 19

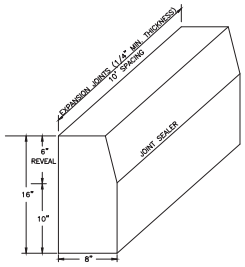
REVISION 6



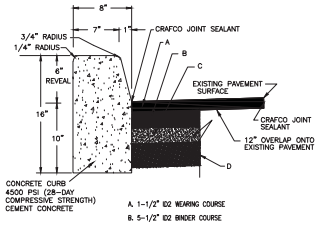




SIDEWALK DETAIL
NOT TO SCALE

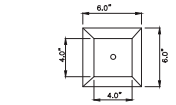


TYPICAL CONCRETE CURB DETAIL
NOT TO SCALE

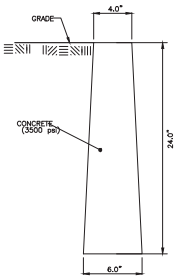


A. 1-1/2" ID2 WEARING COURSE
B. 5-1/2" ID2 BINDER COURSE
C. 6" PADOT #2A
D. EXISTING COMPACTED SUBGRADE

TYPICAL PAVEMENT DETAIL
NOT TO SCALE

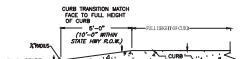


PLAN

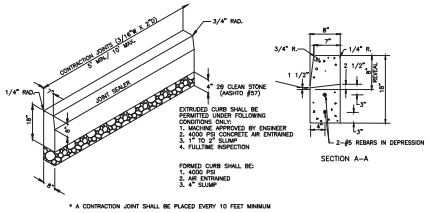


ELEVATION

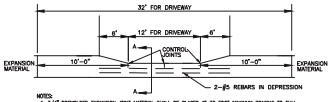
CONCRETE MONUMENT (TYP.)



CURB TAPER DETAIL
NOT TO SCALE

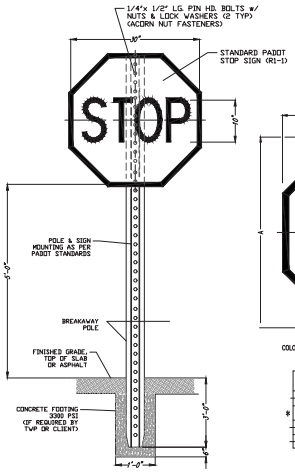


* A CONTRACTION JOINT SHALL BE PLACED EVERY 10 FEET MINIMUM

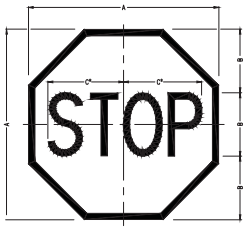


NOTES:
1. 3/4" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT 30 FOOT MAXIMUM SPACING TO FULL DEPTH OF CURB. (40 FOOT MAXIMUM FOR EXTRUDED CURB)
2. CURB SHALL BE DOWEL PINNED INTO INLETS. 2-#5X1'-0" DOWEL BARS ON BOTH SIDES OF INLET.
3. 4" #8 CLEAN STONE UNDER CURB.
4. WEATHER PROTECTION AND CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH PENNDOT SPECS. PUB. 408, CURRENT EDITION.
5. CURING COMPOUND AASHTO-M148, TYPE 1-D TO BE USED IN ACCORDANCE WITH PENNDOT PUB. 408 SECTION 711.2, CURRENT EDITION.

CONCRETE CURB DETAIL



POLE MOUNTED STANDARD PADOT STOP SIGN DETAIL

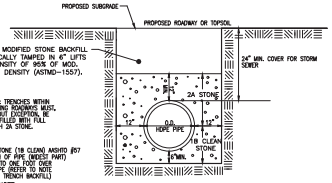


COLOR: LEGEND AND BORDER — WHITE (REFLECTORIZED)
BACKGROUND — RED (REFLECTORIZED)

SIGN SIZE	DIMENSIONS A	B	C	SERIES	BORDER	BLANK STUD
24 x 24	24	8	10	C	5/8	B1-24
30 x 30	30	10	12½	C	3/4	B1-30
36 x 36	36	12	15	C	7/8	B1-36
48 x 48	48	16	20	C	1¼	B1-48

* REDUCE SPACING BY 40%

"STOP" (R1-1) SIGN DETAIL
NOT TO SCALE



NOTE: TRENCHES WITHIN EXISTING ROADWAYS MUST, WITHOUT EXCEPTION, BE BACKFILLED WITH FULL DEPTH 2A STONE.

BEDDING STONE (#8 CLEAN) AASHTO #57 TO HAUNCH OF PIPE (MIDDLE PART) 2A STONE TO ONE FOOT OVER TOP OF PIPE (REFER TO NOTE ABOVE FOR TRENCH BACKFILL)

NOTE:
ALL UTILITY TRENCHES WITHIN EXISTING ROADWAYS, PROPOSED ROADWAYS, ALL RIGHT OF WAYS, EASEMENTS, PROPOSED DRIVEWAYS, APRONS AND SIDEWALKS MUST, WITHOUT EXCEPTION, BE BACKFILLED WITH FULL DEPTH 2A STONE AFTER TOP SCREENING.
ALL UTILITY TRENCHES MUST BE COMPACTED (MECHANICALLY TAMPED) IN 6" LIFTS.

TYPICAL HDPE PIPE TRENCH DETAIL

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0800 Fax: 215-362-0840
WWW.CORNERSTONEEC.COM
Pocono Region 570-839-1770
Lehigh Valley Region 610-820-6500
Philadelphia Region 215-362-2600

REVISIONS

NO	BY	DESCRIPTION	DATE
1	JAC	REVISED FOR NPDES SUBMISSION	1/25/2016
2	JAC	REVISED PER PWP & MCCD REVIEW (JAN 2017)	4/11/2017
3	JAC	REVISED PER PWP & MCCD REVIEW (FEB 2017)	4/11/2017
4	JAC	REVISED PER MCCD'S REVIEW (DATED 8/31/2017)	10/16/2017
5	JAC	REVISED PER E&S COMMENTS (DATED 12/1/2017)	12/5/2017
6	JAC	REVISED FOR RECORDING	2/23/2018

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122-1098

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE BEFORE EXCAVATION, TRENCHING, DRILLING, BLAST OR DEMOLISH

J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 11,638
PENNSYLVANIA LICENSE No. PE 072,136
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
OHIO LICENSE No. 75,000 - 1 - 1 - 1
FLORIDA LICENSE No. 72,000
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

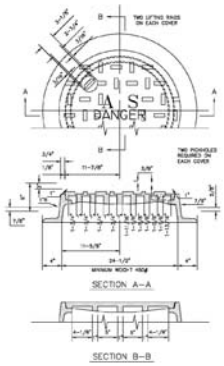
SITE DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 13 OF 19

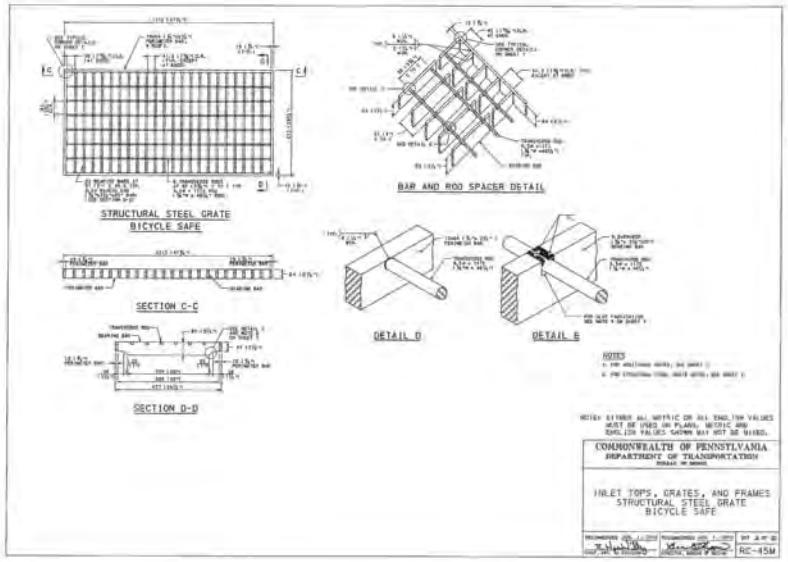
REVISION 6

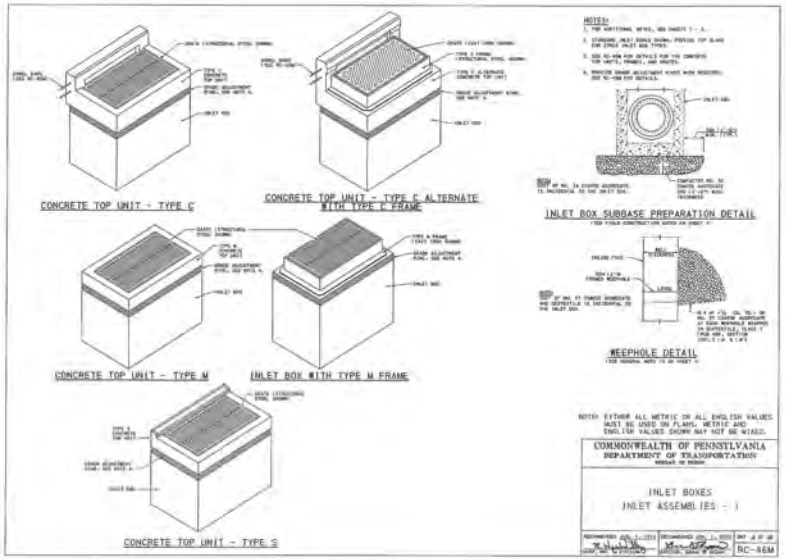
ABINGTON TOWNSHIP STANDARD

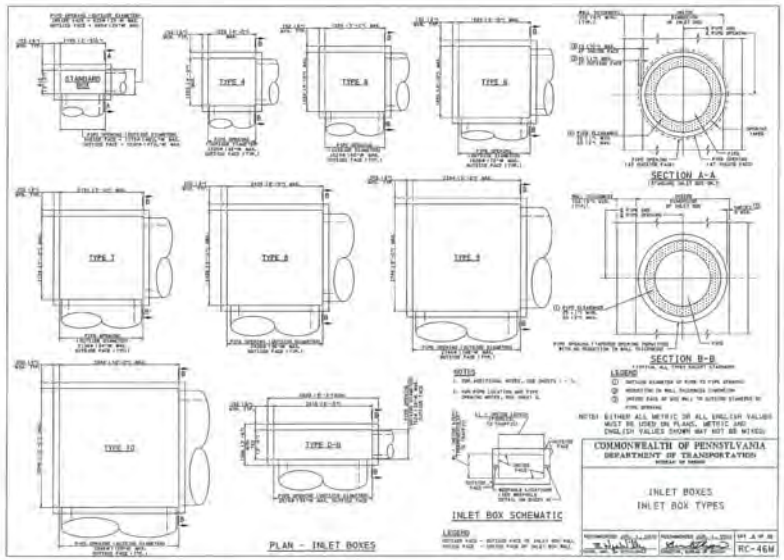


CAST IRON MACHINE FRAME & COVER
NOT TO SCALE

*FOR ADDITIONAL DETAILS AND NOTES REFER TO PENNDOT PUB. 72M, DETAILS RC-45M AND RC-46M SERIES, LATEST EDITION.







CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0600 Fax: 215-362-0601
WWW.CORNERSTONEEA.COM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6200
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.K.	REVISED FOR NPDES SUBMISSION	11/02/2016
2	J.K.	REVISED PER PWP & MCCD REVIEW (JAN 2017)	1/19/17
3	J.K.	REVISED PER PWP & MCCD REVISIONS (FEB 2017)	4/11/2017
4	J.K.	REVISED PER MCCD'S REVIEW (DATED 9/13/2017)	10/06/2017
5	J.K.	REVISED PER E&S COMMENTS (DATED 12/1/2017)	12/5/2017
6	J.K.	REVISED FOR RECORDING	2/23/2018

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122-1098

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NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE BEFORE COMMENCING ANY EXCAVATE, DRILL, BLAST OR DEMOLISH

J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 0.1638
PENNSYLVANIA LICENSE No. PE 052.5.K
MARYLAND LICENSE No. 25513
NEW JERSEY LICENSE No. 24GE02026400
CONNECTICUT LICENSE No. 28.0.1.5
FLORIDA LICENSE No. 72.0.6
NEW YORK LICENSE No. 0.0.6.5.1.

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

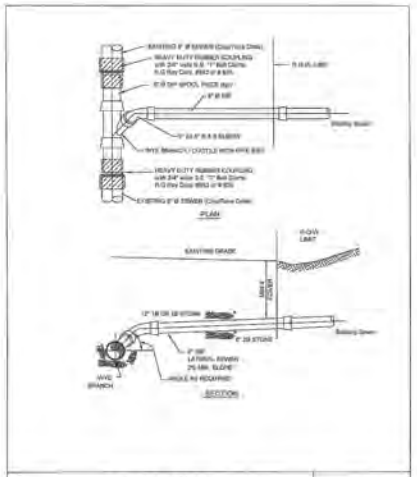
TITLE

SITE DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 14 OF 19

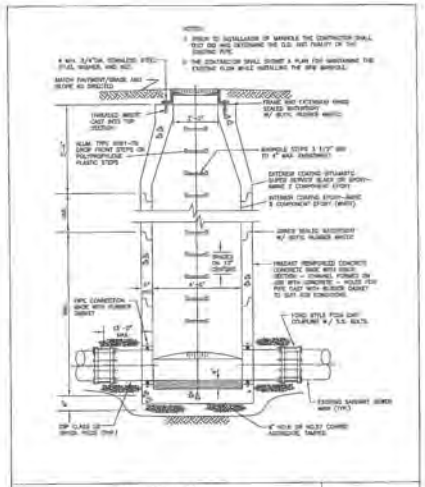
REVISION 6



Township of Abington
STANDARD DETAIL - SANITARY SEWER

LATERAL CONNECTION TO EXISTING CLAY OR TERRA COTTA SEWER MAIN

DATE: OCTOBER 2016
DETAIL: 15

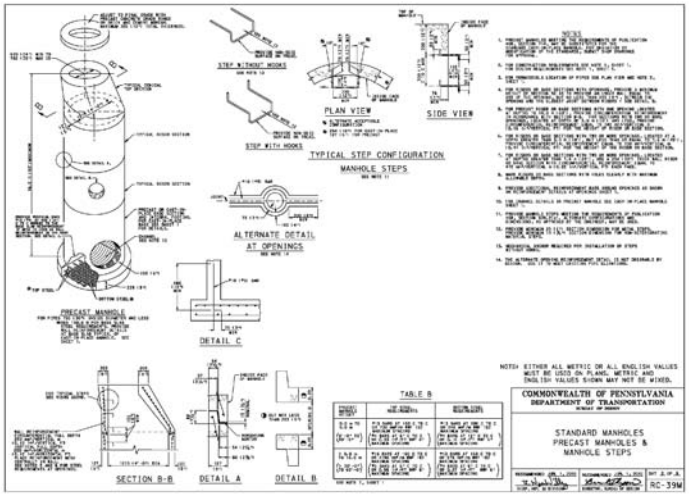


Township of Abington
STANDARD DETAIL - SANITARY SEWER SYSTEM

INSERTION OF A PRECAST CONCRETE MANHOLE INTO AN EXISTING SEWER MAIN

DATE: SEPT 2016
DETAIL: 29

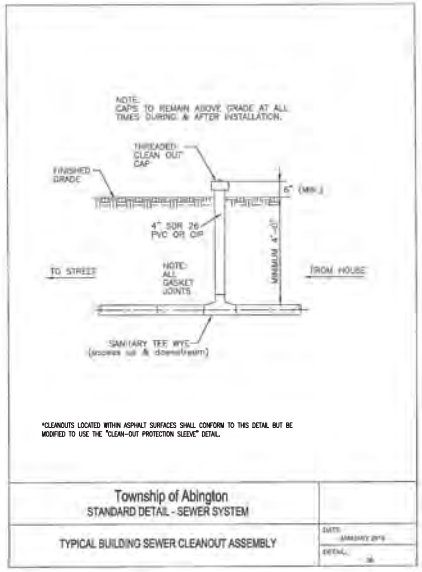
*FOR ADDITIONAL DETAILS AND NOTES REFER TO PENNDOT PUB. 72M, DETAILS RC-39M SERIES, LATEST EDITION.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION

STANDARD MANHOLES
PRECAST MANHOLES & MANHOLE STEPS

RC-39M

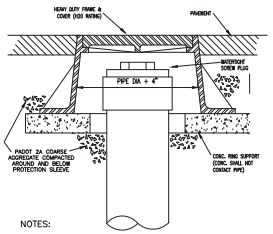


Township of Abington
STANDARD DETAIL - SEWER SYSTEM

TYPICAL BUILDING SEWER CLEANOUT ASSEMBLY

DATE: JANUARY 2016
DETAIL: 36

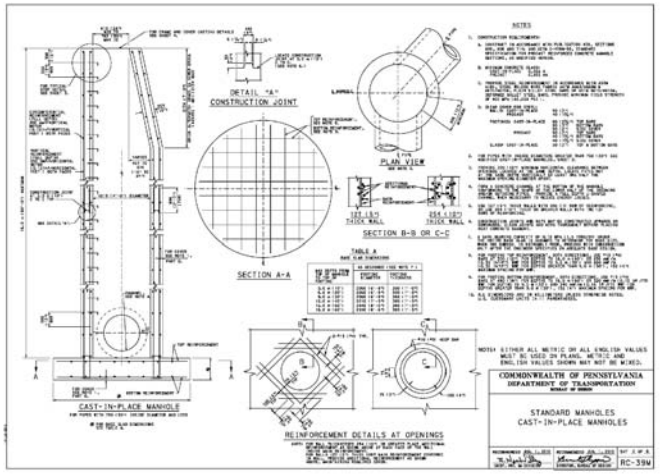
*CLEANOUTS LOCATED WITHIN ASPHALT SURFACES SHALL CONFORM TO THIS DETAIL BUT BE MODIFIED TO USE THE "CLEAN-OUT PROTECTION SLEEVE" DETAIL.



NOTES:

FRAME AND COVER SHALL BE NEENAH FOUNDRY COMPANY MODEL R-1976 OR APPROVED EQUAL.
CLEAN-OUT PROTECTION SLEEVES ARE TO BE INSTALLED FOR CLEAN-OUTS LOCATED IN PAVED AREAS, OR LESS THAN 2 FEET FROM A PAVED AREA.

CLEAN-OUT PROTECTION SLEEVE
(FOR USE IN OR NEAR PAVED AREAS)
N.T.S.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION

STANDARD MANHOLES
CAST-IN-PLACE MANHOLES

RC-39M

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-5050 Fax: 215-362-0460
WWW.CORNERSTONEES.ECOM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6200
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.K.	REVISED FOR MINOR SUBMISSION	11/02/2016
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West Mifflin, Pennsylvania
15122-1098

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J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE-11430
PENNSYLVANIA LICENSE No. PE-052136
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
COLORADO LICENSE No. 37.0.0.0
FLORIDA LICENSE No. 75300
NEW YORK LICENSE No. 093671-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

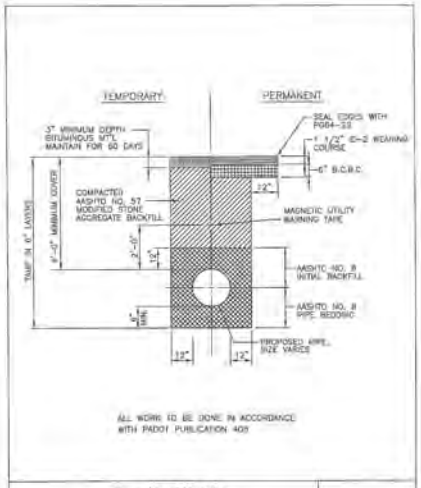
TITLE

SITE DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

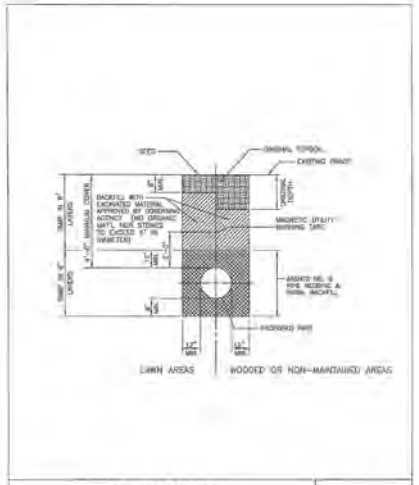
SHEET 15 OF 19

REVISION 6



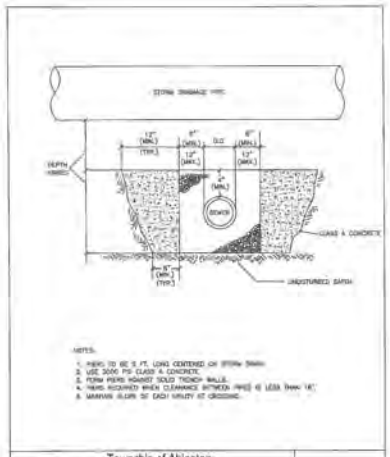
Township of Abington
STANDARD DETAIL - SANITARY SEWER

BACKFILL AND PAVEMENT RESTORATION DETAIL FOR STATE / TWP. ROADS



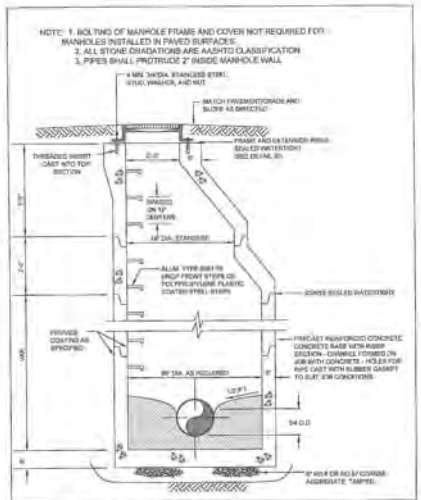
Township of Abington
STANDARD DETAIL - SEWER SYSTEM

TRENCH RESTORATION LAWN / WOODED AREAS



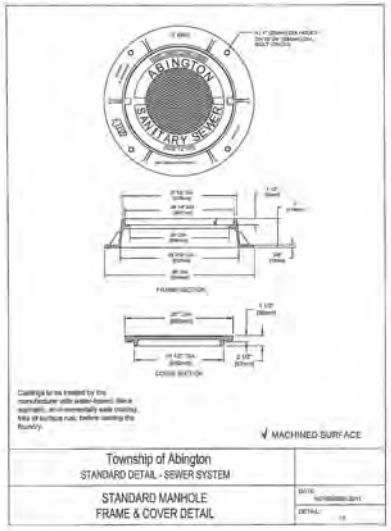
Township of Abington
STANDARD DETAIL - SEWER SYSTEM

GRAVITY SEWER CROSSING DETAIL USING PIER SUPPORTS



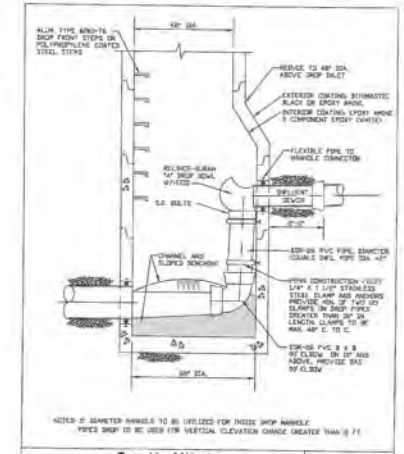
Township of Abington
STANDARD DETAIL - SANITARY SEWER

PRECAST CONCRETE MANHOLE W./ PRECAST CONCRETE BASE



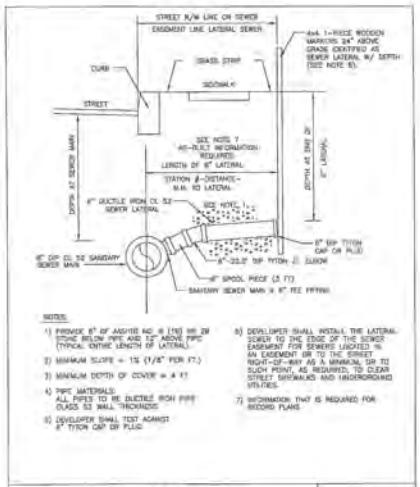
Township of Abington
STANDARD DETAIL - SANITARY SEWER

STANDARD MANHOLE FRAME & COVER DETAIL



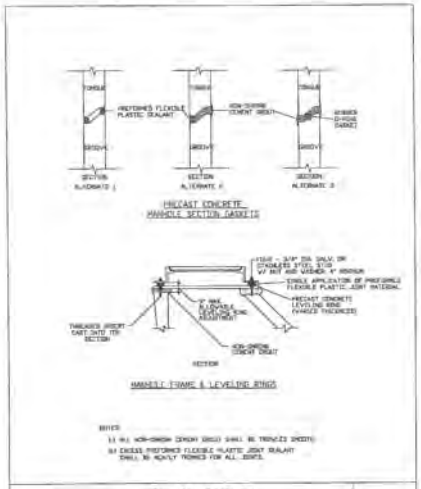
Township of Abington
STANDARD DETAIL - SEWER SYSTEM

PRECAST SANITARY MANHOLE INSIDE DROP CONNECTION (8" - 24" SEWERS)



Township of Abington
STANDARD DETAIL - SEWER SYSTEM

SEWER LATERAL INSTALLATION DETAIL



Township of Abington
STANDARD DETAIL - SANITARY SEWER

MANHOLE GASKETS, LEVELING RINGS, AND BOLTED FRAME DETAIL

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0400 Fax: 215-362-0403
WWW.CORNERSTONES.ET.COM

Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6200
Pocono Region 570-839-1770

REVISIONS

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5	J.K.	REVISED PER DA'S COMMENTS (DATED 12/1/2017)	12/5/2017
6	J.K.	REVISED FOR RECORDING	2/20/2018

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Swede Run Road
West Mifflin, Pennsylvania
15122-1898

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NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UNDERGROUND UTILITIES BEFORE EXCAVATE, DRILL, BLAST OR DEMOLISH

J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 11430
PENNSYLVANIA LICENSE No. PE 072126
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
VIRGINIA LICENSE No. 0402 046880
FLORIDA LICENSE No. 72486
NEW YORK LICENSE No. 093671-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

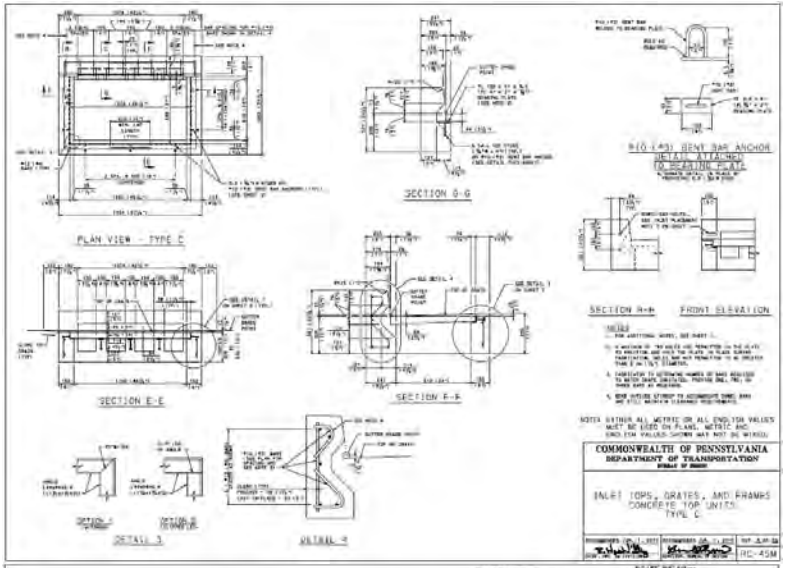
SITE DETAILS

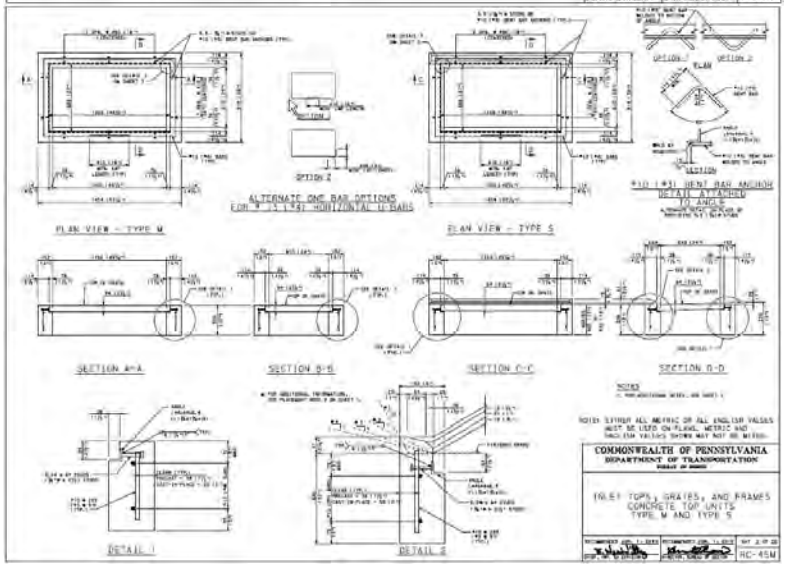
PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

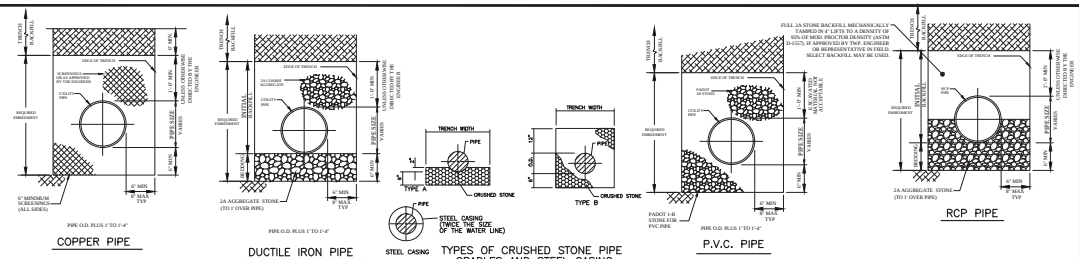
SHEET 16 OF 19

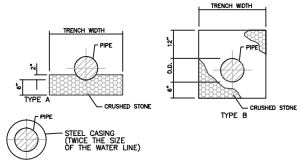
REVISION 6

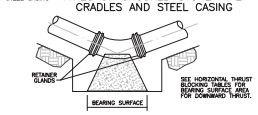
*FOR ADDITIONAL DETAILS AND NOTES REFER TO PENNDOT PUB. 72M, DETAILS RC-45M AND RC-46M SERIES, LATEST EDITION.







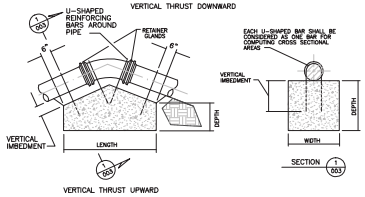




PIPE SIZE	6" AND 8"			10" AND 12"			14" AND 16"		
DEGREE BEND OR DEFLECTION	11 1/4°	22 1/2°	45°	11 1/4°	22 1/2°	45°	11 1/4°	22 1/2°	45°
LENGTH	3.00	4.00	6.00	4.50	6.00	8.00	6.00	8.00	11.00
WIDTH	3.00	3.00	3.00	3.00	3.00	4.00	3.50	3.50	5.00
DEPTH	2.00	3.00	4.00	3.00	4.50	5.00	3.50	5.00	5.00
SQ. IN. REINFORCING	0.17	0.33	0.65	0.37	0.74	1.46	0.66	1.32	2.60

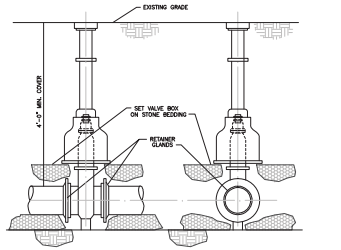
BAR NO.	5	6	7	8	9	10	11
CROSS-SECTION IN2 PER BAR	0.31	0.44	0.60	0.79	1.00	1.27	1.56
VERTICAL IMBEDMENT	15"	19"	26"	35"	44"	56"	68"

VERTICAL THRUST BLOCKING – UPWARD THRUSTS SCHEDULE OF DIMENSIONS 150 P.S.I. WORKING PRESSURE



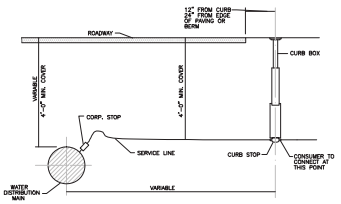
NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT THE END OF 28 DAYS.
2. PAINT ALL EXPOSED STEEL WITH TWO COATS OF ASPHALT PAINT.
3. NO COUPLING OR JOINTS SHALL BE CONVERED WITH CONCRETE.
4. ALL-THREADED WITH PIPE STRAPS MAY BE USED IN PLACE OF REINFORCING BARS.
5. ALL THRUST BLOCKS SHOWN ARE INTENDED AS A GUIDE AND SHALL WITHSTAND THE REQUIRED PRESSURE.
6. RETAINER GLANDS REQUIRED ON ALL MECHANICAL JOINT FITTINGS.
7. CERTAIN SITUATIONS MAY WARRANT THE USE OF THE RODS, AUTHORIZED BY THE WATER COMPANY ONLY.

VERTICAL THRUST BLOCKING



NOTES:
1. RETAINER GLANDS REQUIRED ON ALL MECHANICAL JOINT FITTINGS.
2. VALVE BOX SHALL BE 2 PIECE SCREW TYPE.

GATE VALVE INSTALLATION



NOTES:
1. FOR A STANDARD 3/4" CONNECTION TO AC MAINS, USE A DOUBLE-STRAPPED SADDLE.
2. CURB BOX SHALL BE SET PLUMB "A".
3. COMPRESSION FITTINGS SHALL BE USED ON COPPER SERVICE.
4. COPPER SERVICE SHALL BE LAID LOOSELY HORIZONTALLY TO PREVENT DAMAGE UPON SETTING OF TRENCH.

WATER LINE SERVICE CONNECTION

WATER GENERAL NOTES:

1. ALL WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AQUA PA WATER FACILITIES LINE EXTENSION AGREEMENT SPECIFICATIONS.
2. LOCATION OF EXISTING WATER FACILITIES SHOWN ARE APPROXIMATE. ANY UTILITIES NOT SHOWN, OR NOT LOCATED AS SHOWN, SHALL NOT BE THE CAUSE OF THE CONTRACTOR TO DENY RESPONSIBILITY FOR PROTECTION AND OR REPAIR DURING CONSTRUCTION. EXACT LOCATION SHALL BE VERIFIED IN THE FIELD.
3. ALL WATER MAINS REQUIRE A MINIMUM OF FOUR (4) FEET COVER UNLESS OTHERWISE APPROVED BY PAWC.
4. WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF TEN (10) FEET HORIZONTAL SEPARATION.
5. WATER AND STORM SEWER LINES SHALL HAVE A MINIMUM OF FOUR (4) FEET HORIZONTAL SEPARATION.
6. SANITARY AND STORM SEWER LINES SHALL HAVE A MINIMUM OF EIGHTEEN (18) INCH VERTICAL SEPARATION FROM THE WATER LINE UNLESS OTHERWISE APPROVED BY PAWC.
7. HYDRANT LOCATION IS SUBJECT TO THE APPROVAL OF THE FIRE OFFICIALS CLAIMING JURISDICTION OVER THE PROJECT LOCATION.
8. ONLY AQUA PA PERSONNEL SHALL OPERATE MAIN LINE VALVES FOR THE CONTRACTOR.
9. EASEMENTS, IN A FORM SATISFACTORY TO AQUA PA SHALL BE REQUIRED FOR ALL WATER FACILITIES LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY.
10. ALL FIRE HYDRANTS SHALL INCLUDE A 6" GATE VALVE ON THE HYDRANT LATERAL.
11. THE USE OF FITTINGS SHALL BE MINIMIZED, AND MUST BE APPROVED BY AQUA PA. INSTEAD, CONTRACTOR SHALL DEFLECT PIPE SEGMENTS AS NECESSARY.
12. METER BOXES SHALL BE INSTALLED IN AN AREA BEHIND THE CURB (IF APPLICABLE) FOR DWELLINGS THAT ARE GREATER THAN 100 FEET FROM THE CURB. METER BOX LOCATIONS ARE SUBJECT TO FINAL APPROVAL BY AQUA PA. METER BOXES MUST MEET THE SPECIFICATIONS OF AQUA PA.
13. DEVELOPER SHALL OBTAIN ALL NECESSARY ROAD OPENING PERMITS REQUIRED FOR THE INSTALLATION OF THE WATER FACILITIES, AND SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL APPLICATION FEES AND INSPECTION COSTS ASSOCIATED WITH THESE PERMITS.

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: (215) 362-5690 Fax: (215) 362-5691
WWW.CORNERSTONEEA.COM
Poconos Region 570-839-1770
Lehigh Valley Region 610-820-6200
Philadelphia Region 215-362-5690

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	REVISED FOR MINOR SUBDIVISION	11/02/2016
2	J.A.C.	REVISED PER PWP & MCCD REVISIONS (JAN 2017)	3/17/2017
3	J.A.C.	REVISED PER PWP & MCCD REVISIONS (FEB 2017)	4/11/2017
4	J.A.C.	REVISED PER MCCD'S REVIEW (DATED 9/13/2017)	10/16/2017
5	J.A.C.	REVISED PER PA & CS COMMENTS (DATED 12/1/2017)	12/5/2017
6	J.A.C.	REVISED FOR RECORDING	2/23/2018

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Irwin Run Road
West Mifflin, Pennsylvania
15122-1059

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J.B. ANDERSON
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DELAWARE LICENSE No. PE 15438
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MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
WASHINGTON LICENSE No. 52000
FLORIDA LICENSE No. 75588
NEW YORK LICENSE No. 085667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

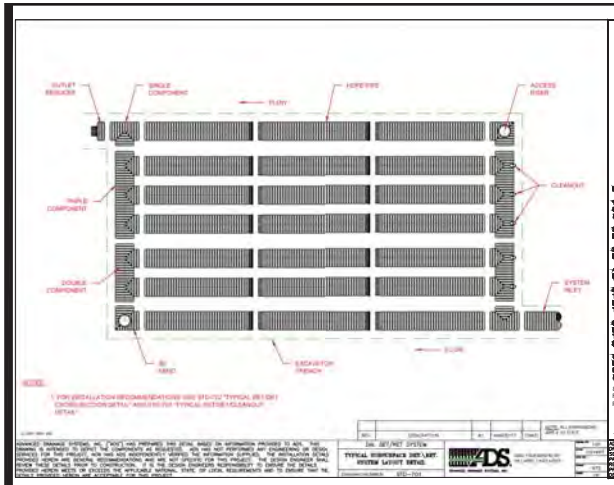
TITLE

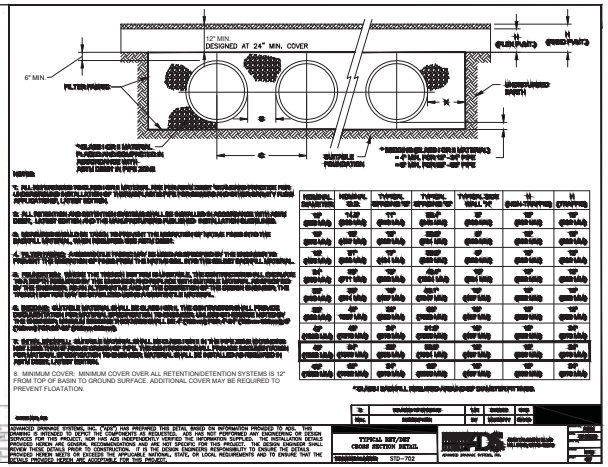
UTILITY DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 17 OF 19

REVISION 6





RAIN GARDEN AREA CONSTRUCTION SEQUENCE

THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCE; HOWEVER, ALTERATIONS MIGHT BE NECESSARY DEPENDING ON DESIGN VARIATIONS.

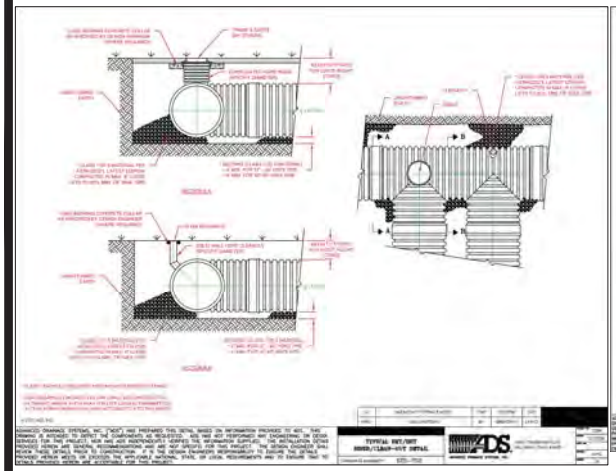
1. INSTALL TEMPORARY SEDIMENT CONTROL BMP's AS SHOWN ON THE PLANS.
2. COMPLETE SITE GRADING. CONSTRUCT CURB CUTS OR OTHER INFLOW ENTRANCE BUT PROVIDE PROTECTION SO THAT DRAINAGE IS PROHIBITED FROM ENTERING CONSTRUCTION AREA.
3. STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT WITHIN THE RAIN GARDEN AREA.
4. EXCAVATE RAIN GARDEN AREAS TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES. DO NOT COMPACT IN-SITU SOILS.
5. BACKFILL RAIN GARDEN WITH AMENDED SOIL AS SHOWN ON PLANS AND SPECIFICATIONS. OVERFILLING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT. LIGHT HAND TAMPERING IS ACCEPTABLE IF NECESSARY.
6. PRESOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION TO AID IN SETTLEMENT.
7. COMPLETE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS, LEAVING SPACE FOR UPPER LAYER OF COMPOST AS SPECIFIED ON PLANS.
8. PLANT VEGETATION ACCORDING TO LANDSCAPE PLAN.
9. MULCH AND/OR INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY.

RAIN GARDEN AREA MAINTENANCE SCHEDULE

- THE OWNER, OR AUTHORIZED OWNER REPRESENTATIVE, IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S ONCE CONSTRUCTION IS COMPLETED.
- WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED. WEEDS SHOULD BE REMOVED THEREAFTER BY HAND.
- DEBRITUS MAY ALSO NEED TO BE REMOVED APPROXIMATELY TWICE PER YEAR. PERENNIAL PLANTINGS MAY BE CUT DOWN AT THE END OF THE GROWING SEASON.
- LEAF COMPOST SHOULD BE SPREAD WHEN EROSION IS EVIDENT AND BE REPLENISHED ANNUALLY. ONCE EVERY 2 TO 3 YEARS THE ENTIRE AREA MAY REQUIRE LEAF COMPOST REPLACEMENT.
- RAIN GARDEN AREAS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.
- DURING PERIODS OF EXTENDED DROUGHT, RAIN GARDEN AREAS MAY REQUIRE WATERING.
- RAIN GARDEN AREAS SHOULD NOT BE MOWED ON A REGULAR BASIS.
- ANY TREES AND SHRUBS SHOULD BE INSPECTED TWICE PER YEAR TO EVALUATE HEALTH.

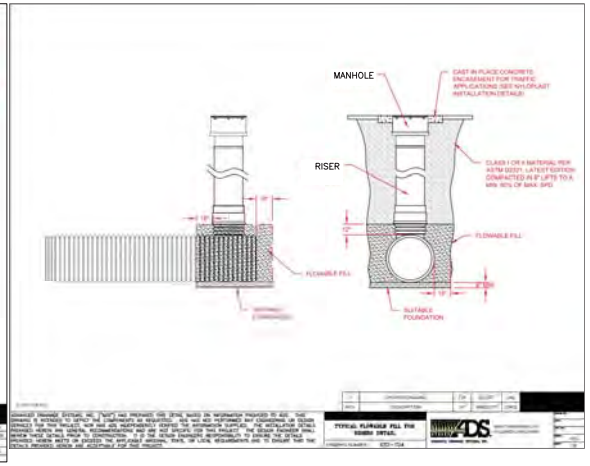
RAIN GARDEN NOTES

1. RAIN GARDEN AMENDED SOIL MIX SHALL CONSIST OF THE FOLLOWING AND MEETING THE FOLLOWING REQUIREMENTS:
   - 1.1. 40% TOPSOIL, 30% COARSE SAND, 30% COMPOST
   - 1.2. LESS THAN 5% FINES PASSING THE #200 SIEVE
   - 1.3. 18" MINIMUM SOIL MIX DEPTH
   - 1.4. INFILTRATION RANGE FOR SOIL MIX SHALL BE BETWEEN 2 IN/HR AND 8 IN/HR. CONTRACTOR SHALL COMPLETE TEST OF MIXED MATERIAL FOR CONFIRMATION OF INFILTRATION RATE PRIOR TO INSTALLATION OF MATERIAL IN BASIN.
   - 1.5. COMPOST PHYSICAL PARAMETERS:
     - 1.5.1. pH 5.5 – 8.0
     - 1.5.2. MOISTURE CONTENT 35% – 55%
     - 1.5.3. PARTICLE SIZE 99% PASS THROUGH 1" SCREEN
     - 1.5.4. SOLUBLE SALT CONCENTRATION 5.0 dS MAXIMUM
     - 1.5.5. COMPOST SHALL BE A WELL DECOMPOSED, WEED FREE ORGANIC MATTER DERIVED FROM AGRICULTURAL, FOOD, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCE. THE COMPOST MUST BE AEROBICALLY COMPOSTED AT A PADEP, BUREAU OF WASTE MANAGEMENT PERMITTED SITE. THE COMPOST SHALL POSSESS NO OBJECTIONABLE ODORS AND WILL BE REASONALY FREE (<1% DY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED.
2. RAIN GARDEN AREAS ARE TO BE SEEDED WITH ERNST SEED MIX: ERNMX-126.
3. PROVIDE EROSION CONTROL MATTING ON ALL SIDE SLOPES WITHIN THE RAIN GARDEN AREA (NAG S75 OR APPROVED EQUAL).



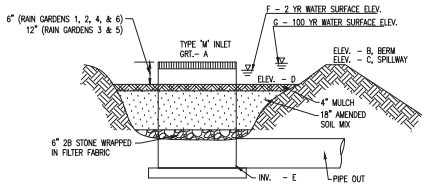
UNDERGROUND DETENTION BASIN TYPICAL DETAILS

NOT TO SCALE



NOTES:

1. A MINIMUM OF 24" COVER SHALL BE PROVIDED OVER THE BASIN.
2. PIPE PERFORATIONS SHALL NOT BE LESS THAN FIVE-SIXTEENTHS (5/16") INCH IN DIAMETER AND PROVIDE AN OPENING AREA NOT LESS THAN THREE AND THIRTY-ONE HUNDREDTHS (3.31) SQUARE INCHES PER SQUARE FOOT OF PIPE SURFACE.



RAIN GARDEN AREA #	A	B	C	D	E	F	G
1	230.50	230.95	230.75	230.00	226.06	230.39	230.60
2	230.50	232.00	231.50	230.00	226.00	230.45	230.62
3	229.00	230.95	230.35	228.00	225.00	229.00	229.19
4	231.50	232.00	231.75	231.00	227.00	231.45	231.62
5	229.00	231.50	231.00	228.00	225.98	228.81	229.27
6	232.50	233.00	232.75	232.00	226.75	232.30	232.58

*TOPSOIL MUST BE 5-80% COMPOST AND 20-95% SOIL

RAIN GARDEN AREA CROSS SECTION

NO TO SCALE

ERNST MIX-126: RETENTION BASIN FLOOR MIX - LOW MAINTENANCE

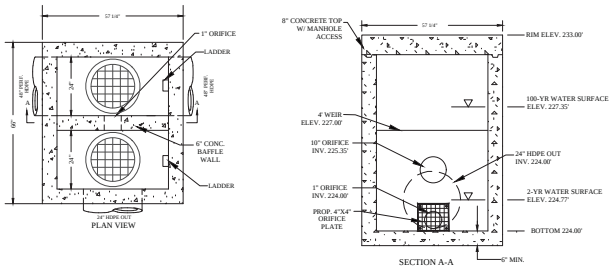
MIX COMPOSITION

20.0% ELYMUS RIPARIUS, PA ECOTYPE (RIVERBANK WILDRYE, PA ECOTYPE)
20.0% PUCCINELLIA DISTANS, 'FULTS' (ALKALIGRASS, 'FULTS')
18.0% AGROSTIS STOLONIFERA (CREEPING BENTGRASS)
17.0% PANICUM CLANDESTINUM (DICHANTHELIUM C.), 'TIOGA' (DEERTONGUE, 'TIOGA')
15.0% POA PALUSTRIS (FOWL BLUEGRASS)
5.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
3.0% JUNCUS EFFUSUS (SOFT RUSH)
1.0% CAREX SCOPARIA, PA ECOTYPE (BLUNT BROOM SEDGE, PA ECOTYPE)
1.0% JUNCUS TENUIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE)

GENERAL PRODUCT INFORMATION:

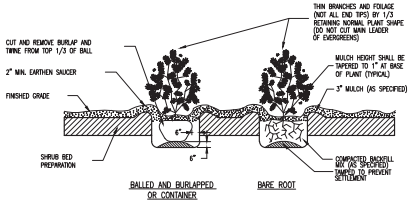
THE HARDY INEXPENSIVE GRASS AND GRASS-LIKE SPECIES ARE IDEAL FOR RETENTION BASINS THAT MAY HAVE HIGH SALT INFLOWS AND WHERE MOWING MAY BE REQUIRED. MIX FORMULATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE DEPENDING ON THE AVAILABILITY OF EXISTING AND NEW PRODUCTS. WHILE THE FORMULA MAY CHANGE, THE GUIDING PHILOSOPHY AND FUNCTION OF THE MIX WILL NOT.

HEIGHT: 0.3 - 5.0 FT
SEEDING RATE: 20-40 LB PER ACRE, OR 1 LB PER 1,000 SQ FT



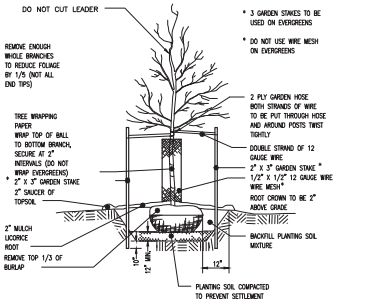
BASIN OUTLET STRUCTURE

NO SCALE



SHRUB PLANTING AND SHRUB BED PREPARATION

NOT TO SCALE



TREE PLANTING AND STAKING DETAIL

NOT TO SCALE

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
PHONE: 215-362-0400 FAX: 215-362-0403
WWW.CORNERSTONEEA.COM
Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-6200
Pocono Region 570-839-1770

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	RE-SUBMITTAL	1/25/2016
2	J.A.C.	RE-SUBMITTAL (JAN. 2017)	2/27/2017
3	J.A.C.	RE-SUBMITTAL (FEB. 2017)	4/11/2017
4	J.A.C.	RE-SUBMITTAL W/ A MUCH REVISION (FEB. 2017)	10/16/2017
5	J.A.C.	RE-SUBMITTAL W/ CITY REVIEW (DATED 9/13/2017)	12/5/2017
6	J.A.C.	RE-SUBMITTAL W/ A COMMENTS (DATED 12/1/2017)	2/23/2018
	J.A.C.	RE-SUBMITTAL FOR RECORDING	

PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Swede Run Road
West Mifflin, Pennsylvania
15122-1898

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J.B. ANDERSON

PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 15438
PENNSYLVANIA LICENSE No. PE 072136
MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02026400
COMMONWEALTH OF VIRGINIA
FLORIDA LICENSE No. 75508
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

STORM BASIN &
LANDSCAPE DETAILS

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	DB
SCALE	AS NOTED	CHK BY	JBA

SHEET 18 OF 19

REVISION 6

ABINGTON TOWNSHIP - LANDSCAPE COMPLIANCE CHART	REQUIRED	PROPOSED
Zoned: R-2 Low-Medium Density Residential		
SALDO		
§146-39 Landscaping		
A. Shade Trees shall be planted approximately five feet inside the lot lines paralleling the right-of-way line. The trees shall be placed to provide an approximate average spacing of one tree per 50 feet or planted in an alternate arrangement consistent with township policy encouraging the use of shade trees in subdivision/ land development.		
Lot Lines 1-6: 702ft 702/50 = 14.0	14 Shade Trees	14 Shade Trees (To be distributed around site. Location not specified.)
B. General Landscaping Each building site shall be graded, drained and landscaped with trees and shrubs, lawn and/or ground cover.	No specific quanties	

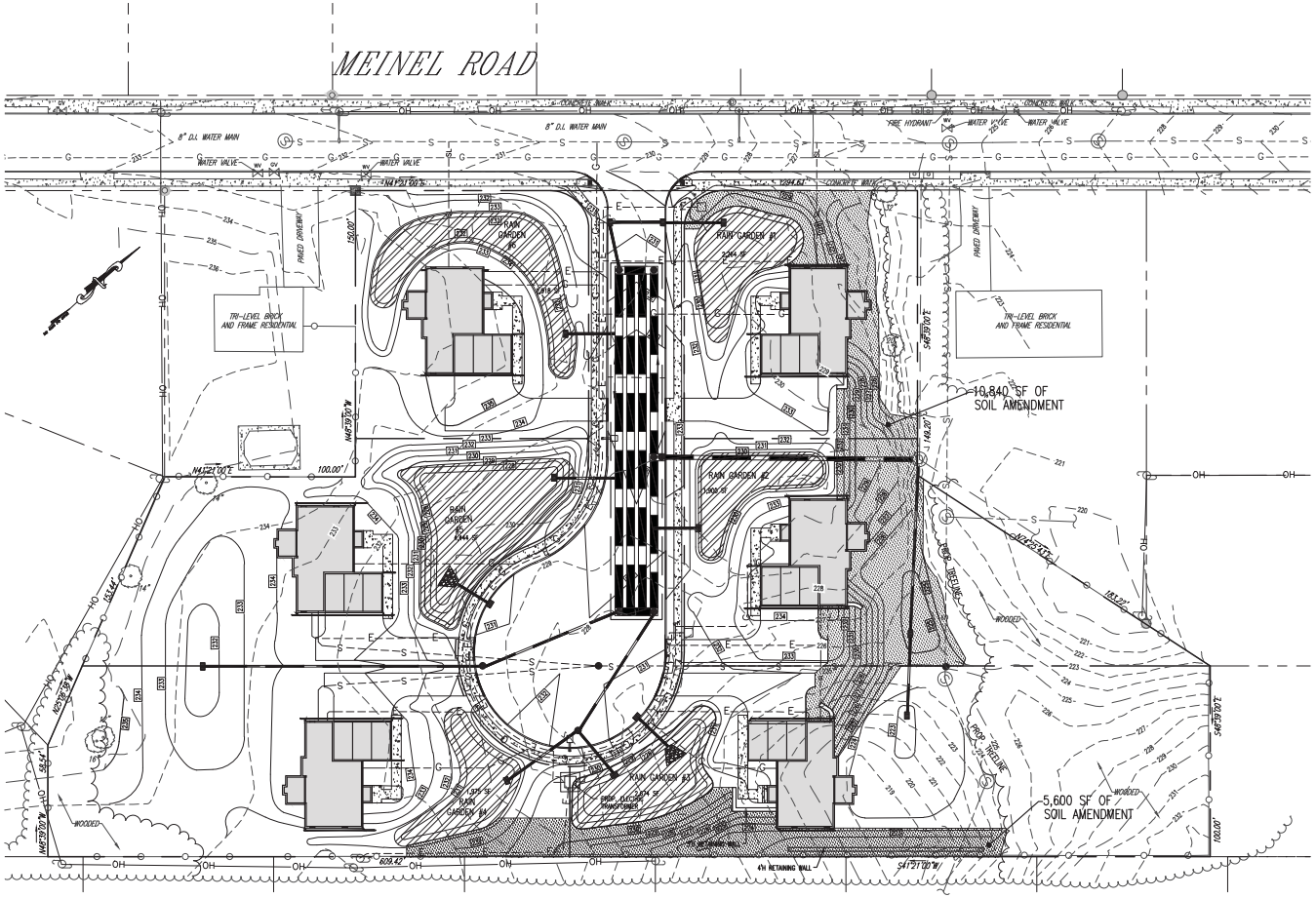
RAIN GARDEN PLANT SCHEDULE

SYMBOL	RAIN GARDEN #	TOTAL QUANTITY	DESCRIPTION	NOTES
	1	2,264	RAIN GARDEN MIX	SEE RAIN GARDEN DETAILS
	2	1,900		
	3	2,674		
	4	1,975		
	5	4,444		
	6	2,918		
	TOTAL	16,175		

NOTE: SEE SHEET 16 FOR PLANTING DETAILS

GENERAL NOTES:

1. THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
2. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF TWELVE (12) MONTHS.
3. ALL SIGHT TRIANGLES SHALL REMAIN CLEAR AND ANY PLANT, WHICH WOULD ENDANGER SAFETY SUCH AS UNSTABLE LIMBS, SHALL BE REMOVED AND THE PLANT MATERIAL REPLACED. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SUCCESSIVE PROPERTY OWNERS TO ENSURE ALL PLANTINGS AND ARCHITECTURAL ELEMENTS ARE MAINTAINED TO PROVIDE A SAFE ENVIRONMENT.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. ALL PLANT MATERIALS AND PLANTING PRACTICES SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. ALL PLANTS SHALL BE WATERED THOROUGHLY BY THE CONTRACTOR AT LEAST THREE (3) TIMES IN THE FIRST MONTH AFTER PLANTING. ADDITIONAL WATERING MAY BE REQUIRED DURING THE SUMMER MONTHS, DEPENDING ON RAINFALL AMOUNTS.



LEGEND

- PROPERTY BOUNDARY
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRE
- EXISTING CURB
- PROPOSED CONTOURS
- EXISTING CONTOURS
- EXISTING TREES
- EXISTING WATER MAIN
- EXISTING ELECTRICAL LINE
- EXISTING SANITARY LINE
- EXISTING GAS LINE
- PROPOSED STORM SEWER
- PROPOSED FORCEMAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED ELECTRICAL LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED STORM DRAINAGE INLET
- PROPOSED MANHOLE
- PROPOSED HYDRANT
- 15% TO 25% STEEP SLOPES (3,696 SF)
- 25%+ STEEP SLOPES (1,957 SF)
- SOIL AMENDMENT

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

CLIENT DATA

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street, Lansdale, PA 19446
Phone: 215-362-0600 Fax: 215-362-0400
WWW.CORNERSTONEEA.COM
Pocono Region 570-839-1770
Lehigh Valley Region 610-820-6200
Philadelphia Region 215-362-2600

REVISIONS

NO	BY	DESCRIPTION	DATE
1	J.A.C.	REVISED FOR NEWSLS SUBMISSION	11/02/2016
2	J.A.C.	REVISED PER PWP & MCCD REVIEW (JAN. 2017)	1/17/2017
3	J.A.C.	REVISED PER PWP & MCCD REVIEW (FEB. 2017)	4/11/2017
4	J.A.C.	REVISED PER MCCD'S REVIEW (DATED 9/13/2017)	10/06/2017
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MARYLAND LICENSE No. 25313
NEW JERSEY LICENSE No. 24GE02420400
WASHINGTON LICENSE No. 45024
FLORIDA LICENSE No. 75588
NEW YORK LICENSE No. 093667-1

PROJECT LOCATION

PRELIMINARY/FINAL
SUBDIVISION PLAN SET
6 LOT SUBDIVISION
1235 MEINEL ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVNIA
PREPARED FOR:
MEINEL ASSOCIATES, LLC

TITLE

LANDSCAPE PLAN

PROJ. #	16-0205	DATE	11/1/2016
CAD ID.	16-0205	DRN BY	EMR
SCALE	AS NOTED	CHK BY	JBA

SHEET 19 OF 19

REVISION 6

PUBLIC SAFETY COMMITTEE

AGENDA ITEM

March 31, 2020

DATE

PS-01-040720

AGENDA ITEM NUMBER

Police

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☑

PUBLIC BID REQUIRED
Cost > $20,100
Yes ☐ No ☑

AGENDA ITEM:

Abington Township Police Association Agreement

EXECUTIVE SUMMARY:

The Collective Bargaining Agreement between the Township of Abington and Abington Township Police Association expired December 31, 2019. The Township Manager and the Police Association have been negotiating since Q4 of 2019 through April 1, 2020 to reach a negotiated settlement. This agenda item is the product of that negotiated settlement resulting in a new Collective Bargaining Agreement between the Township of Abington and Abington Township Police Association from January 1, 2020 through December 31, 2023.

PREVIOUS BOARD ACTIONS:

Not applicable

RECOMMENDED BOARD ACTION:

Motion to approve the agreement between the Township of Abington, and the Abington Township Police Association, Inc. of the Police Department of Abington Township, a law enforcement agency to be effective January 1, 2020, and to continue in full force and effect until December 31, 2023.

FINANCE COMMITTEE

AGENDA ITEM

March 17, 2020

DATE

FC-01-040720

AGENDA ITEM NUMBER

Finance

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☐

PUBLIC BID REQUIRED
Cost > $20,100
Yes ☐ No ☑

AGENDA ITEM:

Investments

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Consider a motion to approve investments for the month of February 2020. It was noted that investments for the month totaled $3,117,000.00. Interest rate yields ranged from 1.500% to 1.550%.

SCHEDULE OF INVESTMENTS
FEBRUARY 2020

MATURITY	SETTLEMENT DATE	FINANCIAL INSTITUTION	FUND	CASH	DISCOUNT PREMIUM	INTEREST	REINVESTED/ NEW INVESTMENT	MATURITY DATE	RATE	Y-T-M	NEXT CALL
245,000.00	02/10/20	BANK OF NY MELLON	GENERAL								
245,000.00	02/12/20	BNY MELLON NA	GENERAL								
NEW	02/12/20	BANK OZK	GENERAL				82,000.00	10/14/20	1.55%		
NEW	02/12/20	BANK OF TIOGA	GENERAL				245,000.00	05/20/20	1.55%		
NEW	02/12/20	CITIZENS CMNTY FEDER	GENERAL				245,000.00	08/12/20	1.50%		
NEW	02/12/20	FIRST REPUBLIC BANK	GENERAL				245,000.00	08/07/20	1.55%		
NEW	02/12/20	TREYNOR STATE BANK	GENERAL				245,000.00	05/20/20	1.55%		
245,000.00	02/13/20	BANK OF EAST ASIA	GENERAL								
245,000.00	02/13/20	SALLIE MAE BANK	GENERAL								
78,000.00	02/14/20	NEW YORK CMNTY BK	GENERAL								
NEW	02/26/20	BANK OF THE WEST SF	GENERAL				245,000.00	09/04/20	1.55%		
NEW	02/26/20	DEDHAM INSITUTION	GENERAL				245,000.00	08/26/20	1.55%		
245,000.00	02/27/20	SANTANDER BANK NA	GENERAL								
245,000.00	02/28/20	SHINHAN BANK AMERICAN	GENERAL								
164,000.00	02/18/20	SEACOAST NATL BK	SEWER OPERATING								
100,000.00	02/21/20	MORGAN STANLEY PVT BK	SEWER OPERATING								
NEW	02/26/20	FIRST AMER BK CARPENT	SEWER OPERATING				245,000.00	05/28/20	1.50%		
NEW	02/12/20	BANK OZK	PERMANENT IMPROVEMENT				110,000.00	10/14/20	1.55%		
NEW	02/12/20	TCF NATIONAL BANK	PERMANENT IMPROVEMENT				245,000.00	11/19/20	1.55%		
110,000.00	02/14/20	COMPASS BANK	PERMANENT IMPROVEMENT								
245,000.00	02/14/20	ISRAEL DISCOUNT BK OF NEW YORK	PERMANENT IMPROVEMENT								
NEW	02/26/20	FVCBANKCORP INC	PERMANENT IMPROVEMENT				245,000.00	09/23/20	1.50%		
NEW	02/27/20	VALLEY NATL BK WAYNE	PERMANENT IMPROVEMENT				65,000.00	06/04/20	1.55%		
245,000.00	02/28/20	METABANK	PERMANENT IMPROVEMENT								
60,000.00	02/28/20	ROCKLAND TR CO	PERMANENT IMPROVEMENT								
245,000.00	02/24/20	BANK OF AMERICA NA	WORKERS COMPENSATION								
NEW	02/26/20	WEX BANK	WORKERS COMPENSATION				245,000.00	09/09/20	1.50%		
NEW	02/12/20	FIRST FARMERS BK & TR	SEWER CAPITAL				245,000.00	08/12/20	1.50%		
245,000.00	02/14/20	PEOPLESBANK HOLYOKE	SEWER CAPITAL								
162,000.00	02/18/20	GREAT WESTERN BANK	SEWER CAPITAL								
NEW	02/26/20	WEBSTER BANK NA	SEWER CAPITAL				165,000.00	06/04/20	1.50%		
3,124,000.00				0.00	0.00	0.00	3,117,000.00				

B-2

FINANCE COMMITTEE

AGENDA ITEM

March 17, 2020

DATE

FC-02-040720

AGENDA ITEM NUMBER

Finance

DEPARTMENT

FISCAL IMPACT
Cost > $10,000.
Yes ☐ No ☑

PUBLIC BID REQUIRED
Cost > $20,100
Yes ☐ No ☑

AGENDA ITEM:

Expenditures/Salaries and Wages

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Consider a motion to approve the February 2020 expenditures in the amount of $2,359,978.59 and salaries and wages in the amount of $1,904,182.71, and authorizing the proper officials to sign vouchers in payment of bills and contracts as they mature through the month of May 2020.

EXPENDITURES:

Total Payroll in February	1,904,182.71
Total Accounts Payable in February	2,369,795.01
Total Bank Wires	0.00
Less Void and Stop Payments	(9,816.42)
Total Payments	4,264,161.30

Bank wires (total included above) payable to:

US Bank	2010 G. O. Bond	0.00
US Bank	2012 G. O. Bond	0.00
US Bank	2013 G. O. Bond	0.00
US Bank	2014 G. O. Bond	0.00
Republic Bank	2017 G. O. Note	0.00
Keystone Agency	1100 & 1102 OYR	0.00
Delaware Valley Reg.	Digital Radio Fund	0.00
Total Wires		0.00

Voided checks:

57794	Andrea Soo	(23.92)
57920	Samuel Fineman Trustee	(14.00)
58356	William & Sapna Shaghnessy	(85.00)
58359	Michael Rubin	(603.26)
58514	Estate of Stanley Wolfson	(3,500.00)
58554	O'Neills Food Market	(368.80)
58955	Comcast	(10.49)
59490	Primex Center	(117.00)
59820	Edmund Micciolo	(194.78)
59946	Biase Landscaping	(4,384.40)
60172	Hamilton Animal Hospital	(334.77)
60178	Candace Fritch	(180.00)
		(9,816.42)

Payroll Related Expenditures:	February	YTD
FICA Taxes	92,865.29	251,884.25
Hospitalization	403,447.94	755,154.70
Prescription	151,064.95	301,318.65
Dental	25,717.14	51,513.55
Disability and Life Insurance	11,296.73	22,462.12
Unemployment Compensation	0.00	0.00
	684,392.05	1,382,333.27

Outstanding Debt Obligations

Bond & Note Debt – General, Refuse & Sewer Operating

Issue	Paying Agent	Total Outstanding Principal	Total Outstanding Interest	
2010 G. O. Bond Issue	U.S. Bank	0.00	36,888.00	
2012 G. O. Bond Issue	U.S. Bank	0.00	10,500.00	
2013 G. O. Bond Issue	U.S. Bank	2,595,000.00	60,155.01	
2014 G. O. Bond Issue	U.S. Bank	1,075,000.00	244,124.72	
2017 G. O. Note	Republic Bank	1,536,237.00	124,198.19	
		5,206,237.00	475,865.92	5,682,102.92

Lease Debt Obligation

Principal & Interest through 2/29/20	36,661.00

EXHIBIT "A"

The major areas of expenditures in the month of February 2020 ($2,055,288.66 or 87%) were paid as follows:

Payee	Description		Amount
Fidelio Insurance Co.	February Dental Premium		10,362.04
DVHT	February Prescription		151,064.95
Delaware Valley Health	February Health & Dental Insurance Premium		369,885.88
United Healthcare	January	24,458.58	
	February	24,458.58	48,917.16
Boston Mutual	February Life & Disability Insurance		11,296.73
Abington Library	Library Appropriation	19,383.52	
	Adult Literacy	3,777.00	23,160.52
Aqua PA	2019 Final Sewer Readings	15,512.00	
	Quarterly Hydrant	55,702.44	71,214.44
ATC Group Services LLC	MS4 Stormwater	4,833.00	
	Ardsley Wildlife Sanctuary	3,305.00	
	Growing Greener	3,290.50	
	Monroe & Hamel Storm Water	992.50	12,421.00
Cheltenham Township	3th Quarter 2019 Wastewater City of Phila.		18,563.41
City of Philadelphia	December Payment		112,138.05
Covanta	Solid Waste Disposal		132,118.39
Delaware Valley Prop & Liability	2020 Contribution Rate Stabilization		237,442.75
Delaware Valley Workers Comp	2019 Estimated Contribution		206,239.75
FAO USAED	Township Match/Environmental Improvement Project		120,800.00
J.P. Mascaro	Single Waste Streaming		14,626.27
Kuharchik Construction	North Hills Road and Mt. Carmel Avenue		109,847.90
McMahon	Various Engineering Projects		85,189.09
Morton Salt	Road Salt		24,413.57
PECO	Street Lights	28,974.51	0.00
	Traffic Signals	1,205.11	
	WWTP December	57,359.42	
	Various Accounts	17,350.89	104,889.93
Petroleum Traders Corporation	Fuel for Township Fleet		45,368.07
Roslyn Fire Company	Capital Budget Project		21,513.71
Roslyn Gulf/Eagle Supply	Roof Shingles for Public Works		10,371.26
Rudolph Clark, LLC	Retainer Balance for January	1,750.00	
	Retainer - February	10,500.00	
	Land Development/Litigation	3,900.50	16,150.50
Second Alarmers	Monthly Services		15,625.00
UMHJSA	Overpayment of 2018 Sanitary Sewer		58,631.00
Wood Environment	Stormwater Plan		23,037.29
Xylem Water Solutions	Pump Rental		0.00
	Replace Defective Pump with Flygt at Cardinal	0.00	0.00
Zone Striping Inc.	Pavement Marking for Bicycle Lanes		0.00
		Total	2,055,288.66

TABLE A	
If Budget Number Begins With:	The Fund Name Is:
01	General Fund
02	Sewer Operations
03	Highway Aid
05	Health Care Fund
06	Grant Fund
07	Permanent Improvement Fund
08	Parks Capital
10	Tuition Reimbursement
12	Clearing Fund
13	Workers' Compensation
14	Refuse Fund
15	Main Street Mgr./Economic Dvlpmnt.. Fund
16	S.I.U.
17	Sewer Capital

TABLE B	
Department Codes in General Fund (Example 01-**01**-002-0101 = Administration)	
Administration	01
Tax Collector	02
Police	04
Finance	05
Code Enforcement	06
Engineering	07
Community Development	08
WWTP	02-10
Public Works	13
Vehicle Maintenance	14
Fire Services	15
Library	23
Parks & Recreation	24
Miscellaneous (Administration)	27
Insurance	28
Debt Service	30

C-4

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
59977	2/6/2020	05865	CITY OF PHILADELPHIA	6272686		2019 PHILA EMPLOYER WAGE T/	
	YTD Amount:	3,981.00					
						2019 PHILA EMPLOYER WAGE T/	
						01-00-000-2041	3,981.00
						Total :	**3,981.00**
59978	2/6/2020	00953	AQUA PENNSYLVANIA	4th QTR HYDR/		QUARTERLY HYDRANT~	
	YTD Amount:	55,702.44					
						QUARTERLY HYDRANT~	
						01-15-091-5237	55,702.44
						Total :	**55,702.44**
59979	2/6/2020	05865	CITY OF PHILADELPHIA	6772603200115		K9 TRAINING - FISICARO AND R/	
	YTD Amount:	100.00					
					73426	K9 training - Fisicaro and Ralph -	
						01-04-049-5305	100.00
						Total :	**100.00**
59980	2/6/2020	15382	CONSTELLATION NEW ENERGY	NOVEMBER		TWP BLDG-GAS SUPPLY	
	YTD Amount:	431.02					
						TWP BLDG-GAS SUPPLY	
						01-01-030-5308	345.94
						Total :	**345.94**
59981	2/6/2020	15417	CONSTELLATION NEW ENERGY	NOVEMBER		PARKS-GAS SUPPLY	
	YTD Amount:	57.75					
						PARKS-GAS SUPPLY	
						01-24-157-5308	51.86
						Total :	**51.86**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
59982	2/6/2020	15419	CONSTELLATION NEW ENERGY	NOVEMBER		BBNC-GAS SUPPLY		
	YTD Amount:	175.46						
						BBNC-GAS SUPPLY		
						01-24-155-5308		126.62
							Total :	**126.62**
59983	2/6/2020	15420	CONSTELLATION NEW ENERGY	NOVEMBER		ACC-GAS SUPPLY		
	YTD Amount:	1,243.72						
						ACC-GAS SUPPLY		
						01-24-152-5308		1,065.17
							Total :	**1,065.17**
59984	2/6/2020	15421	CONSTELLATION NEW ENERGY	NOVEMBER		HIGHWAY-GAS SUPPLY		
	YTD Amount:	510.44						
						HIGHWAY-GAS SUPPLY		
						01-13-130-5308		405.16
							Total :	**405.16**
59985	2/6/2020	15422	CONSTELLATION NEW ENERGY	NOVEMBER		WWTP-GAS SUPPLY		
	YTD Amount:	854.77						
						WWTP-GAS SUPPLY		
						02-10-200-5308		599.15
						WWTP-GAS SUPPLY		
						02-10-203-5308		204.20
							Total :	**803.35**
59986	2/6/2020	15424	CONSTELLATION NEW ENERGY	NOVEMBER		TRAINING CENTER-GAS SUPPLY		
	YTD Amount:	332.49						
						TRAINING CENTER-GAS SUPPLY		
						01-04-062-5308		263.02
							Total :	**263.02**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
59987	2/6/2020	15426	CONSTELLATION NEW ENERGY	NOVEMBER		CRESTMONT-GAS SUPPLY	
	YTD Amount:	44.46					
						CRESTMONT-GAS SUPPLY	
						01-24-157-5308	32.26
						Total :	**32.26**
59988	2/6/2020	01082	GAYLE CORPORATION	17130		2 -NEW IMPELLERS~	
	YTD Amount:	2,010.86					
					72711	2 -NEW IMPELLERS~	
						02-00-000-7478	1,991.80
					72711	FREIGHT	
						02-00-000-7478	19.06
						Total :	**2,010.86**
59989	2/6/2020	00512	GEPPERT INC., WILLIAM A	20329		MASONARY & CARPENTRY SUPI	
	YTD Amount:	2,095.22					
						MASONARY & CARPENTRY SUPI	
						07-00-967-7200	25.95
				f22183		TABLE RENTALS FOR HOLIDAY F	
						TABLE RENTALS FOR HOLIDAY F	
						01-01-001-5301	35.00
						Total :	**60.95**
59990	2/6/2020	01069	GLENSIDE LAWN & GARDEN, INC.	35607 35705		LAWN & GARDEN SUPPLIES	
	YTD Amount:	121.12					
					72845	LAWN & GARDEN SUPPLIES	
						01-14-186-5304	121.12
						Total :	**121.12**
59991	2/6/2020	00243	GROVE SUPPLY INC.	S5110952.001		INSTALLATION OF ADA RESTRO(	
	YTD Amount:	1,197.02					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
59991	2/6/2020	00243	GROVE SUPPLY INC.	(Continued)			
					72990	Installation of ADA Restroom at	
						01-24-151-5323	1,197.02
						Total :	**1,197.02**
59992	2/6/2020	10531	KIRBY BUILT	KB2000000117		MEMORIAL BENCH FOR ARDSLE	
	YTD Amount:	1,044.13					
					72536	MEMORIAL BENCH FOR ARDSLE	
						06-24-188-5323	1,044.13
						Total :	**1,044.13**
59993	2/6/2020	11934	LAROSA, SHANE	REIMBURSEME		TOLLS AND GAS FOR TRAILER F	
	YTD Amount:	114.82					
					73431	tolls and gas for trailer pick up -	
						01-04-044-5323	114.82
						Total :	**114.82**
59994	2/6/2020	09144	MC KINLEY FIRE COMPANY	PREVENTIVE M		PREVENTIVE MAINTENANCE - D	
	YTD Amount:	2,353.22					
					73474	PREVENTIVE MAINTENANCE - D	
						01-15-064-5342	2,353.22
						Total :	**2,353.22**
59995	2/6/2020	12341	MEADOWBROOK APARTMENTS, C/O LIN	T0011386		PUMP STATION-MEADOWBROOI	
	YTD Amount:	249.34					
						PUMP STATION-MEADOWBROOI	
						02-10-203-5308	249.34
						Total :	**249.34**
59996	2/6/2020	04265	OFFICE BASICS, INC.	L-1400971		FLASH DRIVES FOR ADMIN	
	YTD Amount:	1,826.53					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
59996	2/6/2020	04265	OFFICE BASICS, INC.	(Continued)			
					73425	flash drives for department	
						01-04-055-5300	47.99
						Total :	**47.99**
59997	2/6/2020	12563	PETROLEUM TRADERS CORPORATION	1495157		6000 GALLONS OF DIESEL FUEL	
	YTD Amount:	37,344.58					
					73472	6000 GALLONS OF DIESEL FUEL	
						01-14-186-5310	12,814.80
						Total :	**12,814.80**
59998	2/6/2020	13301	PFM ASSET MANAGEMENT LLC	MAC M1219-12		INVESTMENT ADVISORY SERVIC	
	YTD Amount:	791.83					
						INVESTMENT ADVISORY SERVIC	
						05-01-028-5305	395.92
						INVESTMENT ADVISORY SERVIC	
						05-01-029-5305	395.91
						Total :	**791.83**
59999	2/6/2020	00962	PRIMEX CENTERS, INC.	1-954386		HEAT LAMP FOR RED TAIL HAWI	
	YTD Amount:	145.99					
					73152	Heat lamp for red tail hawk.	
						01-24-155-5323	28.99
						Total :	**28.99**
60000	2/6/2020	04607	SHAPIRO FIRE PROTECTION CO	8380		YEARLY INSPECTION OF PORTA	
	YTD Amount:	90.57					
						YEARLY INSPECTION OF PORTA	
						01-01-030-5305	90.57
						Total :	**90.57**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60001	2/6/2020	09145	WELDON FIRE COMPANY	PREVENTIVE M		PREVENTIVE MAINTENANCE - D	
	YTD Amount:	1,198.50					
					73476	PREVENTIVE MAINTENANCE - D	
						01-15-064-5342	1,198.50
						Total :	**1,198.50**
60002	2/6/2020	11733	WITMER PUBLIC SAFETY GROUP INC	1994170		FIRE INVESTIGATION PERSONAI	
	YTD Amount:	2,798.50					
					72937	Fire Investigation Personal Protecti	
						01-15-057-5320	2,773.50
					72937	FREIGHT	
						01-15-057-5320	25.00
						Total :	**2,798.50**

26 Vouchers for bank code : ap2 — Bank total : **87,799.46**

26 Vouchers in this report — Total vouchers : **87,799.46**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60003	2/12/2020	10314	4IMPRINT, INC	807049		RECRUITING/PROMOTIONAL MA	
	YTD Amount:	2,227.38					
					73224	recruiting/promotional material for	
						01-04-043-5322	2,227.38
						Total :	**2,227.38**
60004	2/12/2020	01306	ABINGTON TWP PUBLIC LIBRARY	APPROPRIATE		LIBRARY APPROPRIATION	
	YTD Amount:	5,967.18					
						LIBRARY APPROPRIATION	
						01-23-072-5334	1,515.43
						Total :	**1,515.43**
60005	2/12/2020	02961	ACKER'S HARDWARE, INC.	2001-068436		ALVERTHORPE PARK CONTROL	
	YTD Amount:	405.10					
					73420	Alverthorpe Park Control Building	
						01-24-151-5323	17.89
				2001-068498		ALVERTHORPE PARK CONTROL	
					73413	Alverthorpe Park Control Building	
						01-24-151-5323	15.67
				2001-068965		LIGHTS AT ALVERTHORPE MANC	
					73418	Lights at Alverthorpe Manor	
						01-24-157-5317	4.48
						Total :	**38.04**
60006	2/12/2020	12309	ALLIED LANDSCAPE SUPPLY	118351		WAR MEMORIAL	
	YTD Amount:	476.57					
						WAR MEMORIAL	
						12-00-000-2511	428.57

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60006	2/12/2020	12309	ALLIED LANDSCAPE SUPPLY	(Continued)			
				119139		CONSTRUCTION COST	
						CONSTRUCTION COST	
						07-00-967-7200	48.00
						Total :	**476.57**
60007	2/12/2020	05822	AQUA PENNSYLVANIA	WATER		1059 Jenkintown Rd, Meetinghouse	
	YTD Amount:	18.00					
						1059 Jenkintown Rd, Meetinghouse	
						01-24-157-5311	18.00
						Total :	**18.00**
60008	2/12/2020	05824	AQUA PENNSYLVANIA	WATER		2810 ANZAC	
	YTD Amount:	101.10					
						2810 ANZAC	
						01-24-157-5311	101.10
						Total :	**101.10**
60009	2/12/2020	05829	AQUA PENNSYLVANIA	WATER		SS OLD WELSH RD	
	YTD Amount:	101.10					
						SS OLD WELSH RD	
						01-24-157-5311	101.10
						Total :	**101.10**
60010	2/12/2020	02776	ARCHIE, JOHN	FEBRUARY		REIMBURSE RETIREES INSURAI	
	YTD Amount:	523.56					
						REIMBURSE RETIREES INSURAI	
						05-01-028-5102	194.78
						Total :	**194.78**
60011	2/12/2020	01294	BEE BERGVALL & CO., INC.	27506		PROGRESS BILLING FOR JANUA	
	YTD Amount:	8,000.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60011	2/12/2020	01294	BEE BERGVALL & CO., INC.	(Continued)			
						PROGRESS BILLING FOR JANUA	
						01-05-010-5205	8,000.00
						Total :	**8,000.00**
60012	2/12/2020	07170	BERKHEIMER TAX ADMINISTRATOR	NOVEMBER		EIT Commission	
	YTD Amount:	7,139.25					
						EIT Commission	
						01-02-021-5305	2,969.55
						Total :	**2,969.55**
60013	2/12/2020	07829	BIASE LANDSCAPING LLC	BUS DISTRICT		BALANCE DUE FOR BUSINESS D	
	YTD Amount:	26,059.86					
						BALANCE DUE FOR BUSINESS D	
						07-13-575-7566	143.40
						Total :	**143.40**
60014	2/12/2020	08346	BLUMENTHAL, JAY W	MONTHLY COM		511 taxes Commission	
	YTD Amount:	8,142.84					
						511 taxes Commission	
						01-02-021-5305	4,199.76
						Total :	**4,199.76**
60015	2/12/2020	13182	BOSTON MUTUAL LIFE INSURANCE	FEBRUARY		MONTHLY LIFE AND DISABILITY I	
	YTD Amount:	22,462.12					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60015	2/12/2020	13182	BOSTON MUTUAL LIFE INSURANCE	(Continued)			
						MONTHLY LIFE AND DISABILITY I	
						01-00-000-2460	4,828.54
						MONTHLY LIFE AND DISABILITY I	
						01-00-000-2461	3,609.56
						MONTHLY LIFE AND DISABILITY I	
						01-00-000-2250	2,669.63
						MONTHLY LIFE AND DISABILITY I	
						05-01-029-5215	189.00
						Total :	**11,296.73**
60016	2/12/2020	15857	BRAUNSBERG, RYAN	REFUND		REFUND RENTAL OF ACC	
	YTD Amount:	26.00					
						Refund rental ACC	
						01-00-000-4370	26.00
						Total :	**26.00**
60017	2/12/2020	10610	BURGER KING #3284	PRISONER ME/		PRISONER MEALS JANUARY 202	
	YTD Amount:	358.24					
					73530	Prisoner Meals January 2020	
						01-04-043-5330	163.44
						Total :	**163.44**
60018	2/12/2020	05717	CALEA	REGISTRATION		ESTIMATE AMOUNT FOR CALEA	
	YTD Amount:	1,155.00					

C-14

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60018	2/12/2020	05717	CALEA	(Continued)			
					73263	estimate amount for CALEA confer	
						01-04-063-5234	715.00
					73407	Chief Molloy - registration for CALE	
						01-04-063-5234	220.00
					73342	CALEA Conference - Banquet and	
						01-04-063-5234	220.00
						Total :	**1,155.00**
60019	2/12/2020	14609	CALIBRE PRESS	REGISTRATION		REGISTRATION FOR OFCS NYM/	
	YTD Amount:	1,295.00					
					73550	registration for Ofcs Nyman, Cough	
						01-04-056-5234	1,295.00
						Total :	**1,295.00**
60020	2/12/2020	14688	CARDMEMBER SERVICE	4796 5100 6331		TRAINING FOR IT CERTIFICATIO	
	YTD Amount:	9,760.64					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60020	2/12/2020	14688	CARDMEMBER SERVICE	(Continued)			
						TRAINING FOR IT CERTIFICATIO	
						01-01-005-5234	99.00
						FLOWRS FOR COMISSIONERS E	
						01-01-001-5301	46.00
						IPAD AND WRRANTY FOR T. WE	
						01-01-005-5322	1,477.00
						USTIF CAPACITY FEE	
						01-14-186-5310	825.00
						DEPOSIT FOR SPORTS CAMP	
						01-24-156-5331	200.00
						CONFERENCE LODGING DEPOS	
						01-24-150-5301	253.00
						SOFTWARE LICENSE	
						01-01-005-5305	31.79
						FLOWEERS FOR E. MICCIOLO	
						01-01-002-5340	168.53
						Total :	**3,100.32**
60021	2/12/2020	10962	CARMEUSE LIME & STONE	94018512		24 TONS OF HYDRATED LIME	
	YTD Amount:	3,078.09					
					73207	24 tons of hydrated lime	
						02-10-200-5326	3,078.09
						Total :	**3,078.09**
60022	2/12/2020	06812	CDW-GOVERNMENT, INC.	SEE ATTACHED		10 16 GB USB FLASH DRIVES, 5 :	
	YTD Amount:	2,476.00					
					73219	10 16 gb usb flash drives, 5 32 gb u	
						01-04-043-5300	213.24

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60022	2/12/2020	06812	CDW-GOVERNMENT, INC.	(Continued)			
				wnr9160 wpbb2		WALL MOUNT AND DISPLAY POF	
					73355	wall mount and display port for RO(	
						01-04-055-5322	69.09
						Total :	**282.33**
60023	2/12/2020	14266	CHEAPER THAN DIRT	14905689		3- DET HOLSTERS FOR GLOCK 3	
	YTD Amount:	181.46					
					73343	3- det holsters for glock 3- det	
						01-04-051-5316	181.46
						Total :	**181.46**
60024	2/12/2020	09840	CILIBERTO, ANTHONY	JANUARY		REIMBURSE RETIREES INSURAN	
	YTD Amount:	614.38					
						REIMBURSE RETIREES INSURAN	
						05-01-028-5102	194.78
						Total :	**194.78**
60025	2/12/2020	08392	CLEAR SOUND, INC	1632		ABINGTON TOWNSHIP PUBLIC S	
	YTD Amount:	425.00					
					73402	Abington Township Public Safety	
						01-15-064-5322	425.00
						Total :	**425.00**
60026	2/12/2020	09551	CODY SYSTEMS	REGISTRATION		DAVE HENDLER - REGISTRATIOI	
	YTD Amount:	225.00					
					73385	Dave Hendler - registration for COI	
						01-04-056-5234	225.00
						Total :	**225.00**
60027	2/12/2020	13612	COMCAST	FEBRUARY		CABLE FOR VIDEO ARRAINGMEI	
	YTD Amount:	31.51					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60027	2/12/2020	13612	COMCAST	(Continued)			
						CABLE FOR VIDEO ARRAINGMEI	
						01-04-040-5307	10.51
						Total :	**10.51**
60028	2/12/2020	15235	COMCAST	FEBRUARY		INTERNET FOR CRESTMONT CL	
	YTD Amount:	226.70					
						INTERNET FOR CRSTMONT CLU	
						01-24-153-5305	113.35
						Total :	**113.35**
60029	2/12/2020	05860	COMCAST CABLE	FEBRUARY		ARDSLEY COMMUNITY CENTER	
	YTD Amount:	415.60					
					73187	ARDSLEY COMMUNITY CENTER	
						01-24-152-5305	203.92
						Total :	**203.92**
60030	2/12/2020	06339	COMCAST CABLE	JANUARY		VIDEO ARRAIGNMENTS POLICE	
	YTD Amount:	142.85					
						video arraignments police dept	
						01-04-040-5307	142.85
						Total :	**142.85**
60031	2/12/2020	07316	COMCAST CABLE	FEBRUARY		CABLE SERVICE CRESTMONT P	
	YTD Amount:	235.20					
					73186	CABLE SERVICE CRESTMONT P	
						01-24-153-5305	113.35
						Total :	**113.35**
60032	2/12/2020	07317	COMCAST CABLE	FEBRUARY		CABLE SERVICE PENBRYN POO	
	YTD Amount:	235.20					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60032	2/12/2020	07317	COMCAST CABLE	(Continued)			
					73185	CABLE SERVICE PENBRYN POO	
						01-24-154-5305	113.35
						Total :	**113.35**
60033	2/12/2020	08543	COMCAST CABLE	FEBRUARY		SURVEILLANCE CAMERA REFUS	
	YTD Amount:	266.80					
						SURVEILLANCE CAMERA REFUS	
						14-12-103-5305	133.40
						Total :	**133.40**
60034	2/12/2020	15313	COMCAST CABLE	FEBRUARY		INTERNET FOR SPECIAL VIDEO	
	YTD Amount:	94.60					
						TWP SPC VIDEO ACCOUNT	
						01-01-030-5305	47.30
						Total :	**47.30**
60035	2/12/2020	03261	CONROY'S CLEANING INC	CLEANING		CLEANING SERVICE - JANUARY	
	YTD Amount:	4,040.00					
					73520	CLEANING SERVICE - January 20	
						01-04-062-5317	630.00
				MONTHLY CLE/		CLEANING SERVICE - JANUARY-	
					73555	CLEANING SERVICE - January-$1	
						01-01-030-5305	1,290.00
						Total :	**1,920.00**
60036	2/12/2020	08628	CONTRACT & COMMERCIAL INC., STAPL	3435952294 343		FOLDERS, PENS, MARKERS, PO	
	YTD Amount:	4,353.80					
					73181	folders, pens, markers, post its,	
						01-04-053-5300	413.10

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60036	2/12/2020	08628	CONTRACT & COMMERCIAL INC., STAPL	(Continued)			
				3437088491		OFFICE SUPPLIES FOR ROC - PE	
					73372	office supplies for ROC - pens, star	
						01-04-055-5300	62.18
				3437088493 343		OFFICE SUPPLIES	
					73416	office supplies	
						14-12-100-5300	60.08
					73416	office supplies	
						01-13-130-5300	60.08
						Total :	**595.44**
60037	2/12/2020	04050	CROMPCO LLC	759984		DROP TUBE REPLACEMENT FOR	
	YTD Amount:	3,499.44					
					73329	DROP TUBE REPLACEMENT FOR	
						01-14-186-5310	1,177.32
						Total :	**1,177.32**
60038	2/12/2020	04594	D.V.H.T.	FEBRUARY		MONTHLY HEALTH INSURANCE I	
	YTD Amount:	706,237.54					
						Police retirees	
						05-01-028-5111	35,597.86
						Non-Police retirees	
						05-01-029-5111	20,842.80
						Active employees	
						01-00-000-2455	323,450.67
						Cobra	
						01-28-012-5111	3,221.38
						Rate stabilization credit	
						01-00-000-2520	-28,581.93

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60038	2/12/2020	04594	D.V.H.T.	(Continued)		Total :	**354,530.78**
60039	2/12/2020	07121	D.V.H.T.	FEBRUARY		MONTHLY DENTAL INSURANCE I	
	YTD Amount:	30,325.99					
						MONTHLY DENTAL INSURANCE I	
						01-00-000-2459	15,066.79
						COBRA & COMMISSIIONERS DEI	
						01-28-012-5111	288.31
						Total :	**15,355.10**
60040	2/12/2020	14374	D.V.H.T.	FEBRUARY		PRESCRIPTION PLAN	
	YTD Amount:	301,318.65					
						PRESCRIPTION PLAN	
						01-00-000-2458	140,930.66
						PRESCRIPTION PLAN	
						05-01-028-5111	8,870.48
						PRESCRIPTION PLAN	
						01-28-012-5111	1,263.81
						Total :	**151,064.95**
60041	2/12/2020	00290	DAVIDHEISER'S INC.	22588		INVOICE 22588 - TESTED 31 STC	
	YTD Amount:	581.00					
					73517	Invoice 22588 - tested 31 stopwatcl	
						01-04-048-5305	581.00
						Total :	**581.00**
60042	2/12/2020	08023	DEHART & SON, H.A.	X101004732-01		HOSES FOR LEAF MACHINES	
	YTD Amount:	2,648.04					
					73481	HOSES FOR LEAF MACHINES	
						01-14-186-5304	1,790.36
						Total :	**1,790.36**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60043	2/12/2020	00299	DELAWARE VALLEY CONCRETE INC	369999		CONCRETE FOR P.W. PROJECT	
	YTD Amount:	106.00					
					73396	CONCRETE FOR P.W. PROJECT	
						01-13-131-5323	106.00
						Total :	**106.00**
60044	2/12/2020	13198	DELAWARE VALLEY WC TRUST	WCPREM20-AE		2020 ESTMATED CONTRIBUTION	
	YTD Amount:	206,239.75					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60044	2/12/2020	13198	DELAWARE VALLEY WC TRUST	(Continued)			
						2020 ESTMATED CONTRIBUTION	
						01-01-002-5348 2020 ESTMATED CONTRIBUTION	336.20
						01-01-005-5348 2020 ESTMATED CONTRIBUTION	19.83
						01-05-010-5348 2020 ESTMATED CONTRIBUTION	99.14
						01-04-040-5348 2020 ESTMATED CONTRIBUTION	92,585.37
						01-06-081-5348 2020 ESTMATED CONTRIBUTION	250.42
						01-07-110-5348 2020 ESTMATED CONTRIBUTION	1,606.09
						01-13-130-5348 2020 ESTMATED CONTRIBUTION	32,220.25
						01-14-186-5348 2020 ESTMATED CONTRIBUTION	5,893.21
						01-15-057-5348 2020 ESTMATED CONTRIBUTION	11,111.33
						01-24-150-5348 2020 ESTMATED CONTRIBUTION	17,461.61
						02-10-201-5348 2020 ESTMATED CONTRIBUTION	15,188.34
						14-12-100-5348 2020 ESTMATED CONTRIBUTION	27,144.43
						01-23-072-5348	2,323.53

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60044	2/12/2020	13198	DELAWARE VALLEY WC TRUST	(Continued)		Total :	**206,239.75**
60045	2/12/2020	09177	DEX MEDIA	JANUARY		BLUE PAGES OF PHONE BOOK	
	YTD Amount:	42.50				BLUE PAGES OF PHONE BOOK	
						01-01-002-5307	21.50
						Total :	**21.50**
60046	2/12/2020	10315	DONNELLEY, R R	734901955 999		600 NON-TRAFFIC CITATIONS~	
	YTD Amount:	101.50			73531	600 non-traffic citations~	
						01-04-055-5323	101.50
						Total :	**101.50**
60047	2/12/2020	01096	EAGLE POWER & EQUIP CORP	P14373		PARTS FOR #630	
	YTD Amount:	3,327.50			73346	PARTS FOR #630	
						01-14-186-5304	1,356.82
						Total :	**1,356.82**
60048	2/12/2020	11892	ELITE K9	208220		EQUIPMENT AND SUPPLIES FOF	
	YTD Amount:	371.57			73436	Equipment and supplies for K9 tear	
						01-04-049-5305	371.57
						Total :	**371.57**
60049	2/12/2020	11851	FBINAA	REGISTRATION		REGISTRATION FOR FBINAA CO	
	YTD Amount:	725.00			73356	Registration for FBINAA Conferenc	
						01-04-040-5234	475.00
						Total :	**475.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60050	2/12/2020	00970	FIDELIO INSURANCE CO.	FEBRUARY		MONTHLY DENTAL INSURANCE I	
	YTD Amount:	21,187.56					
						DENTAL INSURANCE PREMIUM	
						01-00-000-2459	10,155.57
						COBRA/COMMISSIONERS DENT/	
						01-28-012-5111	206.47
						Total :	**10,362.04**
60051	2/12/2020	13608	FISHER ACE HARDWARE	7178 7198		TRASH BAGS	
	YTD Amount:	49.45					
					73486	TRASH BAGS	
						02-10-201-5300	12.59
					73486	BATTERIES	
						02-10-200-5335	36.86
						Total :	**49.45**
60052	2/12/2020	14425	FRANKFORD, CECILIA	FEBRUARY		REIMBURSE RETIREES INSURAI	
	YTD Amount:	389.56					
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	194.78
						Total :	**194.78**
60053	2/12/2020	00462	FRIENDS OF BRIAR BUSH	REIMBURSEME		BIRDSEED FOR FEEDERS.	
	YTD Amount:	8,960.84					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60053	2/12/2020	00462	FRIENDS OF BRIAR BUSH	(Continued)			
					73371	Birdseed for feeders.	
						01-24-155-5323	59.94
					73371	Filter for indoor pond.	
						01-24-155-5323	132.03
					73371	Reptile lamps.	
						01-24-155-5323	90.93
					73371	Renewal of migratory birds permit.	
						01-24-155-5323	75.00
					73371	PA Game Commission fee for state	
						01-24-155-5323	50.00
						Total :	**407.90**
60054	2/12/2020	01102	GARDEN STATE HWY PRODUCTS, INC	PSIN011537		SIGN FACES / SIGN BLANKS	
	YTD Amount:	3,946.00					
					73148	SIGN FACES / SIGN BLANKS	
						03-13-143-5325	3,798.90
						Total :	**3,798.90**
60055	2/12/2020	01077	GENERAL HIGHWAY PRODUCTS INC	020766		GREEN LED MODULE~	
	YTD Amount:	924.00					
					73498	GREEN LED MODULE~	
						03-13-146-5304	924.00
						Total :	**924.00**
60056	2/12/2020	00512	GEPPERT INC., WILLIAM A	24288		SUPPLIES - CODE - AMY'S OFFIC	
	YTD Amount:	2,230.89					
					73439	Supplies - Code - Amy's Office-$26	
						01-01-030-5317	26.36

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60056	2/12/2020	00512	GEPPERT INC., WILLIAM A	(Continued)			
				24824		SUPPLIES FOR STORM WATER F	
						SUPPLIES FOR STORM WATER F	
						07-00-967-7200	30.57
				25090		ALVERTHORPE PARK CONTROL	
					73421	Alverthorpe Park Control Building	
						01-24-151-5323	78.74
						Total :	**135.67**
60057	2/12/2020	05517	GLASGOW, INC.	124560		ROADWAY PAVING	
	YTD Amount:	2,895.35					
						ROADWAY PAVING	
						07-00-967-7200	1,958.08
						Total :	**1,958.08**
60058	2/12/2020	01070	GOV'T FINANCE OFFICERS ASSOC.	MEMBERSHIP		MEMBERSHIP FOR FINANCE OFI	
	YTD Amount:	595.00					
						MEMBERSHIP FOR FINANCE OFI	
						01-05-010-5301	595.00
						Total :	**595.00**
60059	2/12/2020	14819	HEI-WAY, LLC	00124030		10 TONS OF COLD PATCH FOR F	
	YTD Amount:	1,081.28					
					73415	10 TONS OF COLD PATCH FOR F	
						01-13-131-5323	1,081.28
						Total :	**1,081.28**
60060	2/12/2020	00851	HOME DEPOT CREDIT SERVICES	see attached		ALVERTHORPE PARK CONTROL	
	YTD Amount:	7,141.79					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60060	2/12/2020	00851	HOME DEPOT CREDIT SERVICES	(Continued)			
					73363	Alverthorpe Park Control Building	
						01-24-151-5323	260.91
					73410	SLEDGE HAMMERS & BOLT CUT	
						01-13-131-5323	164.90
					73484	CLEANING SUPPLIES	
						02-10-201-5300	115.78
					73484	STORAGE BOXES	
						02-10-204-5322	30.91
					73368	Materials needed to repair sink.	
						01-24-155-5317	91.27
					73427	parts to open locks in cell block	
						01-04-043-5330	14.94
						Total :	**678.71**
60061	2/12/2020	15870	HOME GENERATOR INSTALLATIONS	REFUND		REFUND FOR PERMIT	
	YTD Amount:	309.00					
						REFUND FOR PERMIT	
						01-00-000-4325	300.00
						REFUND FOR PERMIT	
						12-00-000-2510	9.00
						Total :	**309.00**
60062	2/12/2020	15869	HYATT REGENCY NEW ORLEANS	LODGING		HOTEL FOR FBINAA CONFEREN	
	YTD Amount:	1,054.99					
					73429	Hotel for FBINAA Conference - Chi	
						01-04-040-5234	1,054.99
						Total :	**1,054.99**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60063	2/12/2020	15311	IDENTIFIX, ILOCKBOX SERVICES 300661	484252-20		V.M. PROGRAM SUBSCRIPTION	
	YTD Amount:	1,068.00					
					73434	V.M. PROGRAM SUBSCRIPTION	
						01-14-186-5304	1,068.00
						Total :	**1,068.00**
60064	2/12/2020	05119	INTERNATIONAL ASSOC CHIEFS	RENEWAL-009(		ANNUAL MEMBERSHIP FEES FO	
	YTD Amount:	760.00					
					73539	Annual membership fees for Lt. Po	
						01-04-040-5301	190.00
				RENEWAL-009(		ANNUAL MEMBERSHIP DUES - 2	
					73521	Annual membership dues - 2020 - (	
						01-04-040-5301	190.00
						Total :	**380.00**
60065	2/12/2020	13825	INTERSTATE GRAPHICS	2131		DECAL FOR 29-22	
	YTD Amount:	7,175.00					
					73500	DECAL FOR 29-22	
						01-14-186-5332	15.00
						Total :	**15.00**
60066	2/12/2020	01320	JAMAR TECHNOLOGIES, INC.	0048675		WEBINAR AND SOFTWARE FOR	
	YTD Amount:	2,190.00					
					73315	Webinar and software for collection	
						01-04-048-5305	1,595.00
				0048774		COMPUTER FOR CALIBRATIONS	
					73423	Computer for calibrations	
						01-04-048-5305	595.00
						Total :	**2,190.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60067	2/12/2020	03652	KENCO HYDRAULICS, INC.	14256-1		REBUIDING OF PLOW CYLINDEF	
	YTD Amount:	525.00					
					73398	rebuiding of plow cylinder	
						01-14-186-5304	525.00
						Total :	**525.00**
60068	2/12/2020	00844	KUFEN MOTOR PUMP TECHNOLOGIES	RR18501		REPLACEMENT CIRCULATOR PU	
	YTD Amount:	551.33					
					73485	REPLACEMENT CIRCULATOR PU	
						02-10-200-5304	551.33
						Total :	**551.33**
60069	2/12/2020	13362	LANDSCAPE ARCHITECTURE, SIMONE-(	13476		ABINGTON TAP TRAILS CD'S	
	YTD Amount:	2,607.48					
						ABINGTON TAP TRAILS CD'S	
						07-01-500-7524	1,262.50
						Total :	**1,262.50**
60070	2/12/2020	12818	LANSDALE CHRYSLER	113132		PARTS FOR 29-12/ 29-16	
	YTD Amount:	702.51					
					73479	PARTS FOR 29-12/ 29-16	
						01-14-186-5304	447.28
						Total :	**447.28**
60071	2/12/2020	08105	LENTES, MARIANNE	FEBRUARY		REIMBURSE RETIREES INSIURA	
	YTD Amount:	389.56					
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	194.78
						Total :	**194.78**
60072	2/12/2020	12361	LIBERTY PRODUCTS GROUP, INC	0174046		BUSINESS CARDS INCLUDING F	
	YTD Amount:	90.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60072	2/12/2020	12361	LIBERTY PRODUCTS GROUP, INC	(Continued)			
					73430	Business Cards including free Grap	
						01-15-057-5323	90.00
						Total :	**90.00**
60073	2/12/2020	15872	LILES, NANCY	REFUND		REFUND DRAWING CLASS	
	YTD Amount:	180.00					
						REFUND DRAWING CLASS	
						01-00-000-4427	180.00
						Total :	**180.00**
60074	2/12/2020	05516	LOWE'S BUSINESS ACCOUNT	02991		TOOLS FOR TRUCK #135	
	YTD Amount:	2,423.70					
					73499	TOOLS FOR TRUCK #135	
						01-13-131-5323	55.07
						Total :	**55.07**
60075	2/12/2020	06010	MacFARLAND, JAMES	FEBRUARY		REIMBURSE RETIREES INSURAN	
	YTD Amount:	389.56					
						REIMBURSE RETIREES INSURAN	
						05-01-029-5102	194.78
						Total :	**194.78**
60076	2/12/2020	09136	MASON CO., INC., W.B.	207041248		WHITE BOARD, BINDERS, FLILE	
	YTD Amount:	2,195.36					
					73362	White board, binders, flile folders	
						01-24-150-5300	176.85
				207091161		OFFICE SUPPLIES FOR ROC - BI	
					73373	Office supplies for ROC - binders,	
						01-04-055-5300	108.90

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60076	2/12/2020	09136	MASON CO., INC., W.B.	(Continued)			
				207134117		OFFICE SUPPLIES.	
					73401	Office supplies.	
						01-24-155-5300	340.13
				207283151		WATER CUPS FOR DEPARTMEN	
					73424	water cups for department	
						01-04-055-5323	246.96
					73424	toner cartridges for training center	
						01-04-062-5300	150.06
						Total :	**1,022.90**
60077	2/12/2020	10456	MEGELSH, GEORGE	JANUARY		REIMBURSE RETIREES INSURAN	
	YTD Amount:	704.00					
						REIMBURSE RETIREES INSURAN	
						05-01-028-5102	352.00
						Total :	**352.00**
60078	2/12/2020	09452	MELISSEN, BEN	01/28/2020		ATFD FIRE TRAINING FACILITY.~	
	YTD Amount:	1,600.00					
					73468	ATFD Fire Training Facility.~	
						01-15-064-5305	1,600.00
						Total :	**1,600.00**
60079	2/12/2020	03690	METRO ELEVATOR CO., INC.	103466		MONTHLY MAINTENANCE CONT	
	YTD Amount:	213.22					
					73440	Monthly Maintenance Contract - $9	
						01-01-030-5305	90.62
						Total :	**90.62**
60080	2/12/2020	15876	MICCIOLO, DONNA	JANUARY		RETIREE INSRUANCE	
	YTD Amount:	194.78					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60080	2/12/2020	15876	MICCIOLO, DONNA	(Continued)			
						RETIREE INSURANCE	
						05-01-029-5102	194.78
						Total :	**194.78**
60081	2/12/2020	04813	MOLLOY, PATRICK	REIMBURSEME		REIMBURSEMENT FOR COMMAI	
	YTD Amount:	154.99					
					73541	Reimbursement for command mee	
						01-04-040-5340	154.99
						Total :	**154.99**
60082	2/12/2020	13218	MORTON SALT, INC.	SEE ATTACHEI		50 TONS OF ROCKSALT FOR P.V	
	YTD Amount:	24,413.57					
					73341	50 tons of rocksalt for p.w. crews	
						03-13-140-5325	24,413.57
						Total :	**24,413.57**
60083	2/12/2020	15196	MURPHY, JACK	FEBRUARY		RETIREES INSURANCE REIMBUI	
	YTD Amount:	519.56					
						RETIREES REIMBURSEMENT	
						05-01-029-5102	194.78
						Total :	**194.78**
60084	2/12/2020	04265	OFFICE BASICS, INC.	L-1441786		PAYROLL ENVELOPES FOR FINA	
	YTD Amount:	1,902.49					
					73526	Payroll Envelopes for Finance	
						01-05-010-5300	75.96
						Total :	**75.96**
60085	2/12/2020	12342	PA NARCOTICS OFFICER ASSOC	APPPLICATION		PNOA APPLICATION FOR OFC. W	
	YTD Amount:	25.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60085	2/12/2020	12342	PA NARCOTICS OFFICER ASSOC	(Continued)			
					73482	PNOA Application for Ofc. Walters t	
						01-04-053-5340	25.00
						Total :	**25.00**
60086	2/12/2020	01339	PENNSYLVANIA MUNICIPAL LEAGUE	REGISTRATION		LT. PORTER - REGISTRATION FC	
	YTD Amount:	965.00					
					73388	Lt. Porter - registration for PELRAS	
						01-04-040-5234	215.00
						Total :	**215.00**
60087	2/12/2020	12563	PETROLEUM TRADERS CORPORATION	1497884		6002.00 GALLONS OF UNLEADEI	
	YTD Amount:	69,897.85					
					73406	6002.00 GALLONS OF UNLEADEI	
						01-14-186-5310	10,726.93
				1502110		6000 GALLONS OF UNLEADED F	
					73345	6000 GALLONS OF UNLEADED F	
						01-14-186-5310	10,204.36
				1506977		6500 GALLONS OF DIESEL FUEL	
					73502	6500 GALLONS OF DIESEL FUEL	
						01-14-186-5310	11,621.98
						Total :	**32,553.27**
60088	2/12/2020	05858	PPC LUBRICANTS	1751315		GREASE	
	YTD Amount:	1,583.77					
					73223	grease	
						01-14-186-5310	942.52
				1754004		4000 GALLONS OF DIESEL EXHA	
					73339	4000 GALLONS OF DIESEL EXHA	
						01-14-186-5310	641.25

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60088	2/12/2020	05858	PPC LUBRICANTS	(Continued)			Total :	**1,583.77**
60089	2/12/2020	04032	PREMIUM CLEANING SERVICE CORP	509188		JANUARY		
	YTD Amount:	726.00						
					73171	January		
						01-24-157-5305		150.00
							Total :	**150.00**
60090	2/12/2020	01087	PROPERTY & LIABILITY TRUST, DELAWA	PREM20-ABING		2020 CONTRIBUTION		
	YTD Amount:	237,442.75						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60090	2/12/2020	01087	PROPERTY & LIABILITY TRUST, DELAWA	(Continued)			
						2020 CONTRIBUTION	
						01-01-002-5349 2020 CONTRIBUTION	6,774.99
						01-05-010-5349 2020 CONTRIBUTION	1,143.46
						01-02-021-5349 2020 CONTRIBUTION	629.76
						01-04-040-5349 2020 CONTRIBUTION	100,258.25
						01-23-072-5349 2020 CONTRIBUTION	8,634.00
						01-06-081-5349 2020 CONTRIBUTION	2,395.51
						01-07-110-5349 2020 CONTRIBUTION	1,664.76
						01-13-130-5349 2020 CONTRIBUTION	25,493.00
						01-24-150-5349 2020 CONTRIBUTION	18,040.27
						01-14-186-5349 2020 CONTRIBUTION	3,037.52
						01-15-057-5349 2020 CONTRIBUTION	5,569.90
						14-12-100-5349 2020 CONTRIBUTION	18,118.33
						02-10-201-5349	45,683.00

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60090	2/12/2020	01087	PROPERTY & LIABILITY TRUST, DELAWA	(Continued)		Total :	**237,442.75**
60091	2/12/2020	10963	QUALITY CARRIERS, INC.	11500977001		FEES FOR THE TRANSPORTATIC	
	YTD Amount:	928.47					
					73206	fees for the transportation of lime	
						02-10-200-5326	928.47
						Total :	**928.47**
60092	2/12/2020	12992	READY REFRESH	JANUARY		REFUSE DEPARTMENT	
	YTD Amount:	185.06					
						REFUSE DEPARTMENT	
						14-12-100-5311	45.85
						REFUSE DEPT	
						01-13-130-5311	45.86
						Total :	**91.71**
60093	2/12/2020	12995	READY REFRESH	JANUARY		ADMINISTRATION BUILDING	
	YTD Amount:	230.40					
						ADMINISTRATOIN BUILDING	
						01-01-030-5311	121.63
						Total :	**121.63**
60094	2/12/2020	07388	RED THE UNIFORM TAILOR INC, GALLS I	BC1020811 102		LT. FINK - BC1020811 - 1/4 ZIP SV	
	YTD Amount:	1,105.30					
					73428	Lt. Fink - BC1020811 - 1/4 zip swea	
						01-04-043-5316	102.50
					73428	Witter & Nicholas - BC1020886 - be	
						01-04-044-5316	142.50
				BC1035151		WITTMER - BC1035151 - 1/4 FLEE	
					73515	Wittmer - BC1035151 - 1/4 fleece s	
						01-04-044-5316	108.50

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60094	2/12/2020	07388	RED THE UNIFORM TAILOR INC, GALLS I	(Continued)		Total :	**353.50**
60095	2/12/2020	15860	RESORTS HOTEL	LODGING		CONROY, M. GARGAN, PRZYBYL	
	YTD Amount:	258.24					
					73391	Conroy, M. Gargan, Przybylowski -	
						01-04-056-5234	258.24
						Total :	**258.24**
60096	2/12/2020	01784	ROMAN, PHILLIP A.	FEBRUARY		RETIREES MEDICAL REIMBURSE	
	YTD Amount:	956.82					
						REIMBURSE RETIREE'S INSURA	
						05-01-029-5102	478.41
						Total :	**478.41**
60097	2/12/2020	00053	SAXON OFFICE TECHNOLOGY, INC.	968884		JANUARY MONTHLY PRINTER C	
	YTD Amount:	1,860.74					
					73467	January Monthly Printer Contract~	
						01-01-005-5305	752.00
						Total :	**752.00**
60098	2/12/2020	04607	SHAPIRO FIRE PROTECTION CO	8987		FIRE EXTINGUISHER RECHARGI	
	YTD Amount:	315.47					
					73435	FIRE EXTINGUISHER RECHARGI	
						01-14-186-5304	224.90
						Total :	**224.90**
60099	2/12/2020	15374	SHERATON HARRISBURG, HERSHEY HC	LODGING		LT. MAGEE - HOTEL - PLEAC CO	
	YTD Amount:	226.44					
					73383	Lt. Magee - Hotel - PLEAC Confere	
						01-04-063-5234	226.44
						Total :	**226.44**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60100	2/12/2020	01012	SPAHR-EVANS PRINTERS	31648		BUSINESS CARDS FOR DET HEN	
	YTD Amount:	1,560.00					
					73376	business cards for Det Henze and I	
						01-04-055-5303	76.00
						Total :	**76.00**
60101	2/12/2020	12730	STATE WORKER'S INS. FUND	3 OF 11		SWIF PAYMENT	
	YTD Amount:	6,392.00					
						SWIF PAYMENT	
						01-15-091-5215	3,196.00
						Total :	**3,196.00**
60102	2/12/2020	12848	STORKS AUTOMOTIVE	1048		PLOW BLADE FOR #410	
	YTD Amount:	1,510.00					
					73483	PLOW BLADE FOR #410	
						01-14-186-5304	1,510.00
						Total :	**1,510.00**
60103	2/12/2020	08178	SWANA	membership		REGISTRATION RENEWAL FOR I	
	YTD Amount:	457.00					
					73382	REGISTRATION RENEWAL FOR I	
						14-12-100-5301	457.00
						Total :	**457.00**
60104	2/12/2020	15540	THE HOME DEPOT PRO	530886365		PAPER SUPPLIES FOR TWNSHP	
	YTD Amount:	5,774.11					
					73442	Paper Supplies for Twnshp Bldg.$1	
						01-01-030-5318	1,156.79
						Total :	**1,156.79**
60105	2/12/2020	15270	THE MACK SERVICE GROUP	1377142		HEATING OIL	
	YTD Amount:	1,287.83					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60105	2/12/2020	15270	THE MACK SERVICE GROUP	(Continued)			
						heating oil	
				1377143		01-24-157-5309 HEATING OIL HEATING OIL	199.47
						01-24-157-5309	277.37
						Total :	**476.84**
60106	2/12/2020	12725	TINARI CONTAINER SERVICE	112719		ATFD FIRE TRAINING FACILITY -	
	YTD Amount:	498.60					
					73433	ATFD Fire Training Facility -	
						01-15-064-5305	498.60
						Total :	**498.60**
60107	2/12/2020	13060	TRADS	348119		TLO DATA PLAN JANUARY INVOI	
	YTD Amount:	162.40					
					73542	TLO data plan January invoice	
						01-04-053-5305	97.80
						Total :	**97.80**
60108	2/12/2020	15874	UNITEDHEALTHCARE	FEBRUARY		RETIREES & COBRA MEIDCARE	
	YTD Amount:	48,917.16					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60108	2/12/2020	15874	UNITEDHEALTHCARE	(Continued)			
						Police-No Prescription	
						05-01-028-5111 Police-With Prescription	1,753.02
						05-01-028-5111 Non-Police-No Prescription	6,952.10
						05-01-029-5111 Non-Police-with Prescription	3,116.48
						05-01-029-5111 Cobra-No Prescription	12,442.20
				JANUARY		01-28-012-5111 RETIREES & COBRA HEALTHINS POLICE-NO PRESCRIPTION	194.78
						05-01-028-5111 POLICE-WITH PRESCRIPTION	1,753.02
						05-01-028-5111 NON-POLICE- NO PRESCRIPTIOI	6,952.10
						05-01-029-5111 NON-POLICE-WITH PRESCRIPTI	3,116.48
						05-01-029-5111 COBRA-NO PRESCRPITION	12,442.20
						01-28-012-5111	194.78
						Total :	**48,917.16**
60109	2/12/2020 YTD Amount:	00112 752.46	VERIZON	JANUARY		TELEPHONE BILLINGS PUMP ST.	

C-41

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60109	2/12/2020	00112	VERIZON	(Continued)			
						TELEPHONE BILLINGS pump stat	
						02-10-203-5307	71.98
						TELEPHONE BILLINGS-FERNWO	
						02-10-200-5307	37.23
						Total :	**109.21**
60110	2/12/2020	08717	VERIZON	JANUARY		POLICE FRAME RELAY-POLICE (	
	YTD Amount:	795.17					
						POLICE FRAME RELAY-POLICE (	
						01-04-055-5305	795.17
						Total :	**795.17**
60111	2/12/2020	08719	VERIZON	FEBRUARY		Police & Fire training facility~	
	YTD Amount:	163.01					
						Police & Fire training facility~	
						01-15-064-5307	81.60
						Total :	**81.60**
60112	2/12/2020	13436	VERIZON	JANUARY		ALVERTHORPE MANOR PHONE	
	YTD Amount:	30.35					
					73412	Alverthorpe Manor Phone ~	
						01-24-150-5307	30.35
						Total :	**30.35**
60113	2/12/2020	14496	VERIZON	JANUARY		ATFD INTERNET	
	YTD Amount:	149.98					
						INTERNET SERVICE FOR FIRE D	
						01-15-064-5302	149.98
						Total :	**149.98**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60114	2/12/2020	15732	VERIZON	FEBRUARY		SERVICE FOR NORTH HILLS PUI	
	YTD Amount:	79.15				SERVICE AT NORTH HILLS PUMF	
						02-10-203-5307	38.96
						Total :	**38.96**
60115	2/12/2020	08425	VERIZON WIRELESS	JANUARY		WWTP PUMP STATIONS	
	YTD Amount:	168.48				WWTP PUMP STATIONS - METEF	
						02-10-203-5307	84.24
						Total :	**84.24**
60116	2/12/2020	12631	VILE, EILEEN	JANUARY		REIMBURSE RETIREES INSURAI	
	YTD Amount:	744.78				REIMBURSE RETIREES INSURAI	
						05-01-029-5102	194.78
						Total :	**194.78**
60117	2/12/2020	07500	VILE, SUSAN ELIZABETH	01/30/2020		TRANSCRIPTION/EDITING OF MI	
	YTD Amount:	1,675.25				Transcription/Editing of minutes for	
						01-01-002-5305	139.75
						Total :	**139.75**
60118	2/12/2020	11570	VISUAL COMPUTER SOLUTIONS INC	11751		REGISTRATION FOR CONROY, M	
	YTD Amount:	1,947.00			73390	Registration for Conroy, M. Gargan	
						01-04-056-5234	1,947.00
						Total :	**1,947.00**
60119	2/12/2020	14012	VIVINT SOLAR DEVELOPER LLC	REFUND		REFUND OF PERMIT	
	YTD Amount:	219.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60119	2/12/2020	14012	VIVINT SOLAR DEVELOPER LLC	(Continued)			
						REFUND OF PERMIT	
						01-00-000-4325	210.00
						REFUND OF PERMIT	
						12-00-000-2510	9.00
						Total :	**219.00**
60120	2/12/2020	01204	WATER ENVIRONMENT FEDERATION	90000678037		COLLECTION SYSTEM OPERATC	
	YTD Amount:	241.75					
					73490	COLLECTION SYSTEM OPERATC	
						02-10-200-5234	241.75
						Total :	**241.75**
60121	2/12/2020	01032	WEINSTEIN SUPPLY CORP.	S024615460.00		ALVERTHORPE PARK CONTROL	
	YTD Amount:	104.84					
					73417	Alverthorpe Park Control Building	
						01-24-151-5323	65.48
						Total :	**65.48**
60122	2/12/2020	05142	WINTER EQUIP.CO.,INC	IV43503		SNOW PLOW PARTS	
	YTD Amount:	1,313.26					
					73374	SNOW PLOW PARTS	
						01-14-186-5304	1,313.26
						Total :	**1,313.26**
60123	2/12/2020	11732	WITMER PUBLIC SAFETY GROUP INC	1995845		ATFD AIR TRUCK. ANNUAL BREA	
	YTD Amount:	1,073.00					
					73471	ATFD Air Truck. Annual Breathing A	
						01-15-091-5304	1,073.00
						Total :	**1,073.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60124	2/12/2020	15864	WYNDHAM ORLANDO RESORT	LODGING		LT. MAGEE AND K. PRZYBYLOWI	
	YTD Amount:	1,530.00					
					73408	Lt. Magee and K. Przybylowki - hote	
						01-04-063-5234	1,530.00
						Total :	**1,530.00**

122 Vouchers for bank code : ap2 — Bank total : **1,174,581.33**

122 Vouchers in this report — Total vouchers : **1,174,581.33**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60125	2/14/2020	02899	CHELTENHAM POLICE DEPT.	SOBRIETY CHE		CHECKPOINT - AUGUST 24, 2019	
	YTD Amount:	4,983.60					
					73377	Checkpoint - August 24, 2019	
						06-04-077-5333	734.80
					73377	Checkpoint - August 9, 2019	
						06-04-077-5333	694.80
					73377	Checkpoint - August 31, 2019	
						06-04-077-5333	694.80
					73377	Checkpoint - September 13, 2019	
						06-04-077-5333	347.40
					73377	Checkpoint - October 18, 2019	
						06-04-077-5333	1,777.00
						Total :	**4,248.80**
60126	2/14/2020	00242	CHELTENHAM TOWNSHIP	4TH QTR QUAF		SPS QUARTERLY WASTEWATER	
	YTD Amount:	18,563.41					
						SPS QUARTERLY WASTEWATER	
						12-00-000-5899	18,563.41
						Total :	**18,563.41**
60127	2/14/2020	15382	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-TWP BUILDING	
	YTD Amount:	1,257.50					
						GAS SUPPLY-TWP BUILDING	
						01-01-030-5308	826.48
						Total :	**826.48**
60128	2/14/2020	15417	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-PARKS	
	YTD Amount:	121.85					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60128	2/14/2020	15417	CONSTELLATION NEW ENERGY	(Continued)				
						GAS SUPPLY-PARKS		
						01-24-157-5308		64.10
							Total :	**64.10**
60129	2/14/2020	15419	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-BBNC		
	YTD Amount:	303.26						
						GAS SUPPLY-BBNC		
						01-13-130-5308		127.80
							Total :	**127.80**
60130	2/14/2020	15420	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-ARDSLEY CC		
	YTD Amount:	2,759.60						
						GAS SUPPLY-ARDSLEY CC		
						01-24-152-5308		1,515.88
							Total :	**1,515.88**
60131	2/14/2020	15421	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-HIGHWAY		
	YTD Amount:	927.24						
						GAS SUPPLY-HIGHWAY		
						01-13-130-5308		416.80
							Total :	**416.80**
60132	2/14/2020	15422	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY -WWTP		
	YTD Amount:	1,861.46						
						GAS SUPPLY -WWTP		
						02-10-200-5308		822.05
						GAS SUPPLY -WWTP		
						02-10-203-5308		184.64
							Total :	**1,006.69**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60133	2/14/2020	15424	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-TRAINING CENTER	
	YTD Amount:	593.33				GAS SUPPLY-TRAINING CENTER	
						01-04-062-5308	260.84
						Total :	**260.84**
60134	2/14/2020	15426	CONSTELLATION NEW ENERGY	DECEMBER		GAS SUPPLY-CRESTMONT	
	YTD Amount:	113.81				GAS SUPPLY-CRESTMONT	
						01-24-157-5308	69.35
						Total :	**69.35**
60135	2/14/2020	02074	DSI MEDICAL SERVICES, INC.	DRUG TEST FI		FIRE DEPT DRUG & SUBSTANCI	
	YTD Amount:	1,833.41				FIRE DEPT DRUG & SUBSTANCI	
						01-15-064-5305	87.16
						Total :	**87.16**
60136	2/14/2020	01778	FINK, STEVEN	ER REIMBURSI		ER VISIT REIMBURSEMENT	
	YTD Amount:	4,122.82				ER VISIT REIMBURSEMENT	
						01-28-012-5111	100.00
						Total :	**100.00**
60137	2/14/2020	00462	FRIENDS OF BRIAR BUSH	REIMBURSEME		YEARLY SUBSCRIPTION FOR WI	
	YTD Amount:	9,212.24					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60137	2/14/2020	00462	FRIENDS OF BRIAR BUSH	(Continued)			
					73556	Yearly subscription for Wix email	
						01-24-155-5305	103.20
					73556	Surgery for opossum.	
						01-24-155-5323	123.00
					73556	Medication for opossum.	
						01-24-155-5323	25.20
						Total :	**251.40**
60138	2/14/2020	01069	GLENSIDE LAWN & GARDEN, INC.	33593		TWO SNOW BLOWERS, TWO BA	
	YTD Amount:	667.06					
					72429	Two snow blowers, two back pack	
						01-24-158-5323	509.99
				34483		PARTS FOR MACHINES IN PARK:	
					73519	PARTS FOR MACHINES IN PARK:	
						01-14-186-5304	35.95
						Total :	**545.94**
60139	2/14/2020	05516	LOWE'S BUSINESS ACCOUNT	902022		SPACE HEATER	
	YTD Amount:	2,628.81					
						SPACE HEATER	
						01-01-002-5340	205.11
						Total :	**205.11**
60140	2/14/2020	14392	MCKINLEY FIRE COMPANY	INSURANCE RE		INSURANCE REIMBURSEMENT -	
	YTD Amount:	4,143.00					
					73403	INSURANCE REIMBURSEMENT -	
						01-15-091-5216	4,143.00
						Total :	**4,143.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60141	2/14/2020	01200	McMAHON ASSOCIATES, INC.	166555		PROJECT 817793.3A~	
	YTD Amount:	22,086.87					
						PROJECT 817793.3A~	
						03-13-146-5304	420.00
				166973		PROJECT 817507.2B~	
						PROJECT 817507.2B~	
						07-01-500-7524	12,737.77
				166974		PROJECT 817507.3A~	
						PROJECT 817507.3A~	
						06-01-224-5305	630.37
				166976		PROJECT 818164.1A~	
						PROJECT 818164.1A~	
						07-01-500-7524	980.00
				166977		PROJECT 818187.2A~	
						PROJECT 818187.2A~	
						07-01-500-7524	7,318.73
						Total :	**22,086.87**
60142	2/14/2020	04032	PREMIUM CLEANING SERVICE CORP	508930		CARPET CLEANING FOR MAIN B	
	YTD Amount:	1,151.00					
					73557	Carpet cleaning for main building.	
						01-24-155-5305	425.00
						Total :	**425.00**
60143	2/14/2020	13940	QUALLET H.V.A.C.	12/20/2019		HEATER REPAIR IN REFUSE BUI	
	YTD Amount:	510.00					
					73549	HEATER REPAIR IN REFUSE BUI	
						14-12-100-5322	510.00
						Total :	**510.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60144	2/14/2020	00981	ROSLYN SUPPLY-GULFEAGLE 103	S8993677-001		ROOFING SHINGLES FOR PUBLI	
	YTD Amount:	11,435.23					
					73163	ROOFING SHINGLES FOR PUBLI	
						01-13-131-5323	10,371.26
						Total :	**10,371.26**
60145	2/14/2020	03986	SPRINGFIELD POLICE DEPT.	SOBRIETY CHE		CHECKPOINT - OCTOBER 18, 20	
	YTD Amount:	1,080.35					
					73378	Checkpoint - October 18, 2019	
						06-04-077-5333	724.35
						Total :	**724.35**
60146	2/14/2020	04380	UPPER DUBLIN POLICE DEPT.	SOBRIETY CHE		CHECKPOINT - OCTOBER 18, 20	
	YTD Amount:	2,220.42					
					73380	Checkpoint - October 18, 2019	
						06-04-077-5333	417.95
					73380	Checkpoint - August 31, 2019	
						06-04-077-5333	442.80
					73380	Checkpoint - August 24, 2019	
						06-04-077-5333	694.70
					73380	Checkpoint - October 4, 2019	
						06-04-077-5333	250.77
						Total :	**1,806.22**
60147	2/14/2020	01027	VALLEY POWER INC	S1167582.001		SUPPLIES NEEDED FOR TRAINI	
	YTD Amount:	649.81					
						SUPPLIES NEEDED FOR TRAINI	
						01-04-062-5340	65.87
						Total :	**65.87**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60148	2/14/2020	04379	WHITEMARSH POLICE DEPT.	SOBRIETY CHE		CHECKPOINT - OCTOBER 4, 201	
	YTD Amount:	2,027.00					
					73379	Checkpoint - October 4, 2019	
						06-04-077-5333	2,027.00
						Total :	**2,027.00**

24 Vouchers for bank code : ap2 — Bank total : **70,449.33**

24 Vouchers in this report — Total vouchers : **70,449.33**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60149	2/18/2020	15891	USPS	POSTAGE		POSTAGE FOR SPRING & SUMM	
	YTD Amount:	3,648.27				POSTAGE FOR SPRING & SUMM	
						01-24-150-5303	3,648.27
						Total :	**3,648.27**
60150	2/19/2020	00941	PA RECREATION & PARK SOCIETY	DISCOUNT TICI		JANUARY DISCOUNT TICKETS	
	YTD Amount:	5,953.00			73543	January Discount Tickets	
						01-24-156-5331	1,725.00
						Total :	**1,725.00**
60151	2/19/2020	00004	ABINGTON AUTO CARE	TOWING		TOWING CHARGES FOR JANUAI	
	YTD Amount:	245.00			73571	TOWING CHARGES FOR JANUAI	
						01-14-186-5304	55.00
						Total :	**55.00**
60152	2/19/2020	14391	ABINGTON FIRE COMPANY	INSURANCE		I	
	YTD Amount:	8,945.00			73510	INSURANCE REIMBURSEMENT -	
						01-15-091-5216	8,945.00
						Total :	**8,945.00**
60153	2/19/2020	00017	ACKER'S HARDWARE, INC.	2001-066955		MISC. SUPPLIES FOR HIGHWAY	
	YTD Amount:	110.11			73114	MISC. SUPPLIES FOR HIGHWAY	
						01-13-131-5323	19.30
						Total :	**19.30**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60154	2/19/2020	02961	ACKER'S HARDWARE, INC.	2001-069229		ALVERTHORPE PARK PRESCHO	
	YTD Amount:	436.94					
					73546	Alverthorpe Park Preschool Buildin	
						01-24-151-5323	31.84
						Total :	**31.84**
60155	2/19/2020	15819	AIRGAS USA, LLC	9967853851		WELDING SUPPLIES FOR V.M.	
	YTD Amount:	175.75					
					73136	WELDING SUPPLIES FOR V.M.	
						01-14-186-5304	175.75
						Total :	**175.75**
60156	2/19/2020	10093	ARDMORE TIRE COMPANY	SEE LIST		TIRES AND RETREAD FOR TWP.	
	YTD Amount:	10,284.25					
					73115	TIRES AND RETREAD FOR TWP.	
						01-14-186-5304	5,973.20
						Total :	**5,973.20**
60157	2/19/2020	14583	BATTERIES PLUS BULBS	22838737		12 VOLT BATTERIES	
	YTD Amount:	221.70					
					73495	12 VOLT BATTERIES	
						02-10-200-5322	221.70
						Total :	**221.70**
60158	2/19/2020	00707	BILLOWS ELECTRIC SUPPLY INC	4680033 469816		MONTHLY ELECTRICAL SUPPLIE	
	YTD Amount:	6,569.70					
					73145	MONTHLY ELECTRICAL SUPPLIE	
						01-13-117-5320	404.32
				4694974-00		ALVERTHORPE MANOR FRONT I	
					73419	Alverthorpe Manor front light	
						01-24-157-5317	43.64

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60158	2/19/2020	00707	BILLOWS ELECTRIC SUPPLY INC	(Continued)			
				4705429-00		LIGHTS FOR ACEC	
					73477	Lights for ACEC	
						01-24-152-5323	806.65
						Total :	**1,254.61**
60159	2/19/2020	00187	BRYNER CHEVROLET INC.	931476		TRAILING ARM FOR #29-45	
	YTD Amount:	59.92					
					73572	trailing arm for #29-45	
						01-14-186-5304	59.92
						Total :	**59.92**
60160	2/19/2020	08363	CODE INSPECTIONS INC	200399		BCO SERVICES & BUILDING INSI	
	YTD Amount:	2,600.00					
					73576	BCO SERVICES AND COVERING	
						01-06-084-5305	1,592.50
						Total :	**1,592.50**
60161	2/19/2020	08628	CONTRACT & COMMERCIAL INC., STAPL	3437088494		PAPER CLIPS, RUBBER BANDS,	
	YTD Amount:	4,498.58					
					73361	Paper clips, rubber bands, time car	
						01-24-150-5300	144.78
						Total :	**144.78**
60162	2/19/2020	09949	COURIER TIMES, INC.	3-006919006		LEGAL ADVERTISING	
	YTD Amount:	2,571.78					
						LEGAL ADVERTISING	
						01-01-002-5303	1,308.81
						Total :	**1,308.81**
60163	2/19/2020	13388	COVANTA ENERGY, LLC	275200ABING		MUNICIPAL SOLID WASTE	
	YTD Amount:	261,383.54					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60163	2/19/2020	13388	COVANTA ENERGY, LLC	(Continued)				
						MUNICIPAL SOLID WASTE		
						14-12-103-5305		132,118.39
							Total :	**132,118.39**
60164	2/19/2020	09816	DELAWARE VALLEY TRUCK SERVICE	60873		REAR SPRING PADS FOR #123		
	YTD Amount:	2,798.41						
					73554	REAR SPRING PADS FOR #123		
						01-14-186-5304		2,798.41
							Total :	**2,798.41**
60165	2/19/2020	01096	EAGLE POWER & EQUIP CORP	ABING001		PARTS FOR LOADER		
	YTD Amount:	3,377.90						
					73540	PARTS FOR LOADER		
						01-14-186-5304		50.40
							Total :	**50.40**
60166	2/19/2020	00419	FEDERAL EXPRESS	5-403-55311		OVERNIGHT MAILINGS		
	YTD Amount:	80.25						
						OVERNIGHT MAILINGS		
						01-01-002-5306		51.57
							Total :	**51.57**
60167	2/19/2020	00462	FRIENDS OF BRIAR BUSH	REIMBURSEME		STORAGE BOXES.		
	YTD Amount:	9,982.88						
					73533	Storage boxes.		
						01-24-155-5323		185.64
					73533	Deposit for roof repair.		
						01-24-155-5317		585.00
							Total :	**770.64**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60168	2/19/2020	15688	FRITCH, CANDACE	REFUND		REFUND WATER COLOR CLASS	
	YTD Amount:	180.00					
						REFUND WATER COLOR CLASS	
						01-00-000-4427	180.00
						Total :	**180.00**
60169	2/19/2020	08784	GARGAN, MELISSA	REIMBURSEME		FOOD AND SUPPLIES FOR RECF	
	YTD Amount:	115.74					
					73587	food and supplies for recruiting	
						01-04-040-5340	115.74
						Total :	**115.74**
60170	2/19/2020	00512	GEPPERT INC., WILLIAM A	23757		DRILL BITS & TIE DOWN STRAPS	
	YTD Amount:	2,413.11					
					73568	DRILL BITS & TIE DOWN STRAPS	
						01-13-117-5320	82.53
				25049 25637		MATERIALS NEEDED FOR BASEI	
					73536	Materials needed for basement	
						01-24-155-5323	15.68
					73536	Materials needed basement renova	
						01-24-155-5323	17.38
				25319 24035 24		MATERIALS & SUPPLIES FOR HI(	
					73122	MATERIALS & SUPPLIES FOR HI(	
						01-13-131-5323	35.66
				26919		MATERIALS NEEDED FOR BASEI	
					73558	Materials needed for basement	
						01-24-155-5323	30.97
						Total :	**182.22**
60171	2/19/2020	01069	GLENSIDE LAWN & GARDEN, INC.	36281		LAWN & GARDEN SUPPLIES	
	YTD Amount:	749.83					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60171	2/19/2020	01069	GLENSIDE LAWN & GARDEN, INC.	(Continued)			
					73123	LAWN & GARDEN SUPPLIES	
						01-14-186-5304	82.77
						Total :	**82.77**
60172	2/19/2020	00605	HAMILTON ANIMAL HOSPITAL INC	205330		EXAMINATION OF DOG CEASED	
	YTD Amount:	334.77					
					73564	Examination of dog seized during	
						01-04-043-5305	334.77
						Total :	**334.77**
60173	2/19/2020	00541	HIBBERT'S INC	1099		ENGINEERING & CODE "RECEIV	
	YTD Amount:	496.93					
					73438	NEW "RECEIVED" STAMP FOR E	
						01-06-081-5300	32.95
						Total :	**32.95**
60174	2/19/2020	00851	HOME DEPOT CREDIT SERVICES	1025003		SUPPLIES FOR P.W. REST ROO	
	YTD Amount:	7,968.29					
					73566	SUPPLIES FOR P.W. REST ROO	
						01-13-131-5323	490.87
					73566	HOSE & SUPPLIES FOR V.M.	
						01-14-186-5304	69.86
				7024147 902386		MATERIALS NEEDED FOR TURT	
					73534	Materials needed for turtle enclosu	
						01-24-155-5323	157.66
				8611436 404307		ALVERTHORPE PARK PRESCHO	
					73545	Alverthorpe Park Preschool Buildin	
						01-24-151-5323	108.11
						Total :	**826.50**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60175	2/19/2020	05119	INTERNATIONAL ASSOC CHIEFS	0103152		ANNUAL MEMBERSSHIP FEES - I	
	YTD Amount:	950.00					
					73586	Annual membersship fees - Fink	
						01-04-040-5301	190.00
						Total :	**190.00**
60176	2/19/2020	12348	J.P. MASCARO & SONS	000000441		JANUARY SINGLE & COMMINGLI	
	YTD Amount:	27,343.63					
						JANUARY SINGLE & COMMINGLI	
						14-12-103-5305	14,626.27
						Total :	**14,626.27**
60177	2/19/2020	05940	K. J. DOOR SERVICES INC.	66216		REPAIRS TO CLUTCH AND SPRIN	
	YTD Amount:	259.25					
					73488	REPAIRS TO CLUTCH AND SPRIN	
						02-10-200-5317	259.25
						Total :	**259.25**
60178	2/19/2020	00844	KUFEN MOTOR PUMP TECHNOLOGIES	RR18537		PUMP FOR ALVERTHORPE MAN(	
	YTD Amount:	937.15					
					73512	Pump for Alverthorpe Manor heater	
						01-24-157-5317	385.82
						Total :	**385.82**
60179	2/19/2020	12818	LANSDALE CHRYSLER	113264		PARTS FOR #29-24	
	YTD Amount:	933.71					
					73590	PARTS FOR #29-24	
						01-14-186-5304	231.20
						Total :	**231.20**
60180	2/19/2020	14172	LORCO PETROLEUM SERVICES	1522727		OIL FILTER REMOVAL	
	YTD Amount:	210.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60180	2/19/2020	14172	LORCO PETROLEUM SERVICES	(Continued)			
					73507	OIL FILTER REMOVAL	
						01-14-186-5304	210.00
						Total :	**210.00**
60181	2/19/2020	05516	LOWE'S BUSINESS ACCOUNT	01911 01222		SUPPLIES FOR P.W. REST ROOI	
	YTD Amount:	2,875.06					
					73579	SUPPLIES FOR P.W. REST ROOI	
						01-13-131-5323	101.28
				02990		PENBRYN POOL SNACKBAR REF	
					73505	Penbryn Pool Snackbar Repairs	
						01-24-157-5317	144.97
						Total :	**246.25**
60182	2/19/2020	12454	MICROSOFT	SEE ATTACHEI		FEBRUARY 2020 OFFICE 365 SEI	
	YTD Amount:	3,561.88					
					73527	February 2020 Office 365 services	
						01-01-005-5305	1,914.48
						Total :	**1,914.48**
60183	2/19/2020	13292	MODERN GROUP LTD	PS1240733		PARTS FOR CHIPPER	
	YTD Amount:	222.63					
					73497	PARTS FOR CHIPPER	
						01-14-186-5304	222.63
						Total :	**222.63**
60184	2/19/2020	04813	MOLLOY, PATRICK	REIMBURSEME		REIMBURSEMENT FROM ACCRE	
	YTD Amount:	282.49					
					73585	reimbursement from Accreditation c	
						01-04-063-5305	127.50
						Total :	**127.50**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60185	2/19/2020	11845	MOYER INDOOR/OUTDOOR	JANUARY		EXTERMINATING	
	YTD Amount:	851.00					
						ADMINISTRATION/POLICE	
						01-01-030-5305 TRAINING CENTER	44.00
						01-04-062-5317 PUBLIC WORKS	56.00
						01-13-130-5305 ARDSLEY COMMUNITY CENTER	56.00
						01-24-152-5305 BRIAR BUSH NATURE CENTER	52.00
						01-24-155-5305 ALVERTHORPE~	38.00
						01-24-157-5305 431 HOUSTON ROAD	45.00
						01-24-157-5305 WWTP	32.00
						02-10-200-5305 REFUSE	56.50
						14-12-100-5305	46.00
						Total :	**425.50**
60186	2/19/2020	01034	NAPA AUTO PARTS	4607-548992		DEICER	
	YTD Amount:	1,063.84					
					73487	DEICER	
						02-10-205-5322	5.98
						Total :	**5.98**
60187	2/19/2020	08537	OFFICE DEPOT	SEE ATTACHED		PAPER, PAPERCLIPS, FOLDERS,	
	YTD Amount:	373.41					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60187	2/19/2020	08537	OFFICE DEPOT	(Continued)			
					73360	Paper, paperclips, folders, hand so:	
						01-24-150-5300	254.19
						Total :	**254.19**
60188	2/19/2020	08630	O'NEILL'S FOOD MARKET	4423		ATFD FIRE TRAINING PROGRAM	
	YTD Amount:	391.14					
					73508	ATFD Fire Training Program. Lunc	
						01-15-064-5305	391.14
						Total :	**391.14**
60189	2/19/2020	00941	PA RECREATION & PARK SOCIETY	CONFERENCE		PRPS CONFERENCE~	
	YTD Amount:	4,523.00					
					73478	PRPS Conference~	
						01-24-150-5301	295.00
						Total :	**295.00**
60190	2/19/2020	14925	PAYMENT PROCESSING, PECO	JANUARY		GAS FOR ROUND HOUSE AT CRI	
	YTD Amount:	201.68					
						GAS SUPPLY FOR ROUND HOU:	
						01-24-157-5308	100.42
						Total :	**100.42**
60191	2/19/2020	01889	PECO ENERGY	TRAFFIC LIGHT		TRAFFIC LIGHT ACCOUNT-DISTF	
	YTD Amount:	2,419.51					
						TRAFFIC LIGHT ACCOUNT-DISTF	
						03-13-146-5308	1,205.11
						Total :	**1,205.11**
60192	2/19/2020	01890	PECO ENERGY	JANUARY		STREET LIGHT ACCOUNT-DISTR	
	YTD Amount:	57,947.11					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60192	2/19/2020	01890	PECO ENERGY	(Continued)			
						STREET LIGHT ACCOUNT-DISTR	
						03-13-146-5308	28,974.51
						Total :	**28,974.51**
60193	2/19/2020	14376	PHILADELPHIA DISTRICT EROC5, FAO, L	TOWNSHIP MA		DESIGN AND CONSTRUCTION C	
	YTD Amount:	120,800.00					
						DESIGN AND CONSTRUCTION C	
						07-00-967-7202	120,800.00
						Total :	**120,800.00**
60194	2/19/2020	04032	PREMIUM CLEANING SERVICE CORP	509182		JANUARY CLEANING FEE.	
	YTD Amount:	1,589.75					
					73535	January cleaning fee.	
						01-24-155-5305	438.75
						Total :	**438.75**
60195	2/19/2020	11084	PRZYBYLOWSKI, KATHLEEN	REIMBURSEME		BREAKFAST FOR PLEAC ASSES	
	YTD Amount:	48.02					
					73574	Breakfast for PLEAC assessors	
						01-04-063-5305	48.02
						Total :	**48.02**
60196	2/19/2020	12994	READY REFRESH	JANUARY		POLICE DEPARTMENT	
	YTD Amount:	439.91					
						POLICE DEPARTMENT	
						01-04-040-5340	259.32
						Total :	**259.32**
60197	2/19/2020	00985	SAFETY-KLEEN SYSTEMS, INC.	82015664		SERVICE PARTS WASHER	
	YTD Amount:	221.55					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60197	2/19/2020	00985	SAFETY-KLEEN SYSTEMS, INC.	(Continued)			
					73494	SERVICE PARTS WASHER	
						02-10-200-5305	221.55
						Total :	**221.55**
60198	2/19/2020	05660	VECCHIONE FLEET SERVICE	53490		REPLACEMENT TIRES FOR KAW	
	YTD Amount:	232.00					
					73496	REPLACEMENT TIRES FOR KAW	
						02-10-200-5304	232.00
						Total :	**232.00**
60199	2/19/2020	07500	VILE, SUSAN ELIZABETH	February 6, 202(		TRANSCRIPTION/EDITING OF MI	
	YTD Amount:	2,116.00					
						Transcription/Editing of minutes fro	
						01-01-002-5305	75.25
				January 20, 202(		TRANSCRIPTION/EDITING OF MI	
						Transcription/Editing of minutes for	
						01-01-002-5305	86.00
				JANUARY 28, 2(		TRANSCRIPTION/EDITING OF MI	
						Transcription/Editing of minutes Ffc	
						01-01-002-5305	279.50
						Total :	**440.75**
60200	2/19/2020	01032	WEINSTEIN SUPPLY CORP.	s024691888.001		ALVERTHORPE PARK PRESCHO	
	YTD Amount:	228.47					
					73544	Alverthorpe Park Preschool Buildin(	
						01-24-151-5323	123.63
						Total :	**123.63**
52 Vouchers for bank code : ap2						**Bank total :**	**335,329.31**
52 Vouchers in this report						**Total vouchers :**	**335,329.31**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60201	2/20/2020	08855	AIRGAS USA LLC	9095509504 99(		ACETYLENE/OXYGEN CYCLINDE	
	YTD Amount:	447.23					
						ACETYLENE/OXYGEN CYCLINDE	
						02-10-200-5322	93.34
				9967118296		ACETYLENE/OXYGEN CYCLINDE	
						ACETYLENE/OXYGEN CYCLINDE	
						01-14-186-5304	247.05
						Total :	**340.39**
60202	2/20/2020	02053	ANALYTICAL LABORATORIES, INC.	testing		TESTING	
	YTD Amount:	2,700.00					
						TESTING	
						02-10-200-5305	1,485.00
						Total :	**1,485.00**
60203	2/20/2020	04767	CINTAS CORPORATION	15828099		RUG FOR WWTP	
	YTD Amount:	183.88					
						RUG FOR WWTP	
						02-10-200-5318	183.88
						Total :	**183.88**
60204	2/20/2020	01308	CITY OF PHILA/WATER DEPT	DECEMBER		MONTHLY WASTEWATER SERVI	
	YTD Amount:	243,186.34					
						MONTHLY WASTEWATER CHAR(	
						02-11-202-5333	112,138.05
						Total :	**112,138.05**
60205	2/20/2020	12951	CLARKE, LLC, RUDOLPH	74772		1015 OLD HUNTINGDON ROAD	
	YTD Amount:	61,074.00					

Bank code : ap2

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
60205	2/20/2020	12951 CLARKE, LLC, RUDOLPH	(Continued)			
					1015 OLD HUNTINGDON ROAD	
			74773		01-01-003-5201 1073 OLD YORK ROAD 1073 OLD YORK ROAD	25.60
			74774		07-00-000-2451 1235 MEINEL ROAD 1235 MEINEL ROAD	135.00
			74775		07-00-000-2442 1855 HORACE AVE 1855 HORACE AVE	202.50
			74776		07-00-000-2436 1907 SUSQUEHANNA RD 1907 SUSQUEHANNA RD	202.50
			74777		01-01-003-5201 261 OLD YORK ROAD 261 OLD YORK ROAD	74.00
			74778		07-00-000-2451 2620 W MORELAND RD 2620 W MORELAND RD	135.00
			74779		07-00-000-2436 2907 JEFFERSON 2907 JEFFERSON	180.00
			74780		07-00-000-2451 401 CADWALDER AVE 401 CADWALDER AVE	202.50
					01-01-003-5201	111.00

Bank code : ap2

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
60205	2/20/2020	12951 CLARKE, LLC, RUDOLPH	(Continued)			
			74781		ABINGTON FRIENDS SCHOOL ABINGTON FRIENDS SCHOOL	
					07-00-000-2451	90.00
			74782		BAEDERWOOD RESIDENTIAL BAEDERWOOD RESIDENTIAL	
					07-00-000-2442	562.50
			74784		G H REAL HOLDING G H REAL HOLDING	
					01-01-003-5202	148.00
			74785		1057 EASTON ROAD 1057 EASTON ROAD	
					07-00-000-2451	67.50
			74786		JEFFERSON HEALTH JEFFERSON HEALTH	
					07-00-000-2451	1,035.00
			74787		LEHMAN, LORA LEHMAN, LORA	
					01-01-003-5201	111.00
			74789		SUSSMAN SUSSMAN	
					07-00-000-2451	67.50
			74790		O'NEILL CONSULTING O'NEILL CONSULTING	
					01-01-003-5201	185.00
			74791		OLD YORK LLC OLD YORK LLC	
					01-01-003-5202	55.50

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60205	2/20/2020	12951	CLARKE, LLC, RUDOLPH	(Continued)			
				74792		PREIT-WILLOW GROVE PARK PREIT-WILLOW GROVE PARK	
						07-00-000-2451	135.00
				74793		SUSSMAN ASSOCIATION SUSSMAN ASSOCIATION	
						07-00-000-2451	135.00
				74794		TAP TRAIL TAP TRAIL	
						07-01-500-7524	40.40
						Total :	**3,900.50**
60206	2/20/2020	13153	FERGUSON ENTERPISES INC	4012449		SUPPLIES FOR POLICE BATHRO	
	YTD Amount:	44.72					
						SUPPLIES FOR POLICE BATHRO	
						01-01-030-5317	16.12
				4018471		PARTS FOR OIL DRUMS	
					72972	PARTS FOR OIL DRUMS	
						01-14-186-5304	28.60
						Total :	**44.72**
60207	2/20/2020	01894	INSTRUMENTS, INC., TELEDYNE	S020303751		50' OF DISCHARGE TUBE	
	YTD Amount:	354.00					
					73068	50' OF DISCHARGE TUBE	
						02-10-200-5322	354.00
						Total :	**354.00**
60208	2/20/2020	10249	ITSAVVY LLC	01153823 01153		DESKTOP COMPUTER FOR CAR	
	YTD Amount:	12,470.08					
						DESKTOP COMPUTER FOR CAR	
						02-10-205-5320	632.89

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60208	2/20/2020	10249	ITSAVVY LLC	(Continued)		Total :	**632.89**
60209	2/20/2020	05516	LOWE'S BUSINESS ACCOUNT	9020240		TERMOSTAT FOR BBNC	
	YTD Amount:	3,063.38					
						TERMOSTAT FOR BBNC	
						06-24-169-5323	64.45
				907223 901192		BATTERIES / TOOLS FOR P.W.	
					73580	BATTERIES / TOOLS FOR P.W.	
						01-13-131-5323	123.87
						Total :	**188.32**
60210	2/20/2020	00928	MUNICIPAL SUPPLY CO.,INC, U.S.	6163574		ROAD EQUIPMENT & SUPPLIES	
	YTD Amount:	6,708.88					
						ROAD EQUIPMENT & SUPPLIES	
						02-10-205-5305	1,945.84
						Total :	**1,945.84**
60211	2/20/2020	08842	POLYDYNE INC.	1416358		POLYMER	
	YTD Amount:	4,895.66					
						POLYMER	
						02-10-200-5326	4,895.66
						Total :	**4,895.66**
60212	2/20/2020	10046	REIDER ASSOCIATES, INC., M.J.	20A0004		TESTING	
	YTD Amount:	3,648.50					
						TESTING	
						02-10-200-5305	3,648.50
						Total :	**3,648.50**
60213	2/20/2020	15031	SMART IP SOLUTIONS	6798		TECH SERVICE	
	YTD Amount:	130.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60213	2/20/2020	15031	SMART IP SOLUTIONS	(Continued)			
						TECH SERVICE	
						02-10-200-5317	130.00
						Total :	**130.00**
60214	2/20/2020	05748	SYNAGRO TECHNOLOGIES INC	11631		BIOSOLIDS TO LAND APPLICATI(	
	YTD Amount:	6,701.40					
					73405	BIOSOLIDS TO LAND APPLICATI(	
						02-10-200-5305	6,701.40
						Total :	**6,701.40**
60215	2/20/2020	13594	TANGIBL CONSULTING, LLC	19-1105		DESIGN ENGINEER/PROJECT SF	
	YTD Amount:	3,227.50					
						DESIGN ENGINEER/PROJECT SF	
						02-10-200-5305	3,227.50
						Total :	**3,227.50**
60216	2/20/2020	15790	TRI STATE ENVIRONMENTAL	551		ENZ CORPORATION 1" JET CLEA	
	YTD Amount:	3,230.00					
					72529	ENZ CORPORATION 1" JET CLEA	
						17-10-851-7499	3,230.00
						Total :	**3,230.00**
60217	2/20/2020	11996	USALCO	1359122		DEL PAC 1525 BULK FOR PHOSF	
	YTD Amount:	8,603.28					
					72965	del pac 1525 bulk for phosphorous	
						02-10-200-5326	3,000.00
						DEL PAC 1525 BULK FOR PHOSF	
						02-10-200-5326	5,603.28
						Total :	**8,603.28**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60218	2/20/2020	04329	UTILITY & MUNICIPAL SERVICES, AQUA	33-2146367		2019 WATER USAGE FILES	
	YTD Amount:	15,512.00					
						2019 WATER USAGE FILES	
						02-10-200-5305	15,512.00
						Total :	**15,512.00**

18 Vouchers for bank code : ap2 — Bank total : **167,161.93**

18 Vouchers in this report — Total vouchers : **167,161.93**

Replaced Checks Listing
TWP OF ABINGTON

Bank: ap2
Account: 1210645

Orig check	Date	Voided	Check amt	EFT	Paid to	Repl check	Date	Reason
59970	1/31/2020	1/31/2020	886.00	No	SIR SPEEDY	60219	1/31/2020	CHECK NOT RECEIVED
		Bank total:	886.00					
		Checks total:	**886.00**					

Replaced Checks Listing
TWP OF ABINGTON

Bank: ap2
Account: 1210645

Orig check	Date	Voided	Check amt	EFT	Paid to	Repl check	Date	Reason
59279	12/27/2019	12/27/2019	65.00	No	HEATHER MAGER	60220	12/27/2019	OTHER
		Bank total:	65.00					
		Checks total:	**65.00**					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60221	2/24/2020	02776	ARCHIE, JOHN	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	684.84						
						MEDICARE PREMIUM		
						05-01-028-5101		161.28
							Total :	**161.28**
60222	2/24/2020	10406	ARCHIE, MARGARET	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	271.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		150.00
							Total :	**150.00**
60223	2/24/2020	08319	BOERNER, ALLEN P	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	283.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		141.60
							Total :	**141.60**
60224	2/24/2020	08164	BOERNER, SONJA M	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	281.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		140.60
							Total :	**140.60**
60225	2/24/2020	09840	CILIBERTO, ANTHONY	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	758.98						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60226	2/24/2020	12623	CILIBERTO, VIRGINA	FEBRUARY		REIMBURSE MEIDCARE		
	YTD Amount:	271.00				REIMBURSE MEDICARE		
						05-01-028-5101		135.50
							Total :	**135.50**
60227	2/24/2020	12622	CLARK, BARBARA	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.70				REIMBURSE MEDICARE		
						05-01-028-5101		154.20
							Total :	**154.20**
60228	2/24/2020	03941	CLARK, CHARLES	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.70				REIMBURSE MEDICARE		
						05-01-028-5101		154.20
							Total :	**154.20**
60229	2/24/2020	15653	CLARK, ELIZABETH	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20				REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60230	2/24/2020	14873	CLARK, KENNETH	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20				REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60231	2/24/2020	02273	CLEWELL, LOUIS, J	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	209.80						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60231	2/24/2020	02273	CLEWELL, LOUIS, J	(Continued)			
						REIMBURSE MEDICARE	
						05-01-028-5101	104.90
						Total :	**104.90**
60232	2/24/2020	01618	CONOVER, JOSEPH	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	404.00					
						REIMBURSE MEIDCARE	
						05-01-028-5101	202.00
						Total :	**202.00**
60233	2/24/2020	14474	CONOVER, MARY	FEBRAURY		REIMBURSE MEDICARE	
	YTD Amount:	404.00					
						REIMBURSE MEDICARE	
						05-01-028-5101	202.00
						Total :	**202.00**
60234	2/24/2020	12984	CREEDEN, JOHN S.	FEBRUARY		REIMBURSE MEIDCARE	
	YTD Amount:	281.20					
						RETIREES' REIMBURSEMENT	
						05-01-028-5101	140.60
						Total :	**140.60**
60235	2/24/2020	14248	CREEDEN, MARGARET	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	289.20					
						REIMBURSE INSURANCE	
						05-01-028-5101	144.60
						Total :	**144.60**
60236	2/24/2020	01941	CRISTALDI, ANTHONY J	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	289.20					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60236	2/24/2020	01941	CRISTALDI, ANTHONY J	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60237	2/24/2020	11622	DARCY, MARY	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60238	2/24/2020	11772	DARCY, THOMAS	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	275.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		137.60
							Total :	**137.60**
60239	2/24/2020	03953	DAVIS SR., GLENN A	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60240	2/24/2020	13128	DAVIS, NANCY C.	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	257.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		128.60
							Total :	**128.60**
60241	2/24/2020	09673	DEAN, BRUCE L	FEBRAURY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60241	2/24/2020	09673	DEAN, BRUCE L	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60242	2/24/2020	10130	EVANGELISTA, MICHAEL J	FEBRAURY		REIMBURSE MEDICARE		
	YTD Amount:	209.80						
						REIMBURSE MEDICARE		
						05-01-028-5101		104.90
							Total :	**104.90**
60243	2/24/2020	11838	EVANGELISTA, VIRGINIA	FEBRAURY		REIMBURSE MEDICARE		
	YTD Amount:	209.80						
						REIMBURSE MEDICARE		
						05-01-028-5101		104.90
							Total :	**104.90**
60244	2/24/2020	01596	HASLAM, BRUCE	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	578.40						
						REIMBURSE MEDICARE		
						05-01-028-5101		289.20
							Total :	**289.20**
60245	2/24/2020	11179	HOLT, REGINA	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	199.80						
						REIMBURSE MEDICARE		
						05-01-028-5101		99.90
							Total :	**99.90**
60246	2/24/2020	00107	HOLT, WILLIAM A	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	199.80						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60246	2/24/2020	00107	HOLT, WILLIAM A	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		99.90
							Total :	**99.90**
60247	2/24/2020	15293	HURTADO, JAMES	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount: 289.20							
						REIMBURSE MEDICARE		
						05-01-028-5101		153.70
							Total :	**153.70**
60248	2/24/2020	02255	HUTCHINSON, GEORGE A	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount: 289.20							
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60249	2/24/2020	03822	HUTCHINSON, JOAN L.	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount: 271.00							
						REIMBURSE MEDICARE		
						05-01-028-5101		135.50
							Total :	**135.50**
60250	2/24/2020	15294	KELLY, DONNA	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount: 270.00							
						REIMBURSE MEDICARE		
						05-01-028-5101		135.00
							Total :	**135.00**
60251	2/24/2020	06154	KELLY, GERALD W	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount: 289.20							

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60251	2/24/2020	06154	KELLY, GERALD W	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60252	2/24/2020	09404	LAMPHERE, KATHRYN	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60253	2/24/2020	04091	LAMPHERE, ROBERT	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60254	2/24/2020	07363	LEWIS, CARL J	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	236.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		118.00
							Total :	**118.00**
60255	2/24/2020	08729	LEWIS, YVONNE L.	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	260.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		130.00
							Total :	**130.00**
60256	2/24/2020	14871	LIVINGOOD, JOHN	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	641.40						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60256	2/24/2020	14871	LIVINGOOD, JOHN	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		352.20
							Total :	**352.20**
60257	2/24/2020	14872	LIVINGOOD, MARYJANE	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	641.40						
						REIMBURSE MEIDCARE		
						05-01-028-5101		352.20
							Total :	**352.20**
60258	2/24/2020	14460	MANN, JOANNE	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60259	2/24/2020	01143	McCLELLAND, RICHARD	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	271.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		135.50
							Total :	**135.50**
60260	2/24/2020	14798	MCCREARY, CHRISTINE	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						rEIMBURSE RETIREES MEDICAR		
						05-01-028-5101		144.60
							Total :	**144.60**
60261	2/24/2020	05904	McCREARY, KEVIN	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	271.00						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60261	2/24/2020	05904	McCREARY, KEVIN	(Continued)			
						REIMBURSE MEDICARE	
						05-01-028-5101	135.50
						Total :	**135.50**
60262	2/24/2020	15324	MCNAMARA, CHERYL	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	429.20					
						REIMBURSE MEDICARE	
						05-01-028-5101	226.80
						Total :	**226.80**
60263	2/24/2020	14908	MCNAMARA, THOMAS	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	429.20					
						REIMBURSE MEDICARE	
						05-01-028-5101	226.80
						Total :	**226.80**
60264	2/24/2020	14489	MILETTO, MADELINE	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	404.80					
						REIMBURSE RETIREES INSURAI	
						05-01-028-5101	202.40
						Total :	**202.40**
60265	2/24/2020	13417	MILETTO, MICHAEL A	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	404.80					
						REIMBURSE MEDICARE	
						05-01-028-5101	202.40
						Total :	**202.40**
60266	2/24/2020	10131	MYERS, JOHN J	FEBRUARY		REIMBURSE MEDICARE	
	YTD Amount:	253.20					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60266	2/24/2020	10131	MYERS, JOHN J	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		126.60
							Total :	**126.60**
60267	2/24/2020	10226	MYERS, PAUL	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60268	2/24/2020	11621	MYERS, PETRA	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60269	2/24/2020	14159	O'CONNOR, NANCY	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	271.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		135.50
							Total :	**135.50**
60270	2/24/2020	01805	PARKS, JOHN	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	255.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		149.00
							Total :	**149.00**
60271	2/24/2020	08918	QUINN, JOSEPH	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60271	2/24/2020	08918	QUINN, JOSEPH	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60272	2/24/2020	10954	QUINN, NANCY C	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60273	2/24/2020	12174	RICE, GEORGIANNA M	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	285.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		142.60
							Total :	**142.60**
60274	2/24/2020	12163	RICE, MELVIN	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60275	2/24/2020	11932	RIDGE, CAROL	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60276	2/24/2020	02538	RIDGE, PHILIP	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60276	2/24/2020	02538	RIDGE, PHILIP	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60277	2/24/2020	00943	STEIN, KENNETH	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	243.60						
						REIMBURSE MEDICARE		
						05-01-028-5101		121.80
							Total :	**121.80**
60278	2/24/2020	13756	STEIN, PATRICIA	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	268.00						
						MEDICARE REIMBURSEMENT		
						05-01-028-5101		134.00
							Total :	**134.00**
60279	2/24/2020	04528	TERRENZIO, JOSEPHINE M	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	243.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		121.60
							Total :	**121.60**
60280	2/24/2020	02219	TERRENZIO, LOUIS A	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	251.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		125.50
							Total :	**125.50**
60281	2/24/2020	05785	THOMPSON, JOHN F	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60281	2/24/2020	05785	THOMPSON, JOHN F	(Continued)				
						REIMBURSE MEDICARE		
						05-01-028-5101		153.70
							Total :	**153.70**
60282	2/24/2020	07364	THOMPSON, MARYANN T	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	236.00						
						REIMBURSE MEDICARE		
						05-01-028-5101		118.00
							Total :	**118.00**
60283	2/24/2020	01030	TOMLINSON, DAVID J	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	289.20						
						REIMBURSE MEDICARE		
						05-01-028-5101		144.60
							Total :	**144.60**
60284	2/24/2020	04527	TRUDEAU, MARIE A	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	209.80						
						REIMBURSE MEDICARE		
						05-01-028-5101		104.90
							Total :	**104.90**
60285	2/24/2020	01683	TRUDEAU, RONALD J	FEBRUARY		REIMBURSE MEDICARE		
	YTD Amount:	209.80						
						REIMBURSE MEDICARE		
						05-01-028-5101		104.90
							Total :	**104.90**
60286	2/24/2020	02975	APPLIED MICRO SYSTEMS, LTD.	FEBRUARY		MONTHLY SOFTWARE CONTRA(		
	YTD Amount:	292.00						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60286	2/24/2020	02975	APPLIED MICRO SYSTEMS, LTD.	(Continued)			
						MONTHLY SOFTWARE CONTRA(	
						01-01-005-5305	146.00
						Total :	**146.00**
60287	2/24/2020	08345	BLUMENTHAL, JAY W	FEBRAURY		COLLECTION REFUSE & SEWEF	
	YTD Amount:	2,000.00					
						COLLECTION REFUSE & SEWEF	
						01-02-020-5305	1,000.00
						Total :	**1,000.00**
60288	2/24/2020	12951	CLARKE, LLC, RUDOLPH	FEBRUARY		LEGAL SERVICES-RETAINER	
	YTD Amount:	73,324.00					
						LEGAL SERVICES-RETAINER	
						01-01-003-5200	12,250.00
						Total :	**12,250.00**
60289	2/24/2020	01311	COMPUTYME INC	FEBRUARY		TIME SHARING COMPUTER	
	YTD Amount:	2,500.00					
						TIME SHARING COMPUTER	
						01-01-005-5305	625.00
						TIME SHARING COMPUTER	
						01-00-000-1300	625.00
						Total :	**1,250.00**
60290	2/24/2020	13978	DE LAGE FINANCIAL SERVICES INC	FEBRUARY		DE LAGE LANDEN FINANCIAL	
	YTD Amount:	440.00					
						COPIERS FOR HR.AND POLICE	
						01-30-011-5213	220.00
						Total :	**220.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60291	2/24/2020	15405	DE LAGE LANDEN FINANCIAL	MARCH		COPIER FOR WWTP	
	YTD Amount:	429.00					
						COPER FOR WWTP	
						02-28-207-5213	143.00
						Total :	**143.00**
60292	2/24/2020	15848	DE LAGE LANDEN FINANCIAL	FEBRUARY		COPIER FOR REFUSE & HIGHW/	
	YTD Amount:	205.80					
						REFUSE & HIGHWAY	
						01-13-130-5300	39.00
						REFUSE & HIGHWAY	
						14-12-100-5300	39.00
						Total :	**78.00**
60293	2/24/2020	13845	DE LAGE LANDEN FINANCIAL SERV	FEBRUARY		BRIAR BUSH AND CODE COPIER	
	YTD Amount:	284.00					
						COPIER FOR BRIAR BUSH AND (	
						01-30-011-5213	142.00
						Total :	**142.00**
60294	2/24/2020	14133	DE LAGE LANDEN FINANCIAL SERVI	FEBRUARY		COPIER FOR PARKS AND RECRE	
	YTD Amount:	378.00					
						COPIER FOR PARKS AND RECRE	
						01-30-011-5213	189.00
						Total :	**189.00**
60295	2/24/2020	14276	DELAGE FINANCIAL SERVICES	FEBRUARY		COPIER FOR POLICE PATROL AN	
	YTD Amount:	211.00					
						COPIER FOR POLICE PATROL AN	
						01-30-011-5213	105.50
						Total :	**105.50**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60296	2/24/2020	00960	ECKEL, BRUCE J.	FEBRUARY		LEGAL SERVICES	
	YTD Amount:	3,500.00					
						LEGAL SERVICES	
						01-06-087-5305	1,750.00
						Total :	**1,750.00**
60297	2/24/2020	15731	LEAF	FEBRUARY		COPIER FOR DETECTIVES	
	YTD Amount:	266.00					
						COPIER FOR DETECTIVES	
						01-30-011-5213	133.00
						Total :	**133.00**
60298	2/24/2020	14457	MARLIN BUSINESS BANK	MARCH		COPIER FOR FINANCE OFFICE	
	YTD Amount:	1,545.00					
						COPIER FOR 2ND FLOOR KITCH	
						01-30-011-5213	515.00
						Total :	**515.00**
60299	2/24/2020	14726	MARLIN BUSINESS BANK	MARCH		COPIER FOR POLICE RECORDS	
	YTD Amount:	372.00					
						Copier for Records department	
						01-30-011-5213	124.00
						Total :	**124.00**
60300	2/24/2020	10838	PITNEY BOWES GLOBAL FINANCIAL	FEBRUARY		POSTAGE METER	
	YTD Amount:	310.00					
						POSTAGE METER	
						01-30-011-5213	155.00
						Total :	**155.00**
60301	2/24/2020	13582	PITNEY BOWES RESERVE ACCOUNT	FEBRUARY		REPLENISH POSTAGE METER	
	YTD Amount:	6,000.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60301	2/24/2020	13582	PITNEY BOWES RESERVE ACCOUNT	(Continued)			
						REPLENISH POSTAGE METER	
						01-01-002-5306	3,000.00
						Total :	**3,000.00**
60302	2/24/2020	00996	SECOND ALARMERS ASSN	FEBRUARY		MONTHLY SERVICES	
	YTD Amount:	31,250.00					
						MONTHLY SERVICES	
						01-27-013-5305	15,625.00
						Total :	**15,625.00**
	82 Vouchers for bank code :		ap2			Bank total :	**46,702.68**
	82 Vouchers in this report					Total vouchers :	**46,702.68**

C-90

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60303	2/26/2020	11396	1849 DAVISVILLE RD L.P.	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	147.00					
						Refund business privledge tax	
						01-00-000-4312	147.00
						Total :	**147.00**
60304	2/26/2020	01306	ABINGTON TWP PUBLIC LIBRARY	APPROPRIATE		LIBRARY APPROPRIATION	
	YTD Amount:	20,588.96					
						LIBRARY APPROPRIATION	
						01-23-072-5334	14,621.78
						Total :	**14,621.78**
60305	2/26/2020	12309	ALLIED LANDSCAPE SUPPLY	119388		SHOVELS FOR P.W. CREWS	
	YTD Amount:	568.07					
					73653	SHOVELS FOR P.W. CREWS	
						01-13-131-5323	91.50
						Total :	**91.50**
60306	2/26/2020	06584	ALLSTEEL SUPPLY INC	010721CH		STEEL FOR SNOWPLOW REPAIF	
	YTD Amount:	904.96					
					73217	steel for snowplow repairs	
						01-14-186-5304	164.64
				022120RP16A		STEEL FOR WELDING SHOP	
					73642	STEEL FOR WELDING SHOP	
						01-14-186-5304	740.32
						Total :	**904.96**
60307	2/26/2020	05205	AMERICAN UNIFORM	203160		NAME PLATE AND SERVING SIN(	
	YTD Amount:	3,412.28					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60307	2/26/2020	05205	AMERICAN UNIFORM	(Continued)			
					73666	Name plate and serving since pin fo	
						01-04-043-5316	23.50
						Total :	**23.50**
60308	2/26/2020	15013	AQUA PA	WATER		ROUND HOUSE-WATER	
	YTD Amount:	202.20					
						WATER FOR ROUND HOUSE AT	
						01-24-153-5311	101.10
						Total :	**101.10**
60309	2/26/2020	15014	AQUA PA	WATER		SPRINKLER FOR ROUND HOUSE	
	YTD Amount:	187.40					
						SPRINKLER FOR ROUND HOUSE	
						01-24-153-5311	93.70
						Total :	**93.70**
60310	2/26/2020	05812	AQUA PENNSYLVANIA	WATER		1176 OLD YORK RD	
	YTD Amount:	187.40					
						1176 OLD YORK RD	
						01-01-030-5311	93.70
						Total :	**93.70**
60311	2/26/2020	05813	AQUA PENNSYLVANIA	WATER		1176 OLD YORK RD	
	YTD Amount:	421.63					
						1176 OLD YORK RD	
						01-01-030-5311	225.33
						Total :	**225.33**
60312	2/26/2020	05814	AQUA PENNSYLVANIA	WATER		1166 OLD YORK RD	
	YTD Amount:	283.50					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60312	2/26/2020	05814	AQUA PENNSYLVANIA	(Continued)				
						1166 OLD YORK RD		
						01-01-030-5311		147.70
							Total :	**147.70**
60313	2/26/2020	05815	AQUA PENNSYLVANIA	WATER		2201 FLOREY		
	YTD Amount:	380.70						
						2201 FLOREY		
						01-13-130-5311		196.30
							Total :	**196.30**
60314	2/26/2020	05817	AQUA PENNSYLVANIA	WATER		2828 SPEAR		
	YTD Amount:	399.46						
						2828 SPEAR		
						01-24-152-5311		222.73
							Total :	**222.73**
60315	2/26/2020	05818	AQUA PENNSYLVANIA	WATER		ES DUMONT RD		
	YTD Amount:	435.36						
						ES DUMONT RD		
						01-24-154-5311		215.30
							Total :	**215.30**
60316	2/26/2020	05820	AQUA PENNSYLVANIA	WATER		1212 EDGE HILL		
	YTD Amount:	149.20						
						1212 EDGE HILL		
						01-24-155-5311		72.08
							Total :	**72.08**
60317	2/26/2020	05823	AQUA PENNSYLVANIA	WATER		1383 EASTON RD		
	YTD Amount:	36.00						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60317	2/26/2020	05823	AQUA PENNSYLVANIA	(Continued)			
						1383 EASTON RD	
						01-24-157-5311	18.00
						Total :	**18.00**
60318	2/26/2020	05825	AQUA PENNSYLVANIA	WATER		BAEDERWOOD SKATING HIGHL/	
	YTD Amount:	484.75					
						BAEDERWOOD SKATING HIGHL/	
						01-24-157-5311	432.25
						Total :	**432.25**
60319	2/26/2020	05826	AQUA PENNSYLVANIA	WATER		NS CLEVELAND	
	YTD Amount:	105.00					
						NS CLEVELAND	
						01-24-157-5311	52.50
						Total :	**52.50**
60320	2/26/2020	05830	AQUA PENNSYLVANIA	WATER		WS FORREST	
	YTD Amount:	14.58					
						WS FORREST	
						01-24-157-5311	14.58
						Total :	**14.58**
60321	2/26/2020	05831	AQUA PENNSYLVANIA	WATER		WS FORREST	
	YTD Amount:	138.32					
						WS FORREST	
						01-24-157-5311	73.92
						Total :	**73.92**
60322	2/26/2020	05832	AQUA PENNSYLVANIA	WATER		1013 INDIAN CREEK	
	YTD Amount:	221.62					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
60322	2/26/2020	05832	AQUA PENNSYLVANIA	(Continued)				
						1013 INDIAN CREEK		
						01-24-157-5311		70.35
							Total :	**70.35**
60323	2/26/2020	05833	AQUA PENNSYLVANIA	WATER		865 JENKINTOWN		
	YTD Amount:	36.00						
						865 JENKINTOWN		
						01-24-157-5311		18.00
							Total :	**18.00**
60324	2/26/2020	05834	AQUA PENNSYLVANIA	WATER		511 MEETINGHOUSE		
	YTD Amount:	619.17						
						511 MEETINGHOUSE		
						01-24-157-5311		362.22
							Total :	**362.22**
60325	2/26/2020	05835	AQUA PENNSYLVANIA	WATER		NS JEFFERSON		
	YTD Amount:	36.00						
						NS JEFFERSON		
						01-24-157-5311		18.00
							Total :	**18.00**
60326	2/26/2020	05841	AQUA PENNSYLVANIA	WATER		1119 TOWNSHIP LINE		
	YTD Amount:	100.87						
						1119 TOWNSHIP LINE		
						02-10-203-5311		47.18
							Total :	**47.18**
60327	2/26/2020	05843	AQUA PENNSYLVANIA	WATER		ES VALLEY		
	YTD Amount:	65.37						

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60327	2/26/2020	05843	AQUA PENNSYLVANIA	(Continued)			
						ES VALLEY	
						02-10-203-5311	32.09
						Total :	**32.09**
60328	2/26/2020	05845	AQUA PENNSYLVANIA	WATER		1858 OLD WELSH	
	YTD Amount:	36.00					
						1858 OLD WELSH	
						02-10-203-5311	18.00
						Total :	**18.00**
60329	2/26/2020	05846	AQUA PENNSYLVANIA	WATER		BRIARCLIFF	
	YTD Amount:	36.00					
						BRIARCLIFF	
						02-10-203-5311	18.00
						Total :	**18.00**
60330	2/26/2020	05847	AQUA PENNSYLVANIA	WATER		WS DAVISVILLE	
	YTD Amount:	36.54					
						WS DAVISVILLE	
						02-10-203-5311	18.31
						Total :	**18.31**
60331	2/26/2020	05848	AQUA PENNSYLVANIA	WATER		635 MOREDON	
	YTD Amount:	36.00					
						635 MOREDON	
						02-10-203-5311	18.00
						Total :	**18.00**
60332	2/26/2020	05849	AQUA PENNSYLVANIA	WATER		2571 RUBICAM CRESTMONT PO	
	YTD Amount:	287.80					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60332	2/26/2020	05849	AQUA PENNSYLVANIA	(Continued)			
						2571 RUBICAM CRESTMONT PO	
						01-24-153-5311	143.90
						Total :	**143.90**
60333	2/26/2020	07415	AQUA PENNSYLVANIA	WATER		MEADOWBROOK BIRD SANCTU	
	YTD Amount:	36.00					
						MEADOWBROOK BIRD SANCTU	
						01-24-157-5311	18.00
						Total :	**18.00**
60334	2/26/2020	15814	AQUA PENNSYLVANIA	WATER		WAR MEMORIAL PARK	
	YTD Amount:	36.00					
						WATER AT WAR MEMORIAL PAR	
						01-01-030-5311	18.00
						Total :	**18.00**
60335	2/26/2020	01280	ASSOCIATED TRUCK PARTS	JANUARY		TRUCK PARTS & SUPPLIES FOR	
	YTD Amount:	1,043.96					
					73116	TRUCK PARTS & SUPPLIES FOR	
						01-14-186-5304	634.89
						Total :	**634.89**
60336	2/26/2020	08427	B & H PHOTO - VIDEO	167761270		4 PAIRS OF NIKON 10X42 MONA	
	YTD Amount:	1,187.80					
					73553	4 pairs of Nikon 10x42 Monarch 5	
						01-04-043-5322	1,187.80
						Total :	**1,187.80**
60337	2/26/2020	15149	BAINBRIDGE, PATRICIA	FEBRUARY		REIMBURSE REITREES INSURA	
	YTD Amount:	332.28					

C-97

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60337	2/26/2020	15149	BAINBRIDGE, PATRICIA	(Continued)			
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	97.39
						Total :	**97.39**
60338	2/26/2020	11955	BEST LINE EQUIPMENT	W34717		MONTHLY REPAIRS FOR CHAINS	
	YTD Amount:	179.91					
					73118	MONTHLY REPAIRS FOR CHAINS	
						01-14-186-5304	60.18
						Total :	**60.18**
60339	2/26/2020	00707	BILLOWS ELECTRIC SUPPLY INC	4703673-00		ALVERTHORPE PARK PRESCHO	
	YTD Amount:	7,132.16					
					73598	Alverthorpe Park Preschool Buildin	
						01-24-151-5323	562.46
						Total :	**562.46**
60340	2/26/2020	15005	CAMPBELL, DURANT P.C	68013		PROFESSIONAL SERVICES	
	YTD Amount:	37,545.53					
						PROFESSIONAL SERVICES	
						01-01-003-5201	8,968.00
						Total :	**8,968.00**
60341	2/26/2020	09457	CARTER, ELIAS	JAN & FEB		REIMBURSE RTIREES INSURAN	
	YTD Amount:	1,547.98					
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	349.80
						Total :	**349.80**
60342	2/26/2020	15879	CLAUSER TREE CARE	REFUND		REFUND BUSINESS PRIVILEGE	
	YTD Amount:	120.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60342	2/26/2020	15879	CLAUSER TREE CARE	(Continued)			
						Refund business privledge tax	
						01-00-000-4312	120.00
						Total :	**120.00**
60343	2/26/2020	12630	CLUTTON, SHARON	JAN & FEB		REIMBURSE RTIREES INSURAN(	
	YTD Amount:	194.78					
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	97.39
						Total :	**97.39**
60344	2/26/2020	13415	COMCAST	FEBRUARY		8499 10 138 0274354	
	YTD Amount:	66.17					
						HIGHWAY PUBLIC WORKS	
						01-13-130-5305	29.52
						Total :	**29.52**
60345	2/26/2020	13433	COMCAST	FEBRUARY		ALVERTHORPE PARK CONTROL	
	YTD Amount:	397.84					
					73184	ALVERTHORPE PARK CONTROL	
						01-24-151-5305	198.92
						Total :	**198.92**
60346	2/26/2020	14978	COMCAST	FEBRUARY		TELEPHONE CHARGES FOR PUI	
	YTD Amount:	122.38					
						PHONE SERVICE	
						01-13-130-5305	66.19
						Total :	**66.19**
60347	2/26/2020	05441	COMCAST CABLE	MARCH		CABLE SERVICE YORK & HORAC	
	YTD Amount:	66.39					

C-99

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60347	2/26/2020	05441	COMCAST CABLE	(Continued)			
						CABLE SERVICE YORK & HORAC	
						01-01-030-5305	22.14
						Total :	**22.14**
60348	2/26/2020	05894	COMCAST CABLE	FEBRUARY		MONTHLY CABLE 515 MEETINGH	
	YTD Amount:	406.96					
					73183	MONTHLY CABLE 515 MEETINGH	
						01-24-150-5302	203.48
						Total :	**203.48**
60349	2/26/2020	06339	COMCAST CABLE	FEBRUARY		video arraignments police dept	
	YTD Amount:	295.70					
						video arraignments police dept	
						01-04-040-5307	152.85
						Total :	**152.85**
60350	2/26/2020	08182	COMCAST CABLE	FEBRUARY		INTERNET SERVICE FOR ANNEX	
	YTD Amount:	335.98					
						INTERNET SERVICE FOR ANNEX	
						01-04-062-5305	167.99
						Total :	**167.99**
60351	2/26/2020	09245	COMCAST CABLE	FEBRUARY		PARKS MAINT OFFICE -FOX CHA	
	YTD Amount:	176.80					
						PARKS MAINT OFFICE -FOX CHA	
						01-24-158-5305	88.40
						Total :	**88.40**
60352	2/26/2020	10783	COMCAST CABLE	FEBRUARY		MONTHLY CABLE ROSLYN PARK	
	YTD Amount:	176.80					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60352	2/26/2020	10783	COMCAST CABLE	(Continued)			
						MONTHLY CABLE ROSLYN PARK	
						01-24-158-5305	88.40
						Total :	**88.40**
60353	2/26/2020	12135	COMCAST CABLE	JAN/FEB		BRIAR BUSH NATURE CENTER C	
	YTD Amount:	391.93					
						CABLE FOR BRIAR BUSH	
						01-24-155-5305	254.62
						Total :	**254.62**
60354	2/26/2020	00299	DELAWARE VALLEY CONCRETE INC	370490 371419		REDI MIX CONCRETE	
	YTD Amount:	1,188.00					
					73604	REDI MIX CONCRETE	
						07-00-967-7200	1,082.00
						Total :	**1,082.00**
60355	2/26/2020	08364	DELL MARKETING L.P.	10375882096		2 SERVERS FOR CODY - REMOT	
	YTD Amount:	9,510.75					
					73573	2 servers for CODY - remote acces	
						01-04-055-5322	9,510.75
						Total :	**9,510.75**
60356	2/26/2020	15880	DIAMOND, JOHN	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	63.00					
						Refund business privledge tax	
						01-00-000-4312	63.00
						Total :	**63.00**
60357	2/26/2020	14523	E Z STORAGE	MARCH		MARCH RENTAL FOR PARKDALE	
	YTD Amount:	369.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60357	2/26/2020	14523	E Z STORAGE	(Continued)			
						MARCH RENTAL FOR PARKDALE	
						01-06-088-5305	123.00
						Total :	**123.00**
60358	2/26/2020	01096	EAGLE POWER & EQUIP CORP	P14981		FUEL LINES FOR #152	
	YTD Amount:	3,528.80					
					73643	FUEL LINES FOR #152	
						01-14-186-5304	150.90
						Total :	**150.90**
60359	2/26/2020	07484	EAGLE TRUCK EQUIPMENT	SEE LIST		MONTHLY TRUCK PARTS FOR T\	
	YTD Amount:	4,017.07					
					73120	MONTHLY TRUCK PARTS FOR T\	
						01-14-186-5304	3,718.49
						Total :	**3,718.49**
60360	2/26/2020	03390	ELLIOTT & FRANTZ	10192735		PARTS FOR ROLLERS #161 & #1(	
	YTD Amount:	1,244.34					
					73414	PARTS FOR ROLLERS #161 & #1(	
						01-14-186-5304	1,244.34
						Total :	**1,244.34**
60361	2/26/2020	01064	EVERLASTING FENCE CO.	0031082		FENCING FOR REPAIR OF FENC	
	YTD Amount:	98.19					
					73475	fencing for repair of fence @	
						14-12-100-5322	98.19
						Total :	**98.19**
60362	2/26/2020	11012	F.A.S.P.	DUES		ASSOCIATION DUES AND MEMBI	
	YTD Amount:	8.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60362	2/26/2020	11012	F.A.S.P.	(Continued)			
					73649	Association Dues and Membership:	
						01-15-057-5301	8.00
						Total :	**8.00**
60363	2/26/2020	08830	FERGUSON ENTERPRISES LLC	4253623		DRAINAGE PIPE	
	YTD Amount:	1,306.51					
					73606	DRAINAGE PIPE	
						07-00-967-7200	11.56
						Total :	**11.56**
60364	2/26/2020	00530	FOLEY CAT	PS100035169		PARTS FOR PAVER #192	
	YTD Amount:	958.98					
					73584	PARTS FOR PAVER #192	
						07-13-575-7565	219.91
						Total :	**219.91**
60365	2/26/2020	01102	GARDEN STATE HWY PRODUCTS, INC	PSIN011820		SIGN BRACKETS , HARDWARE F	
	YTD Amount:	6,825.28					
					73397	SIGN BRACKETS , HARDWARE F	
						03-13-143-5325	2,879.28
						Total :	**2,879.28**
60366	2/26/2020	08784	GARGAN, MELISSA	REIMBURSEME		REIMBURSEMENT FOR FOOD - S	
	YTD Amount:	241.19					
					73652	Reimbursement for food - Swearing	
						01-04-040-5340	125.45
						Total :	**125.45**
60367	2/26/2020	00512	GEPPERT INC., WILLIAM A	25118 26311		WORK GLOVES	
	YTD Amount:	2,542.71					

C-103

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60367	2/26/2020	00512	GEPPERT INC., WILLIAM A	(Continued)			
					73623	Work Gloves	
						01-24-157-5323	22.99
				27516 26982		MASONRY & CARPENTRY SUPPI	
					73607	MASONRY & CARPENTRY SUPPI	
						07-00-967-7200	106.61
						Total :	**129.60**
60368	2/26/2020	03395	GIBBS, D. ANDREW	TUITION REIME		TUITION REIMBURSEMENT	
	YTD Amount:	1,585.40					
						TUITION REIMBURSEMENT	
						01-04-044-5190	591.40
						Total :	**591.40**
60369	2/26/2020	15881	GIULIANI - ESTATE OF, JEAN	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	43.00					
						Refund business privledge tax	
						01-00-000-4312	43.00
						Total :	**43.00**
60370	2/26/2020	05517	GLASGOW, INC.	125256 125916		ROADWAY PAVING	
	YTD Amount:	5,170.38					
					73608	ROADWAY PAVING	
						07-00-967-7200	1,745.39
				126516		ROADWAY PAVING	
					73608	ROADWAY PAVING	
						07-00-967-7200	529.64
						Total :	**2,275.03**
60371	2/26/2020	08157	GOPHER	73559		EQUIPMENT FOR PROGRAMS	
	YTD Amount:	1,386.56					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60371	2/26/2020	08157	GOPHER	(Continued)			
					73559	Equipment for Programs	
						01-24-156-5324	1,386.56
						Total :	**1,386.56**
60372	2/26/2020	01110	GRAINGER, INC.	9434709292		WHITE SPARY PAINT FOR MARK	
	YTD Amount:	898.53					
					73547	WHITE SPARY PAINT FOR MARK	
						01-07-110-5300	139.20
						Total :	**139.20**
60373	2/26/2020	15888	JTFU REAL ESTATE LLC	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	15.00					
						Refund business privledge tax	
						01-00-000-4312	15.00
						Total :	**15.00**
60374	2/26/2020	14905	MARKS, EILEEN	JAN & FEB		REIMBURSE RTIREES INSURAN(	
	YTD Amount:	194.78					
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	97.39
						Total :	**97.39**
60375	2/26/2020	14147	MATIZA, SUSAN	FEBRUARY		REIMBURSE RETIREES INSURAI	
	YTD Amount:	389.56					
						REIMBURSE RETIREES INSURAI	
						05-01-029-5102	194.78
						Total :	**194.78**
60376	2/26/2020	15876	MICCIOLO, DONNA	FEBRUARY		RETIREE INSRUANCE	
	YTD Amount:	292.17					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60376	2/26/2020	15876	MICCIOLO, DONNA	(Continued)			
						RETIREE INSURANCE	
						05-01-029-5102	97.39
						Total :	**97.39**
60377	2/26/2020	15882	PEFF, MD, THOMAS	REFUND		REFUND BUSINESS PRIVILEGE	
	YTD Amount:	505.00					
						Refund business privledge tax	
						01-00-000-4312	505.00
						Total :	**505.00**
60378	2/26/2020	10972	PENNSYLVANIA STATE UNIVERSITY	REGISTRATION		PESTICIDE SHORT COURSE	
	YTD Amount:	150.00					
						PESTICIDE SHORT COURSE	
						01-24-150-5301	150.00
						Total :	**150.00**
60379	2/26/2020	14691	PROCESSING CENTER/SUMMARY BILL,	JANUARY		SUMMARY BILLING ACCT #30190	
	YTD Amount:	33,879.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60379	2/26/2020	14691	PROCESSING CENTER/SUMMARY BILL,	(Continued)			
						ELECTRIC FOR TOWNSHIP ACC(	
						01-01-030-5308 ELECTRIC FOR FIRE TRAINING (	3,580.55
						01-15-064-5308 ELECTRIC FOR POLICE TRAININ	63.43
						01-04-062-5308 ELECTRIC FOR HIGHWAY	784.27
						01-13-130-5308 ELECTRIC FOR REFUSE	2,809.46
						14-12-100-5308 ELECTRIC FOR ARDSLEY COMM	240.80
						01-24-152-5308 ELECTRIC FOR CRESTMONT PC	2,425.28
						01-24-153-5308 ELECTRIC FOR PENBRYN POOL	218.92
						01-24-154-5308 ELECTRIC FOR BRIAR BUSH NA	76.81
						01-24-155-5308 ELECTRIC FOR PARKS FACILITIE	525.72
						01-24-157-5308 ELECTRIC FOR FIRE STORAGE (	6,625.64
						01-15-064-5308	0.01
						Total :	**17,350.89**
60380	2/26/2020 YTD Amount:	07388 1,937.80	RED THE UNIFORM TAILOR INC, GALLS I	014982491		UNIFORM ORDER FOR LT. FINK	
					73665	Uniform Order for Lt. Fink - 014982	
						01-04-043-5316	832.50

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60380	2/26/2020	07388	RED THE UNIFORM TAILOR INC, GALLS I	(Continued)		Total :	**832.50**
60381	2/26/2020	15885	REEVES, ROBERT	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	71.00				Refund business privledge tax	
						01-00-000-4312	71.00
						Total :	**71.00**
60382	2/26/2020	15883	SEARS OPTICAL #1283	REFUND		REFUND MERCANTILE TAX	
	YTD Amount:	105.00				REFUND MERCANTILE TAX	
						01-00-000-4312	105.00
						Total :	**105.00**
60383	2/26/2020	15886	SLUSARSKI, LEON	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	106.00				Refund business privledge tax	
						01-00-000-4312	106.00
						Total :	**106.00**
60384	2/26/2020	15884	SUNGLASS HUT #186	REFUND		REFUND MERCANTILE TAX	
	YTD Amount:	66.00				REFUND MERCANTILE TAX	
						01-00-000-4312	66.00
						Total :	**66.00**
60385	2/26/2020	15887	TASSIA CORPORATION	REFUND		REFUND BUSINESS PRIVILEGE T	
	YTD Amount:	28.00				Refund business privledge tax	
						01-00-000-4312	28.00
						Total :	**28.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60386	2/26/2020	00907	21ST CENTURY MEDIA	883030		LEGAL ADVERTISING	
	YTD Amount:	314.91					
						LEGAL ADVERTISING	
						01-06-081-5303	314.91
						Total :	**314.91**
60387	2/26/2020	01306	ABINGTON TWP PUBLIC LIBRARY	ADULT LITERC'		ADULT LITERCY PROGRAM	
	YTD Amount:	9,744.18					
						ADULT LITERCY PROGRAM	
						01-23-072-5702	3,777.00
						Total :	**3,777.00**
60388	2/26/2020	08855	AIRGAS USA LLC	9967938215		JAUARY ACETYLENE/OXYGEN C	
	YTD Amount:	554.07					
					73170	FEBRUARY ACETYLENE/OXYGEI	
						01-24-157-5323	106.84
						Total :	**106.84**
60389	2/26/2020	14398	AND ASSESSMENT, INC, WOLANIN CON:	1260		PSYCHOLOGICAL EVAULATIONS	
	YTD Amount:	1,125.00					
					73636	Psychological evaulations and	
						01-04-040-5319	1,125.00
						Total :	**1,125.00**
60390	2/26/2020	15892	ATTN: JEANETTE DONAHUE, WEST CHE	SEMINAR		REGISTRATION FOR OFC. DELAI	
	YTD Amount:	125.00					
					73664	Registration for Ofc. Delaney - Gro	
						01-04-056-5234	125.00
						Total :	**125.00**
60391	2/26/2020	11955	BEST LINE EQUIPMENT	P4368		PARTS FOR EQUIPMENT	
	YTD Amount:	172.50					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60391	2/26/2020	11955	BEST LINE EQUIPMENT	(Continued)			
					73622	Parts for equipment	
						07-24-800-7582	52.77
						Total :	**52.77**
60392	2/26/2020	06812	CDW-GOVERNMENT, INC.	WSN2812 WTJ4		WIRELESS TV WITH WALL MOUI	
	YTD Amount:	3,673.46					
					73522	wireless tv with wall mount and HDI	
						01-04-043-5320	1,197.46
						Total :	**1,197.46**
60393	2/26/2020	12432	CINTAS	JANUARY		UNIFORMS FOR V.M.	
	YTD Amount:	1,122.60					
					73529	UNIFORMS FOR V.M.	
						01-14-180-5316	294.43
						Total :	**294.43**
60394	2/26/2020	12500	CLEAN MACHINE CARWASH	CAR WASHES		POLICE VEHICLE CAR WASHING	
	YTD Amount:	390.50					
					73119	POLICE VEHICLE CAR WASHING	
						01-14-186-5304	253.00
						Total :	**253.00**
60395	2/26/2020	08628	CONTRACT & COMMERCIAL INC., STAPL	3438100319		OFFICE MATERIALS AND SUPPLI	
	YTD Amount:	4,610.99					
					73437	Office Materials and Supplies.	
						01-15-057-5323	54.54

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60395	2/26/2020	08628	CONTRACT & COMMERCIAL INC., STAPL	(Continued)			
				3438850063		OFFICE SUPPLIES FOR FINANCE	
					73548	Staples	
						01-05-010-5300	3.29
					73548	Purple Pens	
						01-05-010-5300	4.18
				3438850064 343		SUPPLIES FOR FINANCE OFFICE	
					73524	Calculator Tape	
						01-05-010-5300	2.67
					73524	Wireless Keyboard & Mouse for FD	
						01-05-010-5300	27.98
					73524	6 X 9 Envelopes	
						01-05-010-5300	5.95
					73524	9 X 12 Envelopes	
						01-05-010-5300	6.91
					73524	Small Post-It Notes	
						01-05-010-5300	1.07
					73524	Correction Tape	
						01-05-010-5300	5.82
						Total :	**112.41**
60396	2/26/2020	00851	HOME DEPOT CREDIT SERVICES	SEE LIST		SUPPLIES FOR WANAMAKER RC	
	YTD Amount:	9,050.04					
						SUPPLIES FOR WANAMAKER RC	
						07-00-967-7200	1,012.98
					73620	parts for admin door	
						01-04-062-5317	68.77
						Total :	**1,081.75**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60397	2/26/2020	10249	ITSAVVY LLC	01168859		IPAD, SURFACE PEN, HDMI ADAF	
	YTD Amount:	12,760.57					
					73658	ipad, surface pen, hdmi adapter	
						01-01-005-5322	290.49
						Total :	**290.49**
60398	2/26/2020	15553	JWW EDUCATIONAL CAMPS, LLC	1010049		DJI SMART CONTROLLER AND V	
	YTD Amount:	1,896.00					
					73506	DJI smart controller and wireless	
						01-04-057-5320	1,896.00
						Total :	**1,896.00**
60399	2/26/2020	13300	KEY BUSINESS DRIVE	15629		MAINTENANCE AGREEMENT SI	
	YTD Amount:	777.39					
					73686	Maintenance Agreement SI 1000 F	
						01-01-002-5306	665.00
						Total :	**665.00**
60400	2/26/2020	00920	KIRKLAND PRINTING, INC	46379		1000 DRUG EVIDENCE CARDS, 1	
	YTD Amount:	1,508.00					
					73344	1000 drug evidence cards, 1000 ar	
						01-04-055-5303	1,000.00
					73344	1000 drug evidence cards, 1000 ar	
						01-04-053-5340	508.00
						Total :	**1,508.00**
60401	2/26/2020	12818	LANSDALE CHRYSLER	113283		PARTS FOR #29-24	
	YTD Amount:	1,436.91					
					73624	PARTS FOR #29-24	
						01-14-186-5304	503.20
						Total :	**503.20**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60402	2/26/2020	04209	MALDEN, W.G.	16054		QUARTER SERIVICE FOR CALIBI	
	YTD Amount:	1,900.00					
						QUARTER SERIVICE FOR CALIBI	
						02-10-204-5305	1,900.00
						Total :	**1,900.00**
60403	2/26/2020	15893	MANZINGER, ALISON	DEATH BENEFI		DEATH BENEFIT OF JOHN MANZ	
	YTD Amount:	3,500.00					
						DEATH BENEFIT OF JOHN MANZ	
						05-01-029-5215	3,500.00
						Total :	**3,500.00**
60404	2/26/2020	09136	MASON CO., INC., W.B.	207666610		BLUE PENS, RED PENDAFLEX SI	
	YTD Amount:	2,519.99					
					73569	blue pens, red pendaflex sectional	
						01-04-043-5300	112.28
					73569	maxi pads for prisoners,	
						01-04-043-5330	34.13
				207710431		OFFICE SUPPLIES.	
					73577	Office supplies.	
						01-24-155-5300	97.81
				207851128		PACK OF AA BATTERIES, SUPER	
					73637	pack of aa batteries, super glue, tai	
						01-04-043-5300	80.41
						Total :	**324.63**
60405	2/26/2020	15867	MCILVAINE, ASHLEY	REIMBURSEME		TRAIN FEE FOR GRANT MEETIN	
	YTD Amount:	154.59					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60405	2/26/2020	15867	MCILVAINE, ASHLEY	(Continued)			
						TRAIN FEE FOR GRANT MEETIN	
						01-01-001-5301	12.00
						REIMBURSEMENT FOR BREAKF	
						01-01-001-5301	46.96
						Total :	**58.96**
60406	2/26/2020	15878	NRPA	MEMBERSHIP		NRPA MEMBERSHIP PROFESSIC	
	YTD Amount:	175.00					
					73597	NRPA Membership Professional	
						01-24-150-5301	175.00
						Total :	**175.00**
60407	2/26/2020	08537	OFFICE DEPOT	439392576001		SPECIALTY PAPER FOR TOWNSI	
	YTD Amount:	463.20					
					73525	Ledger Paper for Township	
						01-01-002-5300	40.99
					73525	Yellow Copy Paper for Township	
						01-01-002-5300	40.96
					73525	Mailing Labels for Finance	
						01-05-010-5300	7.84
						Total :	**89.79**
60408	2/26/2020	03020	PA CHIEFS OF POLICE ASSOC	13344		REGISTRATION FOR K. WARNEF	
	YTD Amount:	10,490.00					
					73650	Registration for K. Warner for PLE/	
						01-04-063-5234	100.00
				13345		REGISTRATION FOR CHIEF MOL	
					73654	Registration for Chief Molloy - PLE/	
						01-04-063-5234	100.00

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60408	2/26/2020	03020	PA CHIEFS OF POLICE ASSOC	(Continued)		Total :	**200.00**
60409	2/26/2020	00941	PA RECREATION & PARK SOCIETY	39826		POOL RECERTIFICATION WORK	
	YTD Amount:	6,328.00					
					73562	Pool Recertification Workshop	
						01-24-150-5301	80.00
						Total :	**80.00**
60410	2/26/2020	01061	PENNA ONE CALL SYSTEMS, INC.	0000847128		MONTHLY CHARGES ONE CALL	
	YTD Amount:	735.01					
					73144	MONTHLY CHARGES ONE CALL	
						01-07-110-5305	431.20
						Total :	**431.20**
60411	2/26/2020	12563	PETROLEUM TRADERS CORPORATION	1510541		6000 GALLONS OF UNLEADED F	
	YTD Amount:	79,430.21					
					73600	6000 GALLONS OF UNLEADED F	
						01-14-186-5310	9,532.36
						Total :	**9,532.36**
60412	2/26/2020	07612	PROTECTION BUREAU, THE	242657		REPAIRS TO ACEC SMOKE DETE	
	YTD Amount:	5,099.79					
					73595	Repairs to ACEC Smoke Detector	
						01-24-152-5305	1,709.79
						Total :	**1,709.79**
60413	2/26/2020	12990	READY REFRESH	JANUARY		ALVERTHORPE MANOR	
	YTD Amount:	28.10					
						ALVERTHORPE MANOR	
						01-24-157-5311	4.99
						Total :	**4.99**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60414	2/26/2020	07847	REAPE, JEFFERS & ASSOC	85888		REAL ESTATE APPRAISAL	
	YTD Amount:	213.49					
						REAL ESTATE APPRAISAL	
						01-01-003-5202	97.04
				86712		REAL ESTATE APPRAISAL	
						REAL ESTATE APPRAISAL	
						01-01-003-5202	116.45
						Total :	**213.49**
60415	2/26/2020	10046	REIDER ASSOCIATES, INC., M.J.	20B0098		LABORATORY TESTING	
	YTD Amount:	5,783.75					
					73599	LABORATORY TESTING	
						02-10-200-5305	2,135.25
						Total :	**2,135.25**
60416	2/26/2020	04607	SHAPIRO FIRE PROTECTION CO	9123		ANNUAL FIRE EXTINGUISHER M.	
	YTD Amount:	1,354.56					
					73581	Annual fire extinguisher maintenan	
						01-24-157-5305	808.54
				9154		FIRE EXTINGUISHER FOR ACEC	
					73645	Fire Extinguisher for ACEC kitchen	
						01-24-152-5323	230.55
						Total :	**1,039.09**
60417	2/26/2020	10574	SMITH-EDWARDS-DUNLAP CO.	95087		1500 ENGLISH VICTIM WITNESS	
	YTD Amount:	2,050.00					
					73671	1500 english victim witness assista	
						01-04-043-5322	2,050.00
						Total :	**2,050.00**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60418	2/26/2020	03797	STUCKERT PLUMBING, INC., BRYAN	22199-34552		AT/APD TESTING BACKFLOW DE	
	YTD Amount:	300.00					
					73679	AT/APD testing backflow device-$3	
						01-01-030-5317	300.00
						Total :	**300.00**
60419	2/26/2020	15723	SUNBELT RENTALS, INC.	96056181-0005		EQUIPMENT RENTAL TO REMOV	
	YTD Amount:	13,755.78					
					73632	Equipment rental to remove invasti	
						07-24-800-7582	6,801.89
						Total :	**6,801.89**
60420	2/26/2020	15540	THE HOME DEPOT PRO	534051032		NEW TRASH CANS FOR ENGINE	
	YTD Amount:	6,054.46					
					73656	NEW TRASH CANS FOR ENGINE	
						01-06-081-5300	136.20
						TRASH CAN FOR UPSTAIRS CON	
						01-01-030-5318	144.15
						Total :	**280.35**
60421	2/26/2020	08592	TOBAY PRINTING CO., INC.	31609		SPRING AND SUMMER ACTIVITIE	
	YTD Amount:	8,360.00					
					73310	Spring and Summer Activities Guid	
						01-24-150-5303	5,424.70
					73310	Spring and Summer Activities Guid	
						01-00-000-2510	2,935.30
						Total :	**8,360.00**
60422	2/26/2020	10627	TRAFFIC PLANNING & DESIGN INC	TPD1877		PROJECT ABTO 00021 CHOP LD	
	YTD Amount:	14,437.02					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60422	2/26/2020	10627	TRAFFIC PLANNING & DESIGN INC	(Continued)			
						PROJECT ABTO 00021 CHOP LD	
						07-00-000-2451	1,672.50
				TPD18852		ABTO 0029 1231 SUSQUEHANNA	
						ABTO 0029 1231 SUSQUEHANNA	
						07-00-000-2451	452.63
						Total :	**2,125.13**
60423	2/26/2020	08328	URBAN RESEARCH & DEVELOPMENT	3718 DS		SHPAE FILES FOR TREE ANALYS	
	YTD Amount:	150.00					
						SHPAE FILES FOR TREE ANALYS	
						01-24-158-5340	150.00
						Total :	**150.00**
60424	2/26/2020	01028	VAN'S LOCK SHOP, INC	0000107251		INVOICE 107251 - THREE DUPLIC	
	YTD Amount:	202.94					
					73685	Invoice 107251 - three duplicate ke	
						01-04-055-5305	57.60
						Total :	**57.60**
60425	2/26/2020	00112	VERIZON	FEBRUARY		TELEPHONE BILLINGS~	
	YTD Amount:	1,062.33					
						TELEPHONE BILLINGS~	
						01-24-153-5307	116.07
						TELEPHONE BILLINGS~	
						03-13-146-5304	70.39
						TELEPHONE BILLINGS pump stat	
						02-10-203-5307	123.41
						Total :	**309.87**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60426	2/26/2020	04072	VERIZON	MARCH		MONTHLY CONDUIT RENTAL	
	YTD Amount:	140.22					
						MONTHLY CONDUIT RENTAL	
						01-01-002-5307	70.11
						Total :	**70.11**
60427	2/26/2020	08717	VERIZON	FEBRUARY		POLICE FRAME RELAY-POLICE (	
	YTD Amount:	1,673.05					
						POLICE FRAME RELAY-POLICE (	
						01-04-055-5305	877.88
						Total :	**877.88**
60428	2/26/2020	12843	VERIZON WIRELESS	FEBRUARY		MODEMS/POLICE CARS	
	YTD Amount:	2,160.89					
						MODEMS FOR POLICE CARS	
						01-04-055-5305	1,080.56
						Total :	**1,080.56**
60429	2/26/2020	07500	VILE, SUSAN ELIZABETH	0205/2020		TRANSCRIPTION/EDITING OF MI	
	YTD Amount:	2,320.25					
						Transcription/Editing of minutes for	
						01-01-002-5305	204.25
						Total :	**204.25**
60430	2/26/2020	01032	WEINSTEIN SUPPLY CORP.	024726706 0247		ALVERTHORPE PARK PRESCHO	
	YTD Amount:	347.60					
					73563	Alverthorpe Park Preschool Buildin	
						01-24-151-5323	119.13
						Total :	**119.13**
60431	2/26/2020	09502	WILLOW TREE SERVICE	55309		TREE REMOVAL~	
	YTD Amount:	1,875.00					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60431	2/26/2020	09502	WILLOW TREE SERVICE	(Continued)			
					73596	Tree Removal~	
						07-24-800-7580	1,875.00
						Total :	**1,875.00**

129 Vouchers for bank code : ap2 — Bank total : **134,676.59**

129 Vouchers in this report — Total vouchers : **134,676.59**

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60432	2/28/2020	13763	ATC GROUP SERVICES, LLC	2250775		MS4 STORMWATER	
	YTD Amount:	12,421.50					
						PROJECT Z057000047~	
						07-07-566-7527	4,833.00
				2250776		MONROE/HAMEL STORM IMPRO	
						MONROE/HAMEL STORM IMPRO	
						07-00-967-7200	992.50
				2250777		GROWING GREENER PROJECT-	
						GROWING GREENER PROJECT-	
						07-07-566-7518	3,290.50
				2250778		ARDSLEY WILDLIFE SANCTUAR'	
						ARDSLEY WILDLIFE SANCTUAR'	
						06-01-223-5305	3,305.50
						Total :	**12,421.50**
60433	2/28/2020	12135	COMCAST CABLE	DECEMBER		CABLE BRIAR BUSH	
	YTD Amount:	519.24					
						CABLE BRIAR BUSH	
						01-24-155-5305	127.31
						Total :	**127.31**
60434	2/28/2020	03261	CONROY'S CLEANING INC	DECEMBER		CLEANING SERVICE	
	YTD Amount:	4,090.00					
						CLEANING SERVICE	
						01-24-152-5305	50.00
						Total :	**50.00**
60435	2/28/2020	12977	EAW SECURITY	53429		SERVICE TO CRESTMONT POOL	
	YTD Amount:	1,702.82					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60435	2/28/2020	12977	EAW SECURITY	(Continued)			
					73621	Service to Crestmont Pool Camera:	
						01-24-153-5305	150.00
				53531		CAMERA UPGRADE FOR CREST	
					70089	Camera Upgrade for Crestmont Cl	
						01-24-157-5317	704.28
						Total :	**854.28**
60436	2/28/2020	07063	FINE, JOY C.	DECEMBER		REIMBURSE RETIREES INSURAI	
	YTD Amount:	137.50					
						REIMBURSEMENT RETIREES IN	
						05-01-029-5102	137.50
						Total :	**137.50**
60437	2/28/2020	15768	FINEMAN TRUSTEE, SAMUEL M	ASSESSMENT I		ASSESSMENT REDUCTION	
	YTD Amount:	14.00					
						ASSESSMENT REDUCTION	
						01-00-000-4030	11.00
						ASSESSMENT REDUCTION	
						01-00-000-4075	3.00
						Total :	**14.00**
60438	2/28/2020	00541	HIBBERT'S INC	022995		ENGRAVING	
	YTD Amount:	716.93					
						ENGRAVING	
						01-24-155-5303	220.00
						Total :	**220.00**
60439	2/28/2020	15782	INFRASTRUCTURE SOLUTIONS INC, WC	M32100100		COMP STORMWATER PLAN	
	YTD Amount:	23,037.29					

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60439	2/28/2020	15782	INFRASTRUCTURE SOLUTIONS INC, WC	(Continued)			
						COMP STORMWATER PLAN	
						07-07-566-7529	23,037.29
						Total :	**23,037.29**
60440	2/28/2020	03021	JENKINTOWN BOROUGH	191204		1/3 SHARE OF ENGINEERING CC	
	YTD Amount:	777.92					
						1/3 SHARE OF ENGINEERING CC	
						07-01-500-7524	777.92
						Total :	**777.92**
60441	2/28/2020	15721	KUHARCHIK CONSTRUCTION, INC	payment 2 & 3		NORTH HILLS ROAD AND MT CA	
	YTD Amount:	109,847.90					
						NORTH HILLS ROAD AND MT CA	
						03-13-146-5304	109,847.90
						Total :	**109,847.90**
60442	2/28/2020	01200	McMAHON ASSOCIATES, INC.	167456		MT CARMEL AND NORTH HILLS (	
	YTD Amount:	94,924.09					
						MT CARMEL AND NORTH HILLS (	
						03-13-146-5304	322.50
				167477		JENKINTOWN/GREENWOOD DE:	
						JENKINTOWN/GREENWOOD DE:	
						07-01-500-7524	8,650.48
				167478		JENKINTOWN-ALVERTHORPE T	
						JENKINTOWN-ALVERTHORPE T	
						07-01-500-7524	14,501.23
				167729		SUSQUEHANNA ROAD/EDGE HIL	
						SUSQUEHANNA ROAD/EDGE HIL	
						06-13-017-5305	1,476.15

Bank code : ap2

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
60442	2/28/2020	01200 McMAHON ASSOCIATES, INC.	(Continued)			
			167992		JENKINTOWN/GREENWOOD DE: JENKINTOWN/GREENWOOD DE:	
					07-01-500-7524	6,716.35
			167993		JENKINTOWN/GREENWOOD GL JENKINTOWN/GREENWOOD GL	
					06-01-224-5305	1,047.55
			168013		JENKINTOWN/ALVERTHORPE TF JENKINTOWN/ALVERTHORPE TF	
					07-01-500-7524	11,393.35
			168014		FITZWATERTOWN/WOODLAND/I FITZWATERTOWN/WOODLAND/I	
					03-13-146-5304	2,152.50
			168116		GENERAL TRAFFIC ENGINEERIN GENERAL TRAFFIC ENGINEERIN	
					01-04-048-5305	537.50
			168397		SUSQUEHANNA ROAD/EDGE HIL SUSQUEHANNA ROAD/EDGE HIL	
					06-13-017-5305	912.19
			168415		JENKINTOWN/GREENWOOD DE: JENKINTOWN/GREENWOOD DE:	
					07-01-500-7524	1,741.50
			168587		JENKINTOWN-ALVERTHORPE TF JENKINTOWN-ALVERTHORPE TF	
					07-01-500-7524	3,208.17
			169080		JENKINTOWN-ALVERTHORPE~ JENKINTOWN-ALVERTHORPE~	
					07-01-500-7524	7,984.76

C-124

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60442	2/28/2020	01200	McMAHON ASSOCIATES, INC.	(Continued)			
				169115		GENERAL ENGINEERING SERVI(	
						GENERAL ENGINEERING SERVI(	
						07-01-500-7524	597.50
				169396		TWP LINE AND HOLME PED CRC	
						TWP LINE AND HOLME PED CRC	
						01-04-048-5305	1,442.40
				169429		JENKINTOWN-ALVERTHORPE	
						JENKINTOWN-ALVERTHORPE	
						07-01-500-7524	418.09
						Total :	**63,102.22**
60443	2/28/2020	08630	O'NEILL'S FOOD MARKET	10/31 & 11/01		FOOD FOR SERGEANT'S TEST	
	YTD Amount:	759.94					
					72507	food for sergeant's test	
						01-04-055-5305	368.80
						Total :	**368.80**
60444	2/28/2020	03216	PECO ENERGY COMPANY	DECEMBER		WWTP PECO BILLINGS	
	YTD Amount:	57,359.42					
						WWTP PECO BILLINGS	
						02-10-200-5308	51,786.06
						WWTP PECO BILLINGS	
						02-10-203-5308	5,573.36
						Total :	**57,359.42**
60445	2/28/2020	00308	PORTER, CHRISTOPHER	TUITION		TUITION REIMBURSEMENT-~	
	YTD Amount:	238.25					
						TUITION REIMBURSEMENT-~	
						01-04-040-5190	238.25

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60445	2/28/2020	00308	PORTER, CHRISTOPHER	(Continued)		Total :	**238.25**
60446	2/28/2020	01732	REDEVELOPMENT AUTHORITY OF	02/19/2020		YORK & SUSQUEHANNA ROADS	
	YTD Amount:	157.50				YORK & SUSQUEHANNA ROADS	
						01-01-003-5201	35.00
						Total :	**35.00**
60447	2/28/2020	15712	ROSLYN FIRE COMPANY	ATFD CAPITAL		ATFD CAPITAL BUDGET PROJEC	
	YTD Amount:	21,513.71					
					73232	ATFD CAPITAL BUDGET PROJEC	
						07-15-091-7592	21,513.71
						Total :	**21,513.71**
60448	2/28/2020	15561	RUBIN, MICHAEL	REIMBURSEME		REIMBURSEMENT FOR GATOR F	
	YTD Amount:	603.26					
					71086	Reimbursement for gator repairs -	
						01-04-043-5322	603.26
						Total :	**603.26**
60449	2/28/2020	00059	SCULLY WELDING SUPPLY CORP	2693427		CYLINDER RENTAL	
	YTD Amount:	33.75					
						CYLINDER RENTAL	
						02-10-200-5305	33.75
						Total :	**33.75**
60450	2/28/2020	15518	SHAUGHNESSY, WILLIAM & SAPNA	BILLING ADJUS		BILLING ADJUSTMENT PER COU	
	YTD Amount:	85.00					
						BILLING ADJUSTMENT PER COU	
						01-00-000-4030	67.00
						BILLING ADJUSTMENT PER COU	
						01-00-000-4075	18.00

Bank code : ap2

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
60450	2/28/2020	15518	SHAUGHNESSY, WILLIAM & SAPNA	(Continued)		Total :	**85.00**
60451	2/28/2020	15301	SHRED-IT USA	8129136145		REGULAR PICK UP	
	YTD Amount:	224.70					
						REGULAR PICK UP	
						14-12-103-5305	112.35
						Total :	**112.35**
60452	2/28/2020	12871	SOO, ANDREA	REIMBURSEME		REIMBURSEMENT FOR SNACKS	
	YTD Amount:	23.92					
						REIMBURSEMENT FOR SNACKS	
						01-01-002-5340	23.92
						Total :	**23.92**
60453	2/28/2020	08008	UPPER MORELAND-HATBORO JOINT	REIMBURSEME		OVERPAYMENT OF 2018 SANITA	
	YTD Amount:	58,631.00					
						OVERPAYMENT OF 2018 SANITA	
						02-00-000-4225	58,631.00
						Total :	**58,631.00**
60454	2/28/2020	15799	WOLFSON, ESTATE OF STANLEY	DEATH BENEFI		DEATH BENEFIT OF STANLEY W	
	YTD Amount:	3,500.00					
						DEATH BENEFIT OF STANLEY W	
						05-01-029-5215	3,500.00
						Total :	**3,500.00**
	23 Vouchers for bank code :		ap2			Bank total :	**353,094.38**
	23 Vouchers in this report					Total vouchers :	**353,094.38**

FINANCE COMMITTEE

AGENDA ITEM

March 17, 2020

DATE

FC-03-040720

AGENDA ITEM NUMBER

FISCAL IMPACT

Cost > $10,000.

Yes ☐ No ☑

Finance

DEPARTMENT

PUBLIC BID REQUIRED

Cost > $20,100

Yes ☐ No ☑

AGENDA ITEM:

Clearing Fund/Deferred Revenue and Expense/Petty Cash

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Consider a motion to approve the Clearing Fund, the Deferred Revenue/Expense activity and Petty Cash balances for the month of February 2020. Clearing fund receipts and disbursements for the month of February 2020 were $2,249.25 and ($451.07), respectively. Deferred Revenue/Expense receipts and disbursements for the month of February 2020 were $0.00 and ($2,935.30) respectively.

CLEARING FUND ANALYSIS

Description	Beginning Balance 02/01/20	Receipts	Disbursements	Ending Balance 02/29/20
Sales Tax	0.00			0.00
Sales Tax-Refuse	83.20	14.25		97.45
Sales Tax-Rain Barrels	8.77			8.77
Sales Tax-Bare Root Trees	0.00			0.00
SPS WWTP	0.00			0.00
Training Center	0.00			0.00
State Mandated Permit Fees	755.50	860.00	(22.50)	1,593.00
War Memorial Donations	11,590.52	1,375.00	(428.57)	12,536.95
Totals	12,437.99	2,249.25	(451.07)	14,236.17

DEFERRED REVENUE/EXPENSE

HRC-Jnktwn Rotary Donation	997.85			997.85
Donation-Police Laser Purchase	250.00			250.00
Police Academy	2,777.50			2,777.50
Roychester Park Donations	1,046.00			1,046.00
2219 Old Welsh-Parkview Curbs	0.00			0.00
Calendar Ads	10,219.55		(2,935.30)	7,284.25
Refund FICA	(495.99)			(495.99)
TOTALS	14,794.91	0.00	(2,935.30)	11,859.61

EAC

EAC Green Account	1,190.61			1,190.61
Jackson Park	1,279.82			1,279.82
TOTALS	2,470.43	0.00	0.00	2,470.43

EAC SUSTAINABILITY PROJECTS

EAC SUSTAINABILITY PROJECTS	16,595.38			16,595.38
TOTALS	16,595.38	0.00	0.00	16,595.38

CASH BALANCES (See Attached)

PETTY CASH FUNDS

Finance Office	500.00
Parks - Regular	100.00
Ardsley Community Center	100.00
Briar Bush - Regular	75.00
Police Admin	300.00
Police - SIU	500.00
Police-Records Office	50.00
Wastewater Administration	50.00
Public Works	50.00
Reception	75.00

TOTAL PETTY CASH FUNDS: 1,800.00

Cash and Investments Report
Cash and Investments Report
TWP OF ABINGTON
Through February 2020

		Cash	Investments	Fund Total
01	GENERAL FUND	3,422,705.40	8,229,000.01	11,651,705.41
02	SEWER OPERATIONS	2,451,871.78	2,444,323.35	4,896,195.13
03	HIGHWAY AID	934,291.57	0.00	934,291.57
04	FLOOD MITIGATION FUND	0.00	0.00	0.00
05	OPEB - HEALTH COST FUND	5,477,235.63	15,636,259.58	21,113,495.21
06	GRANT FUND	162,255.36 CR	0.00	162,255.36 CR
07	PERMANENT IMPROVEMENT	10,064,564.64	1,312,000.02	11,376,564.66
08	PARKS CAPITAL	120,913.29	0.00	120,913.29
10	TUITION REIMBURSEMENT FUND	0.00	0.00	0.00
11	RENTAL REHAB	7,624.86	0.00	7,624.86
12	CLEARING FUND	14,236.17	0.00	14,236.17
13	WORKER'S COMPENSATION	1,096,341.29	820,000.01	1,916,341.30
14	REFUSE FUND	1,551,355.97	250,000.02	1,801,355.99
15	MAIN ST MGR/ECON DEVELOP FUND	3,676.34	0.00	3,676.34
16	S.I.U.	8,831.70	0.00	8,831.70
17	SEWER CAPITAL	2,128,314.79	2,971,000.02	5,099,314.81
18	CDBG	0.00	0.00	0.00
	Grand Total:	**27,119,708.07**	**31,662,583.01**	**58,782,291.08**

FINANCE COMMITTEE

AGENDA ITEM

March 17, 2020

DATE

FC-04-040720

AGENDA ITEM NUMBER

Finance

DEPARTMENT

FISCAL IMPACT

Cost > $10,000.

Yes ☐ No ☑

PUBLIC BID REQUIRED

Cost > $20,100

Yes ☐ No ☑

AGENDA ITEM:

Training and Conference Expenses

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

RECOMMENDED BOARD ACTION:

Consider a motion to approve the Travel Expense activity for February 2020. Travel Expenses are for February 2020 were $6,434.67 and two-month expenses totaled $6,434.67.

2019 TRAINING AND CONFERENCE EXPENDITURES			
Employee Name	**Event**	**Submitted 2/29/2020**	**YTD Expenses 2020**
*Ofcrs. Nyman, Cartwright Fulginiti, Prior & Coughlin	Street Survival Training Atlantic City, NJ 02/17/2020 to 02/19/2020	1,295.00	1,295.00
*Chief Molloy, Lt. Magee K. Przybylowski	CALEA Orlando, FL 03/18/2020 to 03/21/2020	2,685.00	2,685.00
*Dave Hendler	CODY Conference Hershey, PA 04/19/2020 to 04/20/2020	225.00	225.00
*Chief Molloy	FBINAA National Training New Orleans, LA 07/18/2020 to 07/21/2020	1,529.99	1,529.99
*Lt. Magee	PLEAC Conference Harrisburg, PA 03/23/2020 to 03/25/2020	226.44	226.44
*M. Gargan, R. Conroy, K. Przybylowski	POSS Conference Atlantic City, NJ 06/02/2020 to 06/04/2020	258.24	258.24
*Lt. Porter	PELRAS State College, PA 03/28/2020 to 03/20/2020	215.00	215.00
Total		6,434.67	6,434.67

*New Activity

EXPENSES BY DEPARTMENT:	
Briar Bush	
Commissioners	
Administration	
Police	6,434.67
Parks	
Public Works	
Fire Marshal	
Finance	
Code	
WWTP	
Total	6,434.67

TOWNSHIP OF ABINGTON
STATEMENT OF CONDITIONS
PERMANENT IMPROVEMENT FUND 2/29/20

	Beginning Balance 02/01/20	Monthly Activity	Ending Balance 02/29/20
ASSETS:			
Cash in Bank:			
Operating Cash	7,189,507.14	(148,698.33)	7,040,808.81
Wells Fargo Cash	5,437.27		5,437.27
Police Segregated Account	0.00		0.00
Subdivision Plan	60,041.11	(382.50)	59,658.61
Aqua/PECO Paving	(43,847.48)		(43,847.48)
Construction Permits	2,362,994.63	2,220.00	2,365,214.63
Hiway Permits	0.00		0.00
Land Development	38,958.73	(765.00)	38,193.73
Street Opening Permits	7,687.10	1,000.00	8,687.10
WaterCourse Permits	1,800.00		1,800.00
Miscellaneous Escrows	127,691.68	250.00	127,941.68
Temporary Use & Occ.	1,500.00		1,500.00
Soil Erosion	6,000.00		6,000.00
Legal Fees - Escrow	127,684.74	12,872.37	140,557.11
Investments	1,312,000.00		1,312,000.00
Plgit	0.02		0.02
Discount on Investments	0.00		0.00
Premium on Investments	0.00		0.00
Investment to Market	2,849.50		2,849.50
Interest Receivable	0.00		0.00
Misc Receivables	0.00		0.00
Perm. Improve. Liens Rec.	29,939.14		29,939.14
Allowance for Liens	(29,939.14)		(29,939.14)
Cash DEA	428.74		428.74
Cash 2014 Bond Issue	0.00		0.00
Cash 2017 Bond	447,133.55	(129,511.84)	317,621.71
Republic Bank-2017 Bond Cash	(374.80)		(374.80)
TOTAL ASSETS	11,647,491.93	(133,503.46)	11,384,476.63
LIABILITIES			
Accounts Payable	(133,909.20)	133,909.20	0.00
Payroll Payable	0.00		0.00
Deposits Payable-Subdivisions	(59,658.61)		(59,658.61)
Aqua/PECO Paving	43,847.48		43,847.48
Deposits Payable-Construction Permits	(2,362,994.63)	(2,220.00)	(2,365,214.63)
Deposit Payable-Hiway Permits	0.00		0.00
Deposits Payable Land Development	(38,193.73)		(38,193.73)
Deposits Payable Street Opening	(7,687.10)	(1,000.00)	(8,687.10)
Deposits Payable WaterCourse Permits	(1,800.00)		(1,800.00)
Miscellaneous Escrows	(127,691.68)	(250.00)	(127,941.68)
Deposits Payable Temp. Use & Occ. Permits	(1,500.00)		(1,500.00)
Deposits Payable Soil Erosion	(6,000.00)		(6,000.00)
Deposit Payable - Legal Fees Escrow	(125,682.24)	(14,874.87)	(140,557.11)
Deferred Revenue	0.00		0.00
2017 Bonds Payable	0.00		0.00
TOTAL LIABILITIES	(2,821,269.71)	115,564.33	(2,705,705.38)
FUND BALANCE:	9,730,575.58		9,730,575.58
REVENUES:			
Payment for Municipal Services	0.00		0.00
Interest on Investments	13,329.22	7,749.10	21,078.32
Refunds	0.00		0.00
Sale of Property	0.00		0.00
Grants - State	0.00		0.00
Grants - County	0.00		0.00
Private Donations	0.00		0.00
Transfer from General Fund	0.00		0.00
Interest Income 2014 Bond Issue	0.00		0.00
Interest Income 2017 Bond Issue	0.00		0.00
TOTAL REVENUES	13,329.22	7,749.10	21,078.32

TOWNSHIP OF ABINGTON
STATEMENT OF CONDITIONS
PERMANENT IMPROVEMENT FUND 2/29/20

EXPENSES:	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
000-5999 Miscellaneous Expense	45,855.00	45,855.00	0.00
967-5213 2017 Bond Funding Cost	0.00		0.00
967-7200 2017 Bond - Storm Sewer	1,160,467.56	58,901.45	1,101,566.11
967-7201 2017 Bond - Old York/Susquehanna Match	1,102,708.93		1,102,708.93
967-7202 2017 Bond - A.C.E. Sandy Run Match	595,800.00	120,800.00	475,000.00
500-7511 Replace Boiler Admin 2016	9,694.60		9,694.60
500-7517 Basement Water Damage & Repair 2017	20,955.65		20,955.65
500-7521 Large Scanner Replacement 2017	14,532.45		14,532.45
500-7524 Grant Match Support 2018	81,885.58	1,262.50	80,623.08
500-7529 GIS Program 2018	5,343.00	2,211.96	3,131.04
500-7530 Website Update/App 2018	4,517.79		4,517.79
500-7536 Township Buildings 2020	60,000.00		60,000.00
500-7537 Grant Support 2020	200,000.00		200,000.00
500-7538 Municipal Complex Feasibility Study 2020	100,000.00		100,000.00
500-7539 Cityview Workspace 2020	55,000.00		55,000.00
500-7540 Dedicated Connections 2020	8,500.00		8,500.00
500-7541 Mobile Device Protection 2020	12,000.00		12,000.00
500-7542 Security Audit 2020	25,000.00		25,000.00
500-7543 Sewer GIS Updates 2020	40,000.00		40,000.00
500-7544 Virtual Desktops 2020	20,000.00		20,000.00
500-7545 Finance Software Upgrade 2020	250,000.00		250,000.00
525-7548 Police Vehicles 2020	360,000.00		360,000.00
525-7549 Police Vehicle Digital Systems 2020	15,000.00		15,000.00
525-7550 Body Cameras 2020	109,657.00	109,657.00	0.00
525-7551 Replace/Upgrade Blue Band Radios 2020	110,140.00		110,140.00
525-7552 Digital Radios 2020	72,702.00	72,701.36	0.64
525-7553 Call Log and Recorder 2020	6,000.00		6,000.00
525-7554 Traffic Safety 2020	85,000.00		85,000.00
525-7555 Terminal and Cody Servers 2020	17,000.00		17,000.00
525-9900 Police & Fire Memorial 2000	397.16		397.16
566-7519 Alverthorpe Grant Match 2018	30,000.00		30,000.00
566-7520 Watershed Restoration Grant Susquehanna 2018	51,750.00		51,750.00
566-7529 Stormwater Master Plan 2019	68,007.59		68,007.59
566-7534 Grove Park Grant Project 2020	100,500.00		100,500.00
566-7535 AWS Streambank Stabilization Grant 2020	11,765.00		11,765.00
566-7536 Meadowbrook Streambank Stabilization 2020	30,000.00		30,000.00
566-7537 600 Block Cricket/Central Ave Study 2020	25,000.00		25,000.00
566-7538 600 Block Roslyn Ave Engin. Study 2020	40,000.00		40,000.00
566-7539 Bridge Repairs 2020	50,000.00		50,000.00
566-7540 MS4 Requirements 2020	75,000.00		75,000.00
566-7541 Stream Maintenance 2020	25,000.00		25,000.00
566-7542 Sump Pump Connections 2020	25,000.00		25,000.00
566-7543 C2P2 Trail Phase 2 Grant Prelim Design 2020	16,500.00		16,500.00
575-7563 Asphalt Paver 2020	200,000.00		200,000.00
575-7564 Overlay Program 2020	275,000.00		275,000.00
575-7565 Repairs to Paver, Milling and Grinder 2020	50,000.00	219.91	49,780.09
575-7566 Business Maintenance Program 2020	75,000.00	143.40	74,856.60
575-7567 Business Districts 2020	25,000.00		25,000.00
575-7568 Decorative Street Poles 2020	15,000.00		15,000.00
091-7486 Radio Replacement Project 2016	60,000.00		60,000.00
091-7488 Radio Replacemement Project 2017	60,000.00		60,000.00
091-7589 Replace 1993 Breathing Air Truck 2018	100,000.00		100,000.00
091-7590 Fire Training Burn Bldg 2018	20,875.66		20,875.66
091-7591 Radio Replacement Project 2018	113,521.00		113,521.00
091-7592 Maintenance Fire Co Buildings 2019	202,380.44		202,380.44

TOWNSHIP OF ABINGTON
STATEMENT OF CONDITIONS
PERMANENT IMPROVEMENT FUND 2/29/20

EXPENSES:	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
091-7593 Fire Training Burn Bldg 2019	112,850.99		112,850.99
091-7594 Replace 1993 Breathing Air Truck 2019	100,000.00		100,000.00
091-7595 Radio Replacement 2019	113,521.00		113,521.00
091-7596 Fire Company Buildings 2020	300,000.00		300,000.00
091-7597 Fire Training Facility 2020	150,000.00		150,000.00
091-7598 Replace 1993 Breathing Air Truck 2020	100,000.00		100,000.00
091-7599 Radio Replacement Project 2020	113,521.00		113,521.00
071-7496 Replace Doors - Main & Roslyn Branches 2018	31,441.85	30,533.00	908.85
071-7497 Replace Carpet - Lower Level 2018	8,290.81		8,290.81
071-7498 LED Lighting 2019	261.75		261.75
071-7499 Water Mitigation/Bollards/Curbing 2020	5,000.00		5,000.00
800-7546 Remove Vines Jackson Park 2015	16,650.00		16,650.00
800-7553 Replace Crestmont Basketball Court 2017	44,720.00		44,720.00
800-7564 BBNC Master Plan Improvements 2018	22,000.00		22,000.00
800-7580 Facility Wide Tree Maintenance 2019	15,830.50	1,315.50	14,515.00
800-7581 Open Space & Recreational Comp Plan 2019	125,000.00		125,000.00
800-7582 Remove Invasives Karebrook/Boy Scout Area	11,033.99	6,854.66	4,179.33
800-7583 Window Replacement 2020	5,000.00		5,000.00
800-7584 Pond Maintenance 2020	10,000.00		10,000.00
800-7585 2160 Woodland Rd House 2020	10,000.00		10,000.00
800-7586 Ardsley Street Hockey Court Reno 2020	25,000.00		25,000.00
800-7587 Facility Wide Tree Maintenance 2020	70,000.00		70,000.00
800-7588 Replace Parks Foreman Truck #406 2020	45,000.00		45,000.00
800-7589 Goose Management Program 2020	9,300.00		9,300.00
800-7590 Replace John Deere Infield Groomer 2020	12,000.00		12,000.00
800-7591 Replace Jacobsen Riding Mower 2020	12,000.00		12,000.00
800-7592 Replace John Deere Z-Turn Riding Mower 2020	12,000.00		12,000.00
800-7593 Electric Gate Fox Chase Rd Entrance 2020	7,000.00		7,000.00
800-7594 New Garage at Maintenance Yard 2020	50,000.00		50,000.00
800-7595 Parks Upgrades 2020	25,000.00		25,000.00
800-7596 Pool Covers Crestmont 2020	18,000.00		18,000.00
800-7597 Filtering System for Baby Pool 2020	14,000.00		14,000.00
800-7598 New Fountain Baby Pool 2020	22,000.00		22,000.00
800-7599 Sand Blast/Plaster Crestmont Pool 2020	108,000.00		108,000.00
800-7600 Replace Lawn Boy Residential Mower 2020	2,000.00		2,000.00
800-7601 Inclusive Park 2020	100,000.00		100,000.00
800-7602 Manor Woods 2020	110,000.00		110,000.00
TOTAL EXPENSES	8,269,878.30	450,455.74	7,819,422.56

TOWNSHIP OF ABINGTON
STATEMENT OF CONDITIONS
SPECIAL INVESTIGATION UNIT FUND 2/29/20

	Beginning Balance 02/01/20	Monthly Activity	Ending Balance 02/29/20
ASSETS:			
Cash	0.00		0.00
Cash-State Forfeiture - Phila DA	8,831.70		8,831.70
Petty Cash	500.00		500.00
PLGIT Investment	0.00		0.00
Interest Receivable	0.00		0.00
Cash-DEA Seizure	0.00		0.00
TOTAL ASSETS	9,331.70	0.00	9,331.70
LIABILITIES:			
Accounts Payable	0.00		0.00
Deferred Revenue	0.00		0.00
TOTAL LIABILITIES	0.00	0.00	0.00
FUND BALANCE:	(9,731.70)		(9,731.70)
REVENUES:			
Interest on Investment	0.00		0.00
Refunds	0.00		0.00
Shared Distribution-Phila DA	0.00		0.00
Shared Distribution-DEA	0.00		0.00
TOTAL REVENUES	0.00	0.00	0.00

EXPENSES:	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
Buy money	0.00		0.00
TOTAL EXPENSES	0.00	0.00	0.00

TOWNSHIP OF ABINGTON
STATEMENT OF CONDITIONS
SEWER CAPITAL 2/29/20

	Beginning Balance 02/01/20	Monthly Activity	Ending Balance 02/29/20
ASSETS:			
Cash in Bank	2,128,155.50	159.32	2,128,314.82
Cash - Wells Fargo	244.71		244.71
Investments	2,971,000.00		2,971,000.00
Investments - PLGIT	0.02		0.02
Investment to Market	8,819.18		8,819.18
Long Term Notes Receivable	34,379.14		34,379.14
Equipment	148,230.53		148,230.53
C & A Sewer System	17,832,907.59		17,832,907.59
Vehicles	583,899.92		583,899.92
Other Sewer Assets	24,287,062.58		24,287,062.58
Construction in Progress	1,533,696.03		1,533,696.03
Accumulated Depreciation	(17,869,130.42)		(17,869,130.42)
Accumulated Amortization	0.00		0.00
TOTAL ASSETS	31,659,264.78	159.32	31,659,424.10
LIABILITIES:			
Accounts Payable	0.00		0.00
TOTAL LIABILITIES	0.00		0.00
FUND BALANCE:	32,265,052.41		32,265,052.41
REVENUES:			
Interest Income	9,088.10	1,609.32	10,697.42
Interest - Acorn Lane - SD #9	0.00		0.00
Interest - Edge Hill - SD #10	21.93		21.93
Interest - Meadowbrook - SD #11	0.00		0.00
Interest - Meetinghouse Rd SD - #12	0.00		0.00
Interest - Rydal II - SD #13	0.00		0.00
Interest - Old Ford Rd - SD #14	138.71		138.71
Interest - Stocton Rd - SD #15	184.08		184.08
Interest - Old Welsh Rd - SD #16	50.00	502.13	552.13
Interest - Mill Rd - SD #17	277.88		277.88
Refunds	0.00		0.00
Sewer Connections	33,750.00		33,750.00
Asmnt Prin - Acorn Lane - SD #9	0.00		0.00
Asmnt Prin - Edge Hill - SD #10	487.55		487.55
Asmnt Prin - Meadowbrook - SD #11	0.00		0.00
Asmnt Prin - Meetinghouse Rd - SD #12	0.00		0.00
Asmnt Prin - Rydal II - SD #13	10.62		10.62
Asmnt Prin - Old Ford Rd - SD #14	3,947.43		3,947.43
Asmnt Prin - Stocton Rd - SD #15	240.33		240.33
Asmnt Prin - Old Welsh Rd - SD #16	630.00	1,277.87	1,907.87
Asmnt Prin - Mill Rd - SD #17	207.91		207.91
TOTAL REVENUE	49,034.54	3,389.32	52,423.86

EXPENSES	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
000-5201 Legal Expense	0.00		0.00
903-7330 Mill Rd. Sanitary Sewer Project	121,020.00		121,020.00
851-7473 Install Pump Station Monitors 2012	33,645.00		33,645.00
851-7477 Pump Station Upgrade Cont 141 2012	57,085.53		57,085.53
851-7488 Lateral Pipe Remote Flush Truck 2015	18,979.14		18,979.14
851-7489 Pump Station Scada Monitor Unit 2015	68,000.00		68,000.00
851-7490 Row Flush/TV Reel Mobile Unit 2015	47,434.35		47,434.35
851-7491 Tall Trees PS Elec Feed Repl 2015	34,249.06		34,249.06
851-7493 Bryant Ln Pump Station Divert to Holy Redeemer 2016	80,000.00		80,000.00
851-7495 Sewer System I & I Rehab 2017	192,500.00		192,500.00
851-7499 Rydal Pump St. Pump & Valve Replacement 2017	77,006.91		77,006.91
851-7500 PA Small Water & Sewer Grant 2017	100,000.00		100,000.00
851-7501 Sewer System I&I Rehabilitation 2018	15,000.00		15,000.00
851-7503 Replace 2004 Flush Truck 2019	285,000.00		285,000.00
851-7507 Replace 1999 GMC Sewer Televising Van 2020	210,000.00		210,000.00
851-7508 Replace Aqua Aerobic Disk/Comp Control 2020	55,000.00		55,000.00
851-7509 Replace Comp Ctrl & Comm Equip 2020	122,000.00		122,000.00
851-7510 Replace Doors/Windows Influent Bldg 2020	13,000.00		13,000.00
851-7511 Replace Furnace/Radiators Influent Bldg 2020	15,000.00		15,000.00
851-7512 Diffuser Membrane Replacement Kit 2020	36,000.00		36,000.00
851-7513 Emergency Generator Tall Trees 2020	35,000.00		35,000.00
851-7514 Air Compressor 2020	20,000.00		20,000.00
966-7335 Tookany Basin Upgrades 2013	666,702.87		666,702.87
TOTAL EXPENSES	2,302,622.86	0.00	2,302,622.86

TOWNSHIP OF ABINGTON
STATEMENT OF CONDITIONS
PARKS CAPITAL 2/29/20

	Beginning Balance 02/01/20	Monthly Activity	Ending Balance 02/29/20
ASSETS:			
Cash in Bank	120,913.29		120,913.29
Cash - Trails	0.00		0.00
Cash - Morgan Stanley	0.00		0.00
Investments	0.00		0.00
Investments to Market	0.00		0.00
Discount on Investments	0.00		0.00
Interest Receivable	0.00		0.00
TOTAL ASSETS	120,913.29	0.00	120,913.29
LIABILITIES:			
Accounts Payable	0.00		0.00
Deferred Revenue	0.00		0.00
TOTAL LIABILITIES	0.00	0.00	0.00
FUND BALANCE:	(122,967.29)	0.00	(122,967.29)
REVENUES:			
Interest on Income	0.00		0.00
Refunds	0.00		0.00
Grants - State	0.00		0.00
Parks Capital Private Donations	0.00		0.00
Grants-State/Trails	0.00		0.00
Private Donations Trails	0.00		0.00
TOTAL REVENUES	0.00	0.00	0.00

EXPENSES:	2020 Budget	Y-T-D Expenditures	2020 Remaining Budget
Alverthorpe Manor Bldg Repairs	120,913.29		120,913.29
TOTAL EXPENSE	120,913.29	0.00	120,913.29

TOWNSHIP OF ABINGTON
CONTINGENCY EXPENSE REPORT
GENERAL OPERATING FUND
02/29/20

2020 Approved Budget	485,000.00
Authorized Budget Adjustments:	
	485,000.00

Authorized Expenditures:	Amount Expended	Authorized to Date Expenditures
Contingency Reserve @ 2/29/20		485,000.00

TOWNSHIP OF ABINGTON
CONTINGENCY EXPENSE REPORT
SEWER OPERATING FUND
02/29/20

2020 Approved Budget		**60,000.00**
Authorized Budget Adjustments:		
		60,000.00
Authorized Expenditures:	**Amount Expended**	**Authorized to Date Expenditures**
Authorized Transfers:		
Contingency Reserve @ 2/29/20		**60,000.00**

FINANCE COMMITTEE

AGENDA ITEM

March 17, 2020	FC-05-040720	FISCAL IMPACT
DATE	*AGENDA ITEM NUMBER*	Cost > $10,000.
		Yes ☐ No ☑
Finance		
DEPARTMENT		PUBLIC BID REQUIRED
		Cost > $19,700.
		Yes ☐ No ☑

AGENDA ITEM:

Disposition of Certain Human Resources Office Records

EXECUTIVE SUMMARY:

PREVIOUS BOARD ACTIONS:

March 9, 1989 Board adopted Ordinance No. 1652 providing for the retention and destruction or transfer of municipal records of the Township of Abington, adopting the provisions of Chapter 13 of Title 46 of the Pennsylvania Code, effective as of the date of adoption of this Ordinance, for the Township of Abington.
March 10, 2011 Board adopted Resolution No. 11-009, declaring the Township of Abington's intention to follow the schedules and procedures for disposition of records as set forth in the Municipal Records Manual approved on December 16, 2008.

RECOMMENDED BOARD ACTION:

Consider a motion to adopt Resolution No. 20-XXX authorizing the disposition of certain Human Resources Office records as set forth in Exhibit "A".

TOWNSHIP OF ABINGTON
MONTGOMERY COUNTY, PENNSYLVANIA

RESOLUTION NO. 20-018

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABINGTON, MONTGOMERY COUNTY, PENNSYLVANIA, AUTHORIZING THE DISPOSITION OF CERTAIN HUMAN RESOURCE RECORDS

WHEREAS, by virtue of Resolution No.11-009, adopted March 10, 2011, the Township of Abington declared its intent to follow the schedules and procedures for the disposition of records as set forth in the Municipal Records Manual approved December 16, 2008, and,

WHEREAS, in accordance with Act 428 of 1968 each individual act of disposition shall be approved by resolution of the governing body of the municipality;

NOW, THEREFORE, BE IT RESOLVED this 7th day of April, 2020, that the Board of Commissioners of the Township of Abington, Montgomery County, Pennsylvania, in accordance with the above-cited Municipal Records Manual, hereby authorizes the disposition of the public records as set forth in Exhibit "A" hereto.

TOWNSHIP OF ABINGTON

Attest:

By:

_____	_____
Richard J. Manfredi,	John L. Spiegelman, President
Township Manager & Secretary	Board of Commissioners

EXHIBIT "A"

DISPOSITION OF HUMAN RESOURCES OFFICE RECORDS
AS LISTED BELOW:

2016 and 2017 Postings and Applications for Employment (Not Hired)

- Retain 2 years (as stated in Municipal Records Manual approved December 16, 2008 reference PS-2; Personnel Records - 1)

2012 Originals Retiree Reimbursement Records – Original Requests

- Retain 7 Years (as stated in Municipal Records Manual approved December 16, 2008 – reference FN-2 Account Payable Files and Ledgers; Financial and Purchasing - 1)

2015 and 2016 Copies Retiree Reimbursement Records – Original Records in Finance

- Retain as long as of administrative value (as stated in Municipal Records Manual approved December 16, 2008 – reference AL-1 Administrative and Subject Files; Administrative and Legal - 1)

2011 and 2012 Random Drug Test and Pre-Employment Drug Test Invoices - Originals

- Retain 7 Years (as stated in Municipal Records Manual approved December 16, 2008 – reference FN-2 Account Payable Files and Ledgers; Financial and Purchasing - 1)

2015 and prior Health Benefit Waiver Forms

- Retain as long as of administrative value (as stated in Municipal Records Manual approved December 16, 2008 – reference AL-1 Administrative and Subject Files; Administrative and Legal - 1)

2015 and 2016 Internal Flu Shot Schedules and Sign-up Sheets – no medical information included

- Retain as long as of administrative value (as stated in Municipal Records Manual approved December 16, 2008 – reference AL-1 Administrative and Subject Files; Administrative and Legal - 1)

2015 and 2016 Random Drug Test (Negative) Results – DOT, NON-DOT and Police personnel

- Retain as stated in Municipal Records Manual approved December 16, 2008
  reference PS-4 Comply with retention requirements promulgated by the appropriate licensing agency.
- U.S. Department of Transportation, Office of the Secretary, Office of Drug & Alcohol Policy & Compliance
  - FMCSA – Motor Carrier, 49 CFR part 382.401
    - Retain 1 year : Negative drug test results
      Alcohol test results less than 0.02

2011 and 2012 original Health Insurance Invoices

- Delaware Valley Health Trust – Medical
- Delaware Valley Health Trust – Delta Dental
- Delaware Valley Prescription Plan
- Fidelio Dental Insurance
- Humana Medicare
- Retain 7 Years (as stated in Municipal Records Manual approved December 16, 2008 – reference FN-2 Account Payable Files and Ledgers; Financial and Purchasing - 1)

2016 copies Health Insurance Invoices – originals in Finance

- Delaware Valley Health Trust – Medical
- Delaware Valley Health Trust – Delta Dental
- Express Scripts Prescription Plan
- Fidelio Dental Insurance
- Humana Medicare
- Retain as long as of administrative value (as stated in Municipal Records Manual approved December 16, 2008 – reference AL-1 Administrative and Subject Files; Administrative and Legal - 1)

2015 and 2016 Time Off Request Forms for HR Assistant

- Retain 3 years (as stated in Municipal Records Manual approved December 16, 2008 Reference PL-14 Time Cards and Attendance Records- Includes Vacation and Leave Slips and Work Schedules; Payroll Records – 3)