

GENERAL NOTES:

- OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK ROAD
ABINGTON, PA 19001
PHONE: 267-536-1000
- TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY PLAN, ROYCHESTER PARK, 1819 HARDING AVE," PREPARED BY SAS GEOSPATIAL, DATED NOVEMBER 1, 2022.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE #2 ABOVE).
- ALL ELEVATIONS GIVEN ARE ON NAD83.
- NO DEED RESTRICTIONS OR COVENANTS ARE PROPOSED FOR THE SITE.
- ALL CROSSWALKS, SIDEWALKS, AND CURB RAMPS WITHIN THE PROJECT LIMITS SHALL CONFORM TO ADA RULES AND REGULATIONS.
- THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITIES TO WITHIN THE LIMIT OF WORK AND/OR THE RIGHT-OF-WAY. ALL DISTURBED AREAS ARE TO BE RESTORED TO EXISTING CONDITIONS OR AS INDICATED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY LOCAL, COUNTY OR STATE JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICATION, PAYMENT AND APPROVAL OF SAID PERMITS. NO ADDITIONAL PAYMENT SHALL BE MADE BY THE OWNER.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 72 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- THE CONTRACTOR SHALL ABIDE BY ALL MUNICIPAL AND LOCAL JURISDICTIONAL REGULATIONS GOVERNING THE ALLOWABLE HOURS OF WORK FOR THE TYPE OF WORK PERFORMED ON THIS PROJECT.
- ALL ON- SITE, REGULAR (NON-EMERGENCY), WORK WILL BE CONFINED TO MONDAY TO FRIDAY, BETWEEN THE HOURS OF 8:00AM AND 4:30PM.
- OTHER THAN EMERGENCY REPAIR, THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL FROM THE OWNER PRIOR TO PROCEEDING WITH ANY ON-SITE WORK DURING "OFF HOURS" (TIME NOT SPECIFIED IN THESE CONTRACT DOCUMENTS).
- UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE OWNER, NO ON-SITE, REGULAR WORK WILL BE PERMITTED ON MUNICIPAL HOLIDAYS.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING SITE OF CONSTRUCTION DIRT AND DEBRIS AT CLOSE OF EACH WORK DAY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR, ALONG WITH CONCURRENCE FROM THE OWNER, SHALL DETERMINE HIS/HER LAY-DOWN AND/OR STAGING AREA.
- ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPLACED WITH LIKE-KIND OR BETTER AT THE CONTRACTOR'S EXPENSE. TREES, BUSHES, SHRUBBERY AND OTHER DAMAGED PLANTINGS TO REMAIN SHALL BE REPLACED WITHIN 72 HOURS OF REMOVAL AND ARE TO BE THOROUGHLY WATERED-IN.
- CONTRACTOR RESPONSIBLE FOR PAVEMENT RESTORATION (UNIT PAVING, CONCRETE, ASPHALT, STONE, ETC.) FOR ANY DAMAGED, DESTROYED, OR REMOVED LIMITS OF EXISTING PAVEMENT INCLUDING FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY. THE RESTORED CONDITION SHALL BE LIKE NEW.
- PAVED SURFACES, PAVEMENT MARKERS AND MARKINGS SHALL BE PROTECTED FROM DAMAGE BY TRACKED EQUIPMENT.
- CONSTRUCTION STAKING WILL BE PROVIDED BY THE CONTRACTOR. TWO COPIES OF STAKING NOTES TO BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN UPDATED RED-LINED RECORD DRAWINGS ON SITE FOR INSPECTION BY THE ENGINEER.
- MAINTENANCE AND CLEAN-UP OF THE PROJECT IS REQUIRED FOR THE PROJECT LIMITS AND DURATION, REGARDLESS OF THE CONTRACTOR'S SCOPE OF ACTIVITIES WITHIN THE PROJECT LIMITS.
- THE REMOVAL OF ANY ABANDONED UTILITIES REQUIRED TO COMPLETE THE WORK SHALL BE INCIDENTAL AND NO SEPARATE PAYMENT SHALL BE MADE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOCKPILE NECESSARY MATERIAL ON-SITE OR AT A SECURED OFF-SITE LOCATION AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE "ON THE JOB" SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND/OR IF DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO SUCH DEVIATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS. EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.
- ITEMS NOT SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR THE SAME AS IF SPECIFIED.

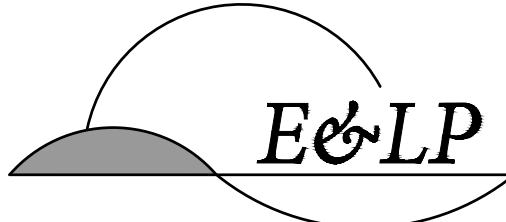
CONSTRUCTION DOCUMENTS
ABINGTON INCLUSIVE
PLAYGROUND
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
PREPARED BY
ENGINEERING & LAND PLANNING ASSOCIATES, INC.
140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

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SHEET NO.	TITLE
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C-200	DEMOLITION PLAN
C-300	SITE & MATERIALS PLAN
C-310	LAYOUT PLAN
C-320	CONCRETE JOINT LAYOUT PLAN
C-330	ADA CIRCULATION PLAN
C-400	GRADING PLAN
C-410	DRAINAGE PLAN
C-420	DRAINAGE AREA PLAN
C-430	DRAINAGE DETAILS
C-431	DRAINAGE DETAILS
C-500	LANDSCAPING PLAN
C-600	SOIL EROSION & SEDIMENT CONTROL PLAN
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PL-105	TREEHOUSE DETAILS
PL-106	TREEHOUSE DETAILS
PL-107	TREEHOUSE DETAILS
PL-108	TREEHOUSE DETAILS

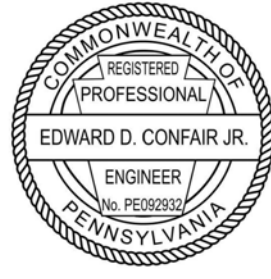
ABINGTON INCLUSIVE
PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE
EDWARD D. CONFAIR JR.
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

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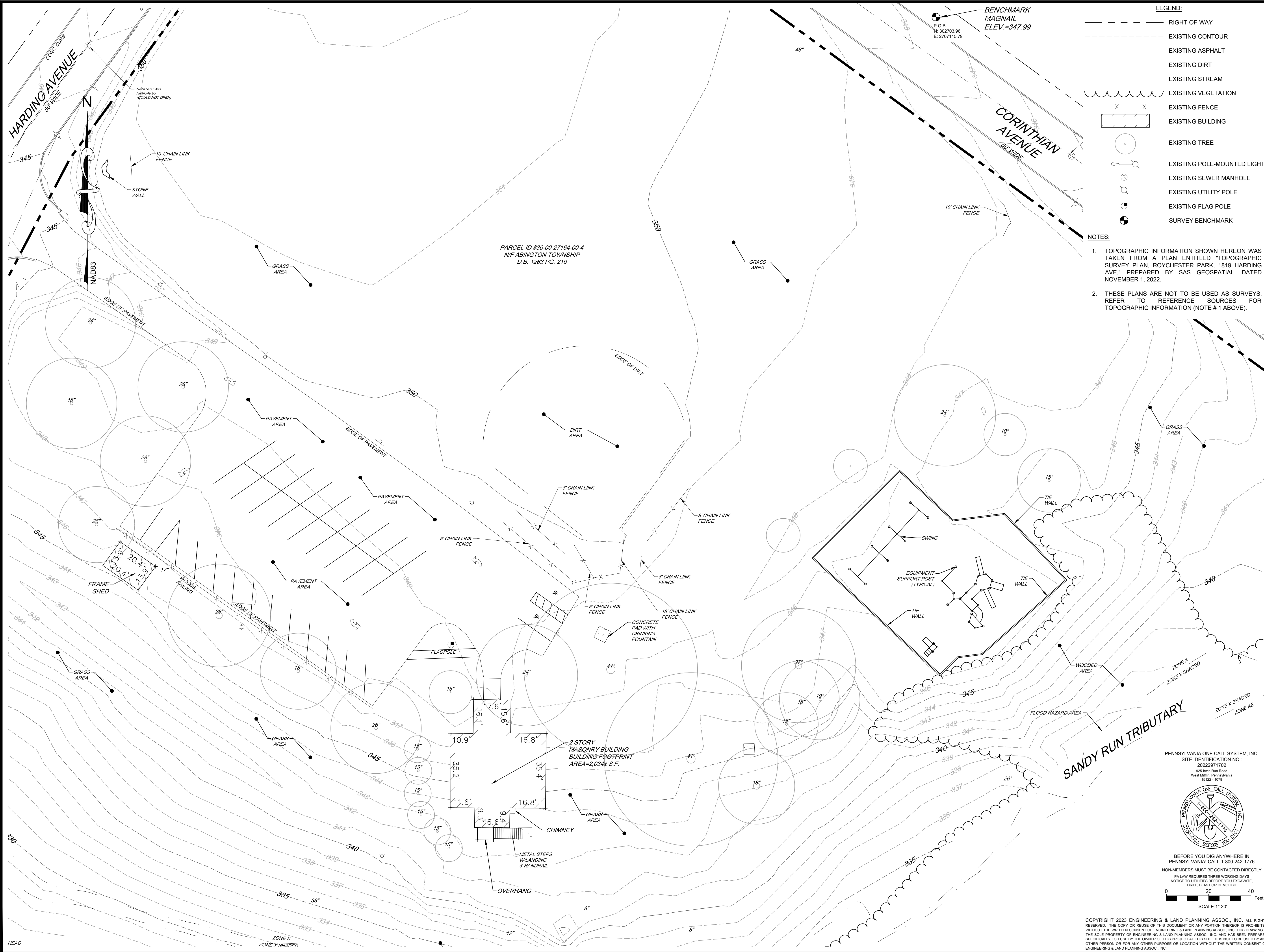
ABINGTON INCLUSIVE
PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

04	100% CONSTRUCTION DOCUMENTS	09/27/2023
03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

TITLE: COVER		
JOB NO.:	0222032	DRAWING NO.: C-001
SCALE:	AS SHOWN	
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-001 COVER SHEET.DWG	
DATE:	06/02/2023	

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LEGEND:

- RIGHT-OF-WAY
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING TREE
- EXISTING POLE-MOUNTED LIGHT
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING FLAG POLE
- SURVEY BENCHMARK

NOTES:

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- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR TOPOGRAPHIC INFORMATION (NOTE #1 ABOVE).

ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE

EDWARD D. CONFAIR
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ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
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01	100% DESIGN DEVELOPMENT	06/05/23

TITLE:

EXISTING CONDITIONS PLAN

JOB NO.: 0222032

SCALE: 1" = 20'-0"

DESIGNED: MMS

CHECKED: EDC


FILENAME: C-100 EXISTING CONDITIONS PLAN.DWG

DATE: 06/02/2023

DRAWING NO.:

C-100

PENNSYLVANIA ONE CALL SYSTEM, INC.
SITE IDENTIFICATION NO.: 20222971702
325 West Main Street
West Mifflin, Pennsylvania
15122-1078

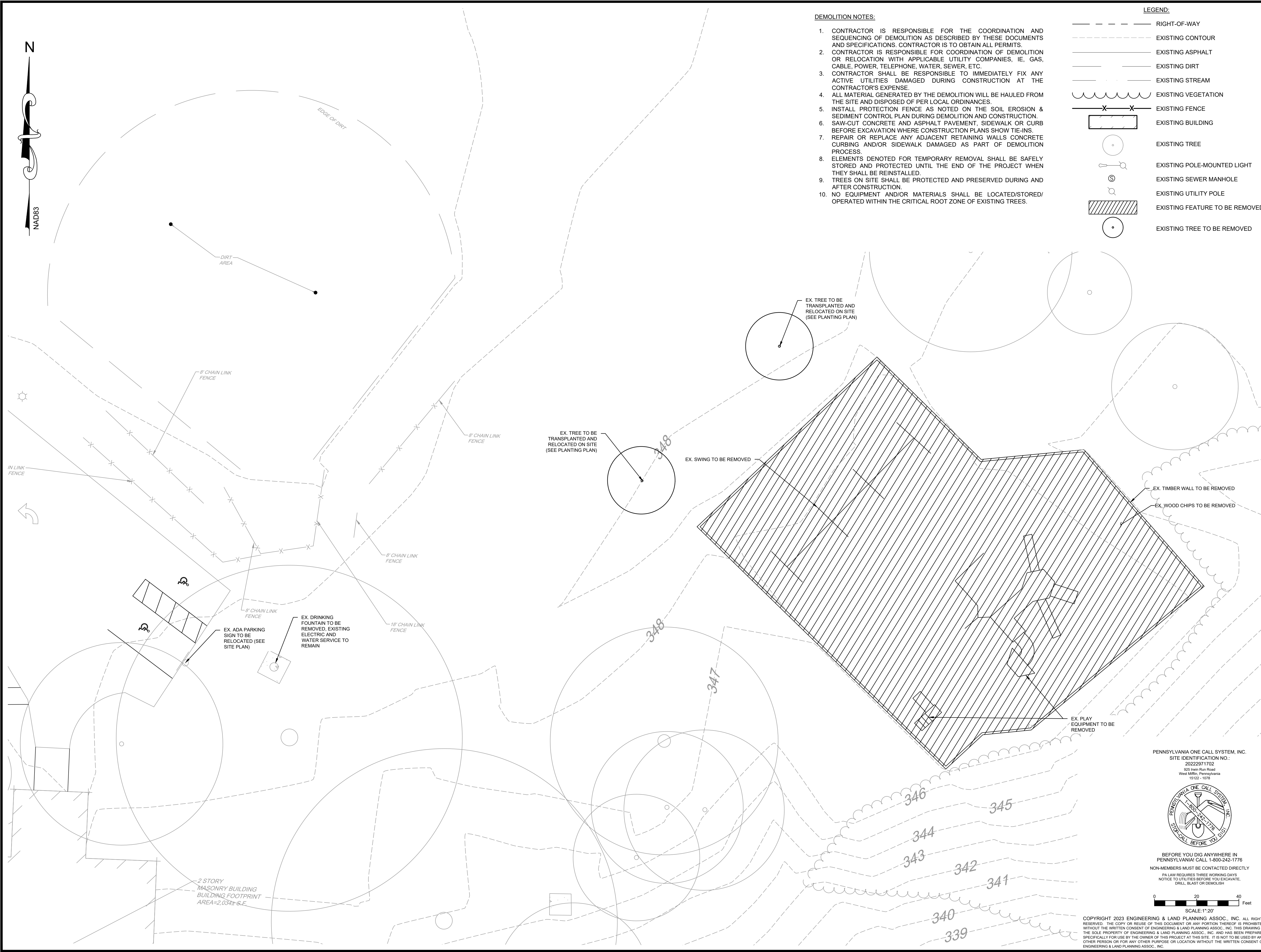


BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH
SCALE: 1"=20'

0 20 40 Feet

SCALE: 1"=20'

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DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DEMOLITION OR RELOCATION WITH APPLICABLE UTILITY COMPANIES, IE, GAS, CABLE, POWER, TELEPHONE, WATER, SEWER, ETC.
3. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY FIX ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
4. ALL MATERIAL GENERATED BY THE DEMOLITION WILL BE HAULED FROM THE SITE AND DISPOSED OF PER LOCAL ORDINANCES.
5. INSTALL PROTECTION FENCE AS NOTED ON THE SOIL EROSION & SEDIMENT CONTROL PLAN DURING DEMOLITION AND CONSTRUCTION.
6. SAW-CUT CONCRETE AND ASPHALT PAVEMENT, SIDEWALK OR CURB BEFORE EXCAVATION WHERE CONSTRUCTION PLANS SHOW TIE-INS.
7. REPAIR OR REPLACE ANY ADJACENT RETAINING WALLS CONCRETE CURBING AND/OR SIDEWALK DAMAGED AS PART OF DEMOLITION PROCESS.
8. ELEMENTS DENOTED FOR TEMPORARY REMOVAL SHALL BE SAFELY STORED AND PROTECTED UNTIL THE END OF THE PROJECT WHEN THEY SHALL BE REINSTALLED.
9. TREES ON SITE SHALL BE PROTECTED AND PRESERVED DURING AND AFTER CONSTRUCTION.
10. NO EQUIPMENT AND/OR MATERIALS SHALL BE LOCATED/STORED/OPERATED WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.

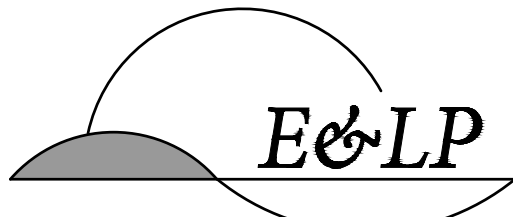
LEGEND:

- RIGHT-OF-WAY
- - - EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- ~ ~ ~ EXISTING VEGETATION
- X-X- EXISTING FENCE
- [Hatched Box] EXISTING BUILDING
- (Circle with dot) EXISTING TREE
- (Circle with cross) EXISTING POLE-MOUNTED LIGHT
- (Circle with S) EXISTING SEWER MANHOLE
- (Circle with dot and cross) EXISTING UTILITY POLE
- [Hatched Circle] EXISTING FEATURE TO BE REMOVED
- (Circle with dot and cross) EXISTING TREE TO BE REMOVED

ABINGTON INCLUSIVE
PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
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09/27/2023
DATE

Edward D. Confair, Jr.

EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
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SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



ABINGTON INCLUSIVE
PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

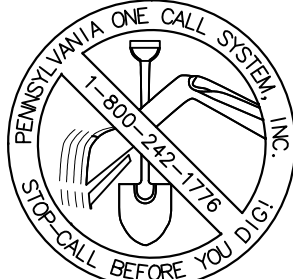
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01	100% DESIGN DEVELOPMENT	06/05/23

DEMOLITION PLAN

JOB NO.:	0222032	DRAWING NO.:	C-200
SCALE:	1" = 20'-0"		
DESIGNED:	MMS		
CHECKED:	EDC		
FILENAME:	C-200 DEMOLITION PLAN.DWG		
DATE:	06/02/2023		

PENNSYLVANIA ONE CALL SYSTEM, INC.
SITE IDENTIFICATION NO.:
20222971702

925 Main Road
West Mifflin, Pennsylvania
15122-1078

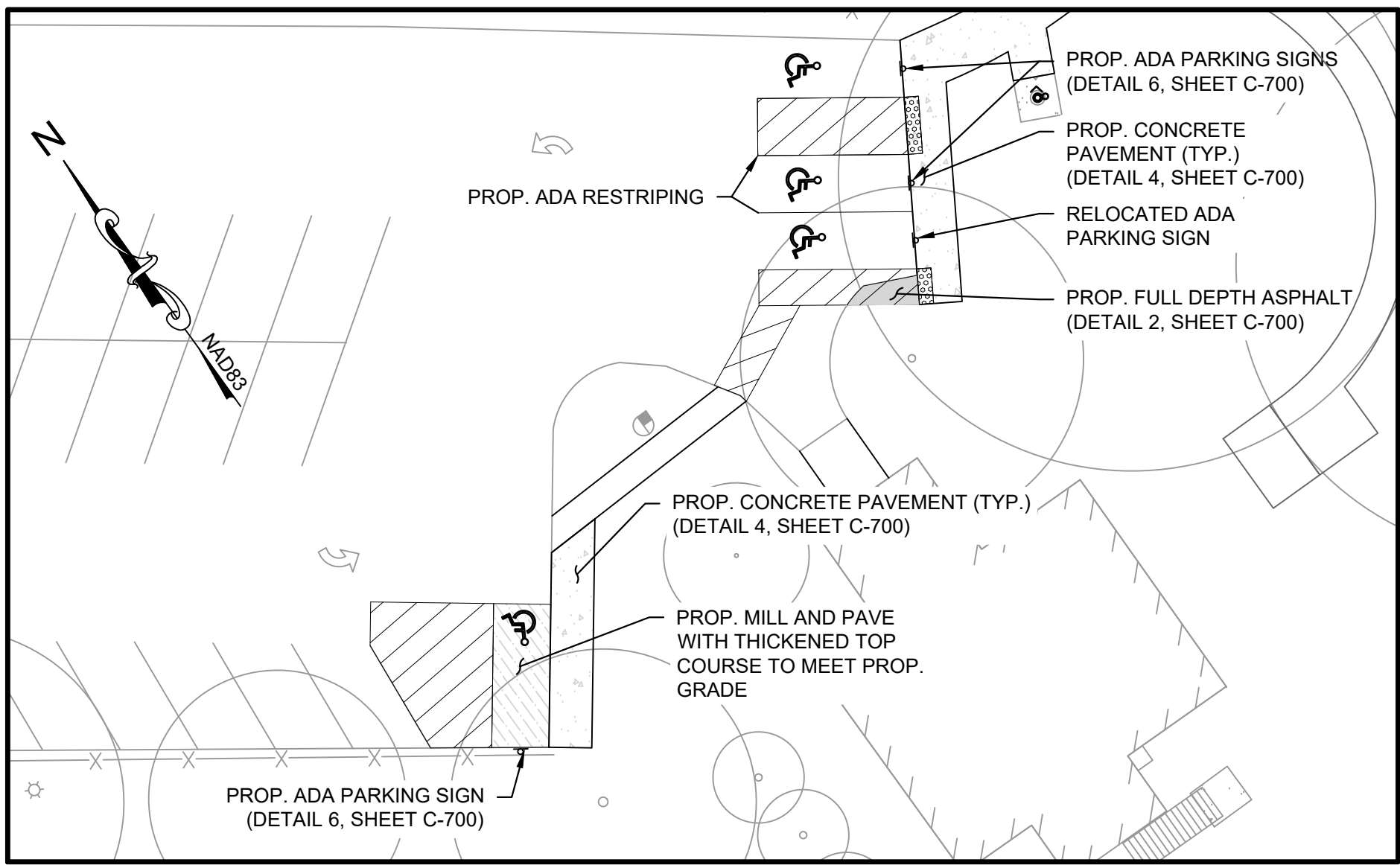


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PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

0 20 40 Feet
SCALE: 1"=20'

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PARKING LOT RESTRIPIING PLAN

0 65.62 131.23
Feet
SCALE: 1"=20'

SITE/CIVIL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF THE PROJECT SITE AND ALL UPGRADIENT AREAS TO THE SITE.
2. MILLINGS, STONE, SOIL, CONSTRUCTION DEBRIS, AND ALL OTHER RELATED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR OFF-SITE DISPOSAL.
3. INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS, AND ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
4. ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. OR AS REQUIRED BY THE A/E.
5. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE OR USED AS SPOIL, UNLESS DIRECTED BY THE ENGINEER AND IN CONFORMANCE TO AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
6. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL

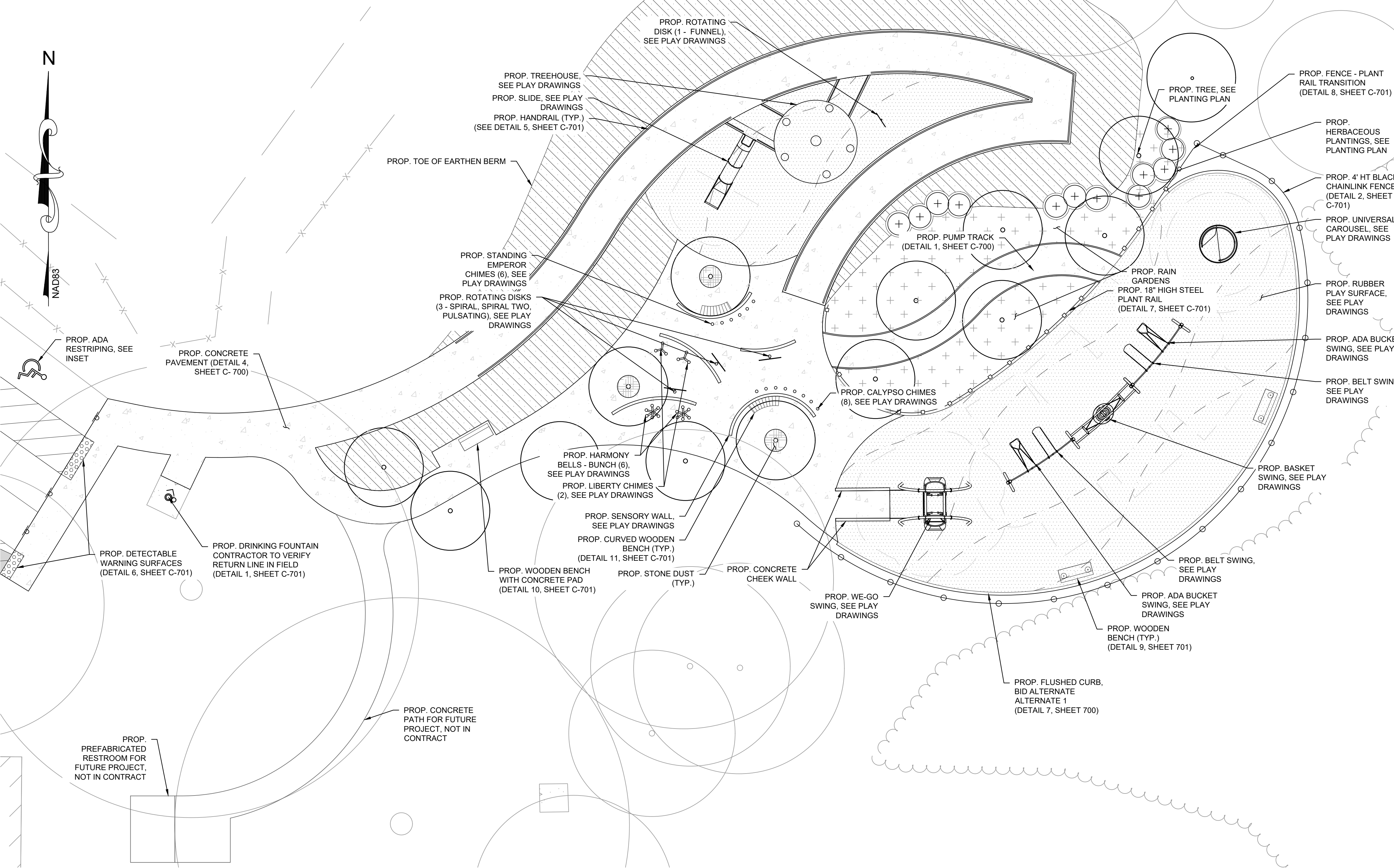
BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).

7. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
8. NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1) UNLESS A RETAINING WALL OR OTHER STABILIZED METHOD SPECIFIED BY ENGINEER, CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS IS PROVIDED TO SUPPORT THE FACE OF SLOPE OF SAID EXCAVATION OR FILL.
9. BURYING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE. ALL DEBRIS TO BE REMOVED FROM SITE.
10. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY OTHER DISTURBANCE ON THE SITE.

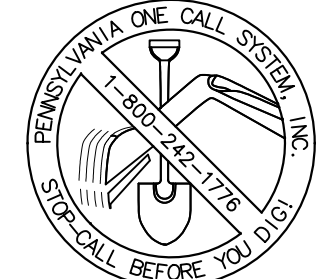
11. PRESERVE AND PROTECT ALL EXISTING STRUCTURES, FURNISHINGS, SURFACE MATERIALS, ABOVE AND BELOW GRADE UTILITIES, FOOTINGS AND VEGETATION INDICATED TO REMAIN WITHIN AND ADJACENT TO LIMIT OF WORK DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
12. THE EXISTENCE AND LOCATION OF EACH UNDERGROUND UTILITY IS NOT GUARANTEED AND UNDOCUMENTED CONDITIONS MAY EXIST. ALL KNOWN UTILITIES ARE MARKED ON PLAN. UNKNOWN UTILITIES TO BE ADDED TO AS-BUILT SURVEY. COORDINATE WITH ENGINEER FOR LOCATIONS OF UTILITIES NOT SHOWN ON THE BASE DRAWING INCLUDING, BUT NOT LIMITED TO, HIGH VOLTAGE ELECTRIC, ABANDONED STEAM LINES, ABANDONED WATER LINES, TELEPHONE, CABLES, ETC. STAKE OUT LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY UTILITY THAT IS DAMAGED DURING SITE WORK OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR SHALL MEET EXISTING GRADES AT ALL EDGES OF LIMIT OF WORK.

LEGEND:

- RIGHT-OF-WAY
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING TREE
- EXISTING POLE-MOUNTED LIGHT
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- PROP. CURB
- PROP. HANDRAIL
- PROP. STRAIGHT WOODEN BENCH
- PROP. CURVED WOODEN BENCH
- PROP. DRINKING FOUNTAIN
- PROP. CONCRETE WALL
- PROP. DETECTABLE WARNING SURFACE
- PROP. CHAIN LINK FENCE
- PROP. PLANTING FENCE
- PROP. SIGN
- PROP. EQUIPMENT USE AREA
- PROP. RUBBER PLAY SURFACE
- PROP. CONCRETE PAVEMENT
- PROP. FULL DEPTH ASPHALT PAVEMENT
- PROP. MILL AND PAVE
- PROP. SOD
- PROP. HERBACEOUS PLANTINGS
- PROP. STONE DUST



PENNSYLVANIA ONE CALL SYSTEM, INC.
SITE IDENTIFICATION NO.:
20222971702
625 West Main Road
West Mifflin, Pennsylvania
15122-1078



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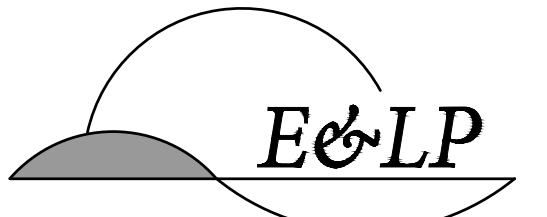
0 10 20
Feet
SCALE: 1"=10'

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PLAYGROUND PROJECT



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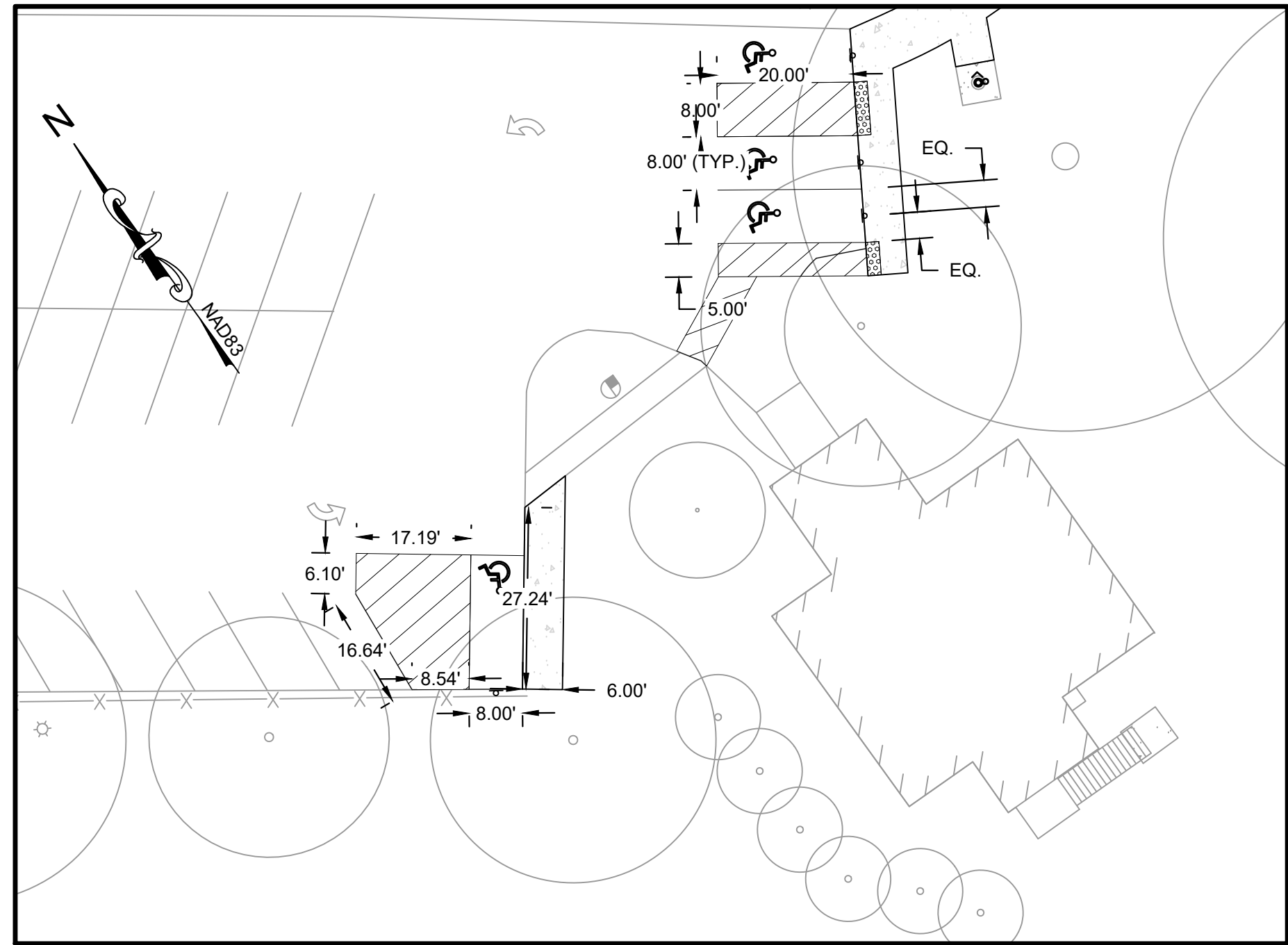


ABINGTON INCLUSIVE
PARK AND PLAYGROUND

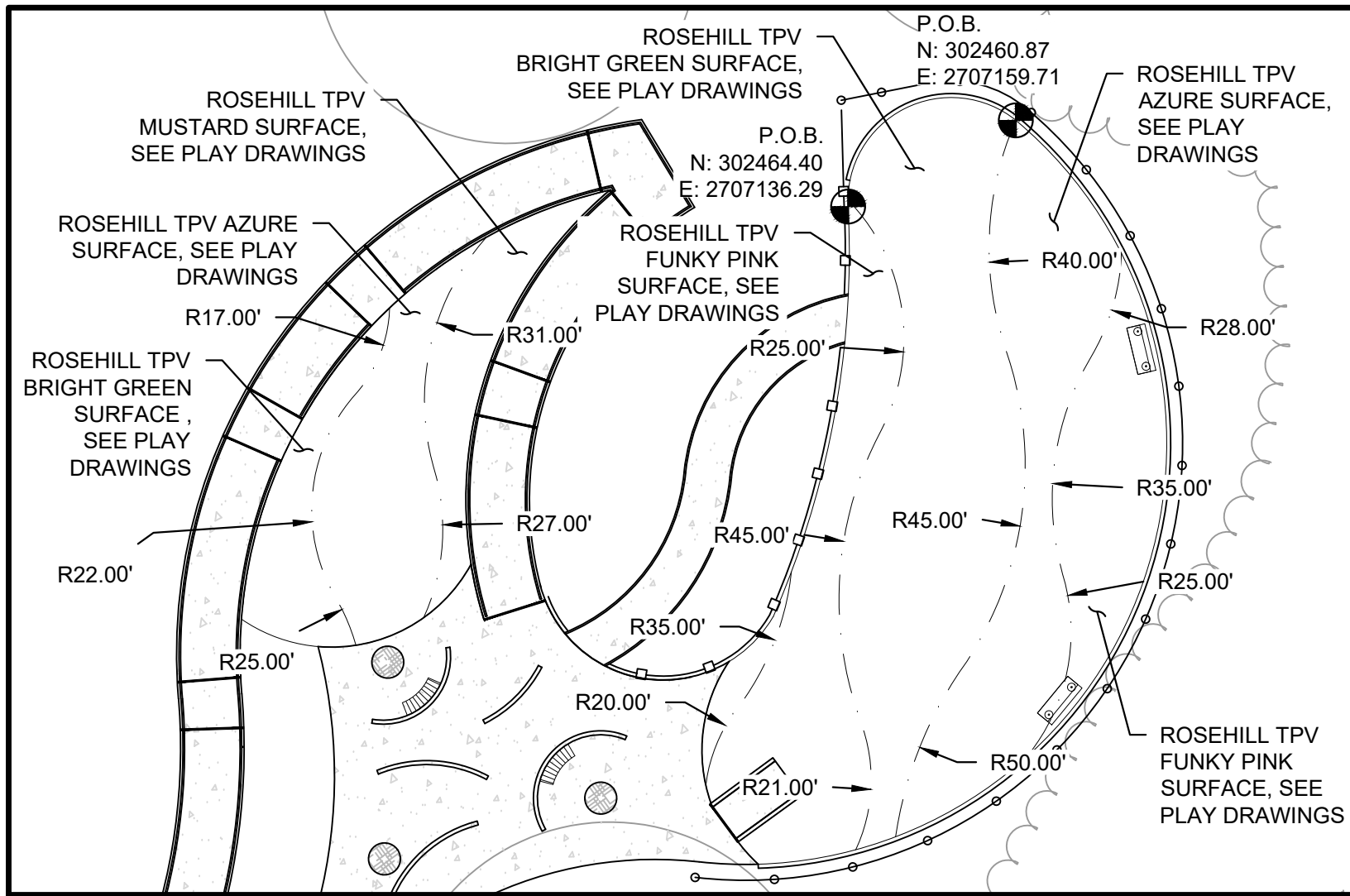
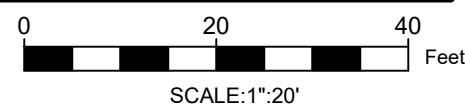
ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
04	100% CONSTRUCTION DOCUMENTS	09/27/2023
03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

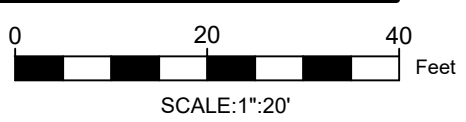
SITE & MATERIALS PLAN		
JOB NO.:	0222032	DRAWING NO.:
SCALE:	1" = 10'-0"	C-300
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-300 SITE PLAN.DWG	
DATE:	06/02/2023	



PARKING LOT RESTRIPIING PLAN



SAFETY SURFACING LAYOUT

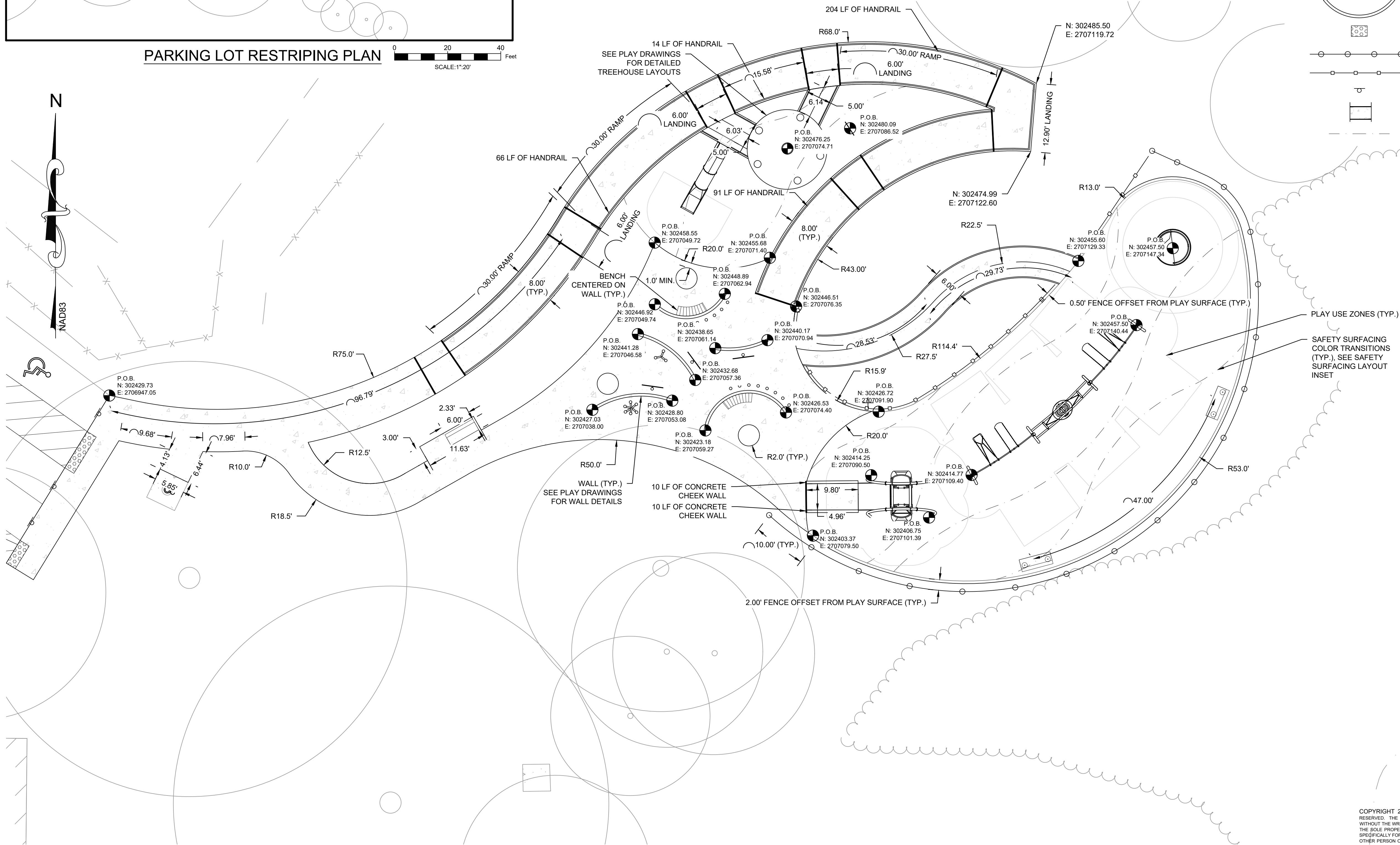


LAYOUT NOTES:

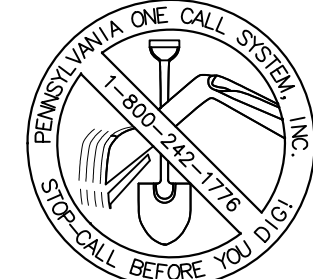
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER FOR DECISION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE ENGINEER IF THERE IS ANY CONFLICT BETWEEN THE COORDINATE POINTS AND DIMENSIONS WHEN LAYING OUT IN THE FIELD.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF BELOW GRADE UTILITY STRUCTURES DURING SITE LAYOUT AND REPORT ANY DISCREPANCIES BETWEEN FOOTINGS AND EXISTING BELOW-GRADE STRUCTURES TO ENGINEER FOR DECISION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL STAKE OR FLAG ALL SITE ELEMENTS TO BE CONSTRUCTED IN THE FIELD FOR APPROVAL BY ENGINEER PRIOR TO CONSTRUCTION.
- ALL ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS OTHERWISE STATED. ALL LINES ARE ASSUMED TO BE PARALLEL UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE TO FACE OF CURB, WALL OR BUILDING UNLESS OTHERWISE STATED.
- DISTANCES FOR CLEARANCE WITHIN PLAY EQUIPMENT USE ZONES ARE CRITICAL FOR SAFETY AND PLAYGROUND CERTIFICATION. LOCATIONS OF EQUIPMENT ARE BASED ON BEST INFORMATION IN DRAWINGS BUT MUST BE VERIFIED WITH AS-BUILT CONDITIONS. CONTRACTOR TO VERIFY DISTANCES FOR USE ZONES, AS REQUIRED BY THE MANUFACTURER, ARE PROVIDED AND ACHIEVED IN THE FIELD PRIOR TO INSTALLATION OF FOOTINGS AND EQUIPMENT. USE SURVEY BENCHMARK MAGNAIL LOCATED ON CORINTHIAN STREET (SEE SHEET C-100)

LEGEND:

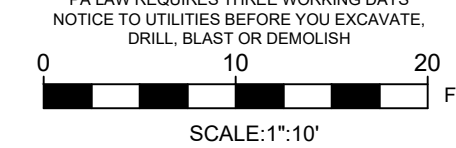
- RIGHT-OF-WAY
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING TREE
- EXISTING POLE-MOUNTED LIGHT
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- PROP. CURB
- PROP. HANDRAIL
- PROP. STRAIGHT WOODEN BENCH
- PROP. CURVED WOODEN BENCH
- PROP. DRINKING FOUNTAIN
- PROP. CONCRETE WALL
- PROP. DETECTABLE WARNING SURFACE
- PROP. CHAIN LINK FENCE
- PROP. PLANTING FENCE
- PROP. SIGN
- PROP. RAMP LANDING
- PROP. SAFETY SURFACING COLOR TRANSITION



PENNSYLVANIA ONE CALL SYSTEM, INC.
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625 West Main Road
West Mifflin, Pennsylvania 15122-1078



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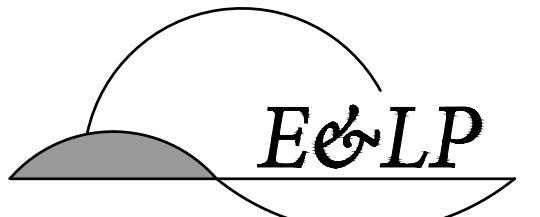


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ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE
EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

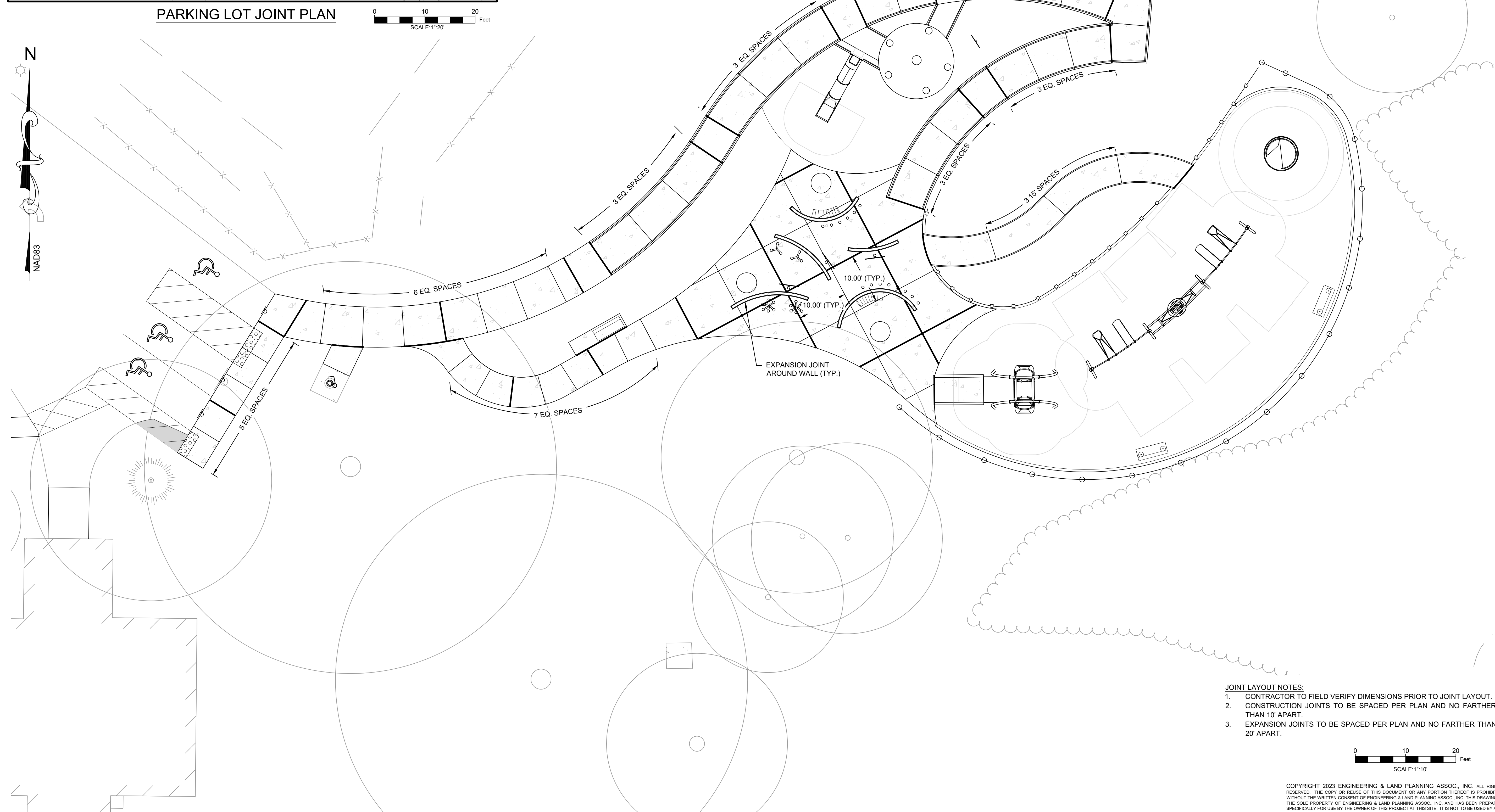
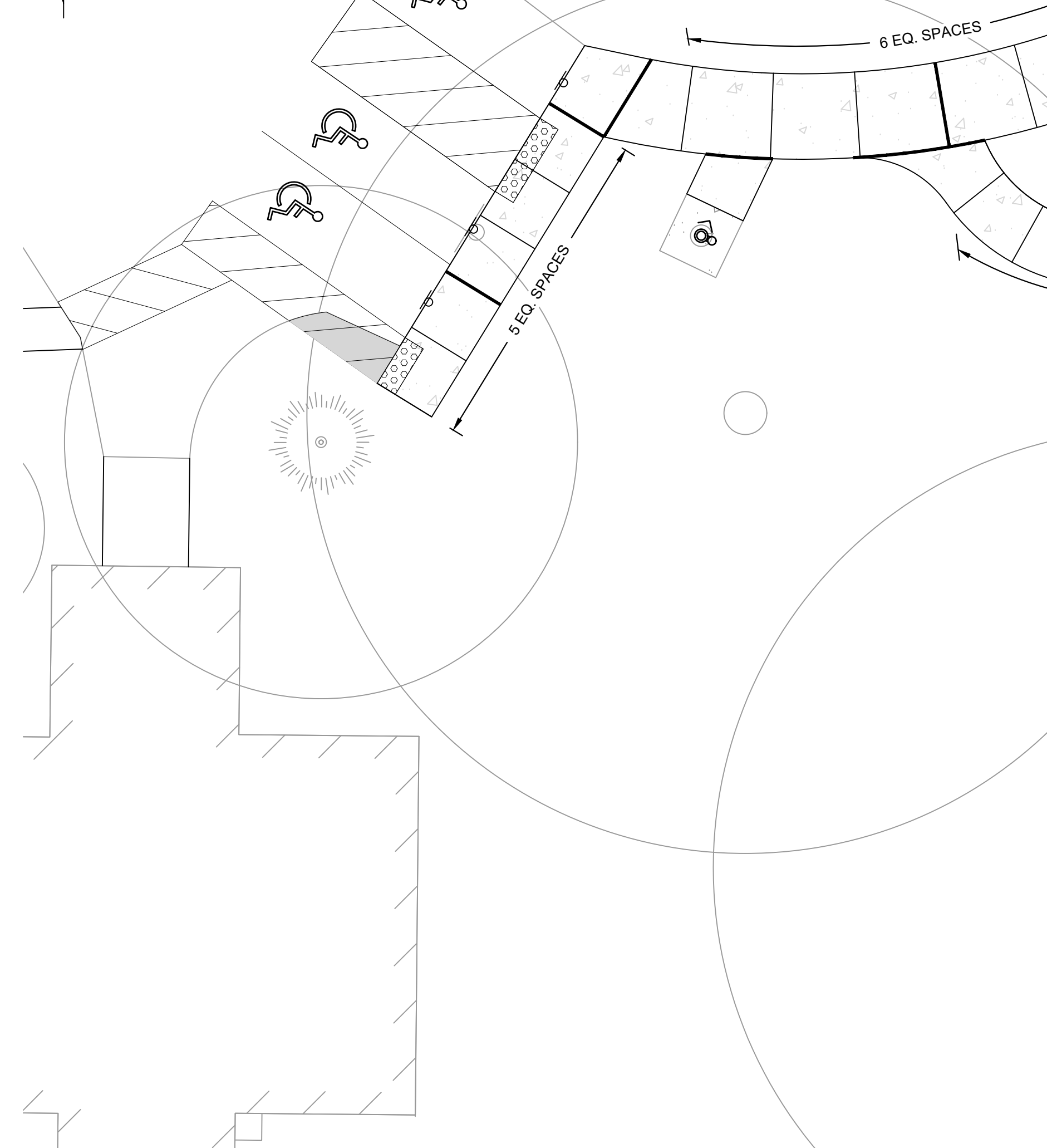
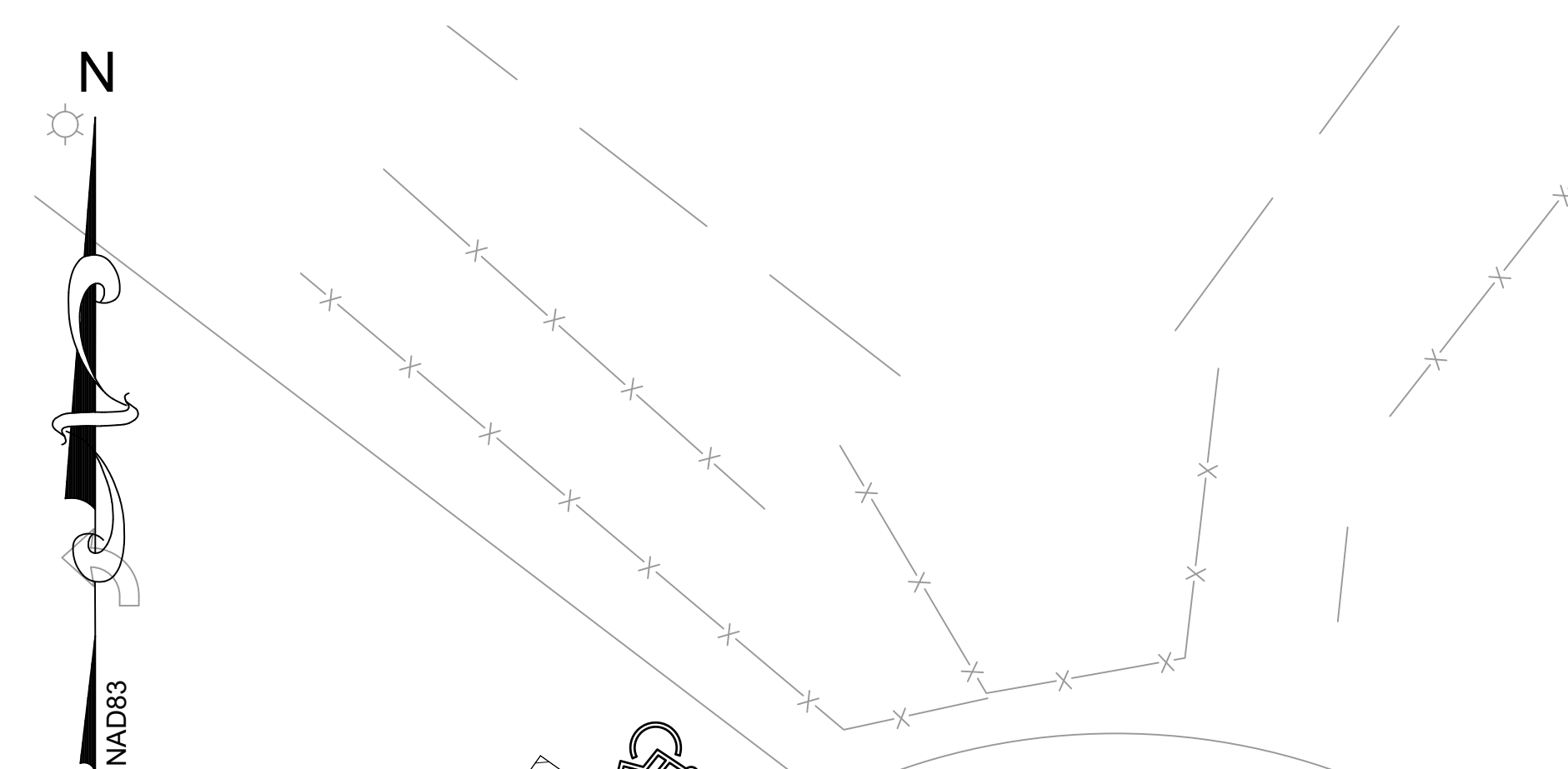
NO.	ISSUANCE	DATE
04	100% CONSTRUCTION DOCUMENTS	09/27/2023
03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23

LAYOUT PLAN

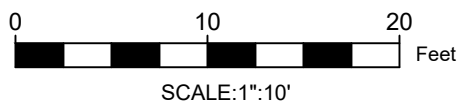
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SCALE:	1" = 10'-0"	
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-310 LAYOUT PLAN.DWG	
DATE:	06/02/2023	

C-310

PARKING LOT JOINT PLAN














- JOINT LAYOUT NOTES:**
1. CONTRACTOR TO FIELD VERIFY DIMENSIONS PRIOR TO JOINT LAYOUT.
 2. CONSTRUCTION JOINTS TO BE SPACED PER PLAN AND NO FARTHER THAN 10' APART.
 3. EXPANSION JOINTS TO BE SPACED PER PLAN AND NO FARTHER THAN 20' APART.



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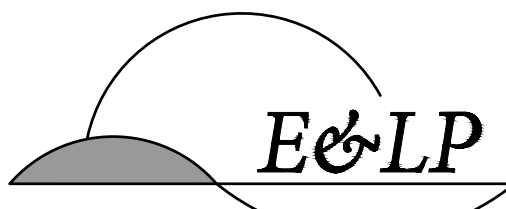
LEGEND

- | | |
|---|--------------------------|
|  | RIGHT-OF-WAY |
|  | EXISTING CONTOUR |
|  | EXISTING ASPHALT |
|  | EXISTING DIRT |
|  | EXISTING STREAM |
|  | EXISTING VEGETATION |
|  | EXISTING FENCE |
|  | EXISTING BUILDING |
|  | EXISTING TREE |
|  | CONCRETE CONTROL JOINT |
|  | CONCRETE EXPANSION JOINT |

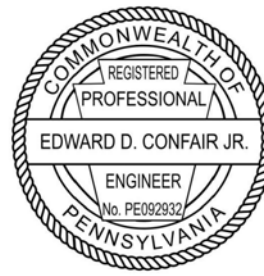
ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD,
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE

Edward Carson

EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



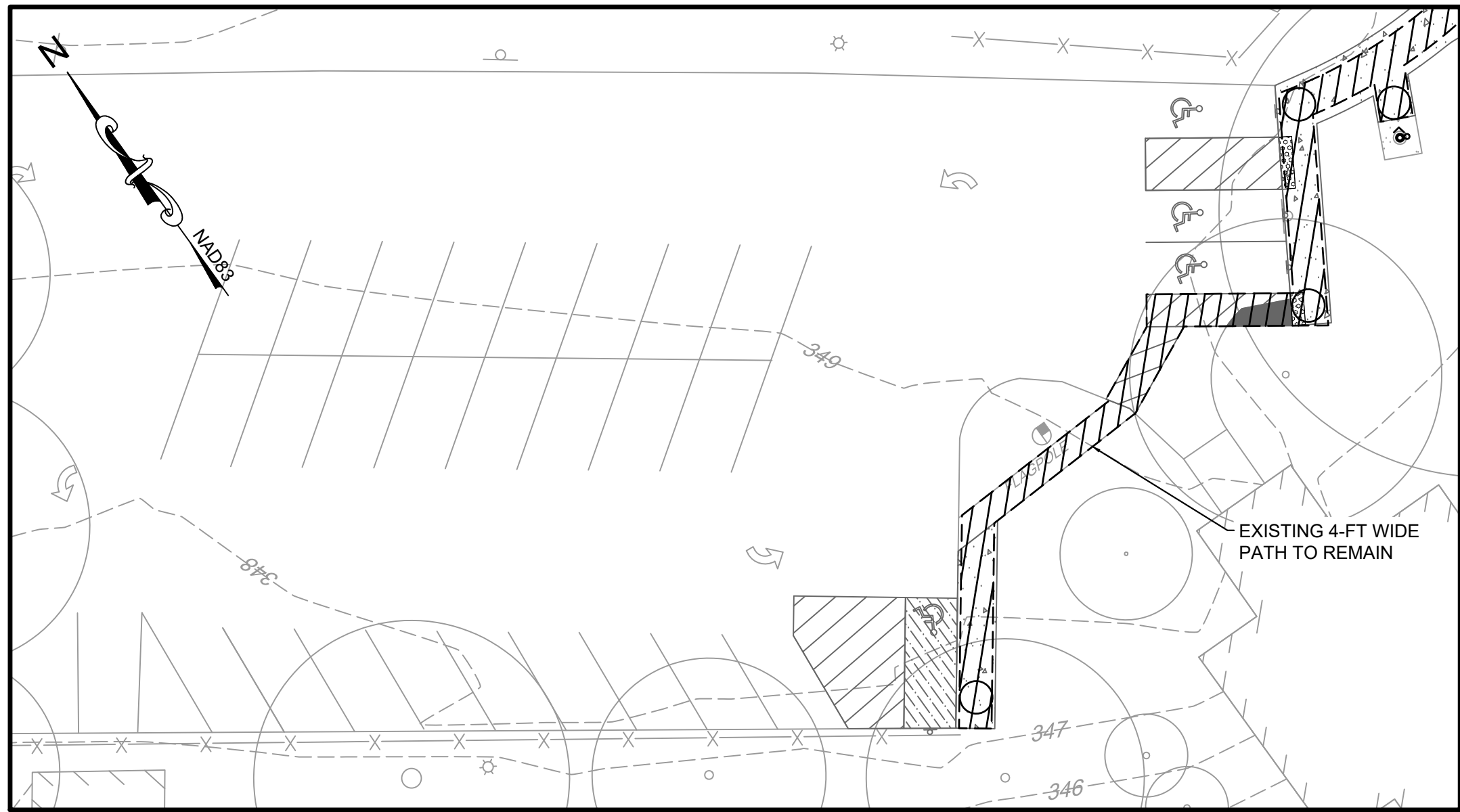
ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

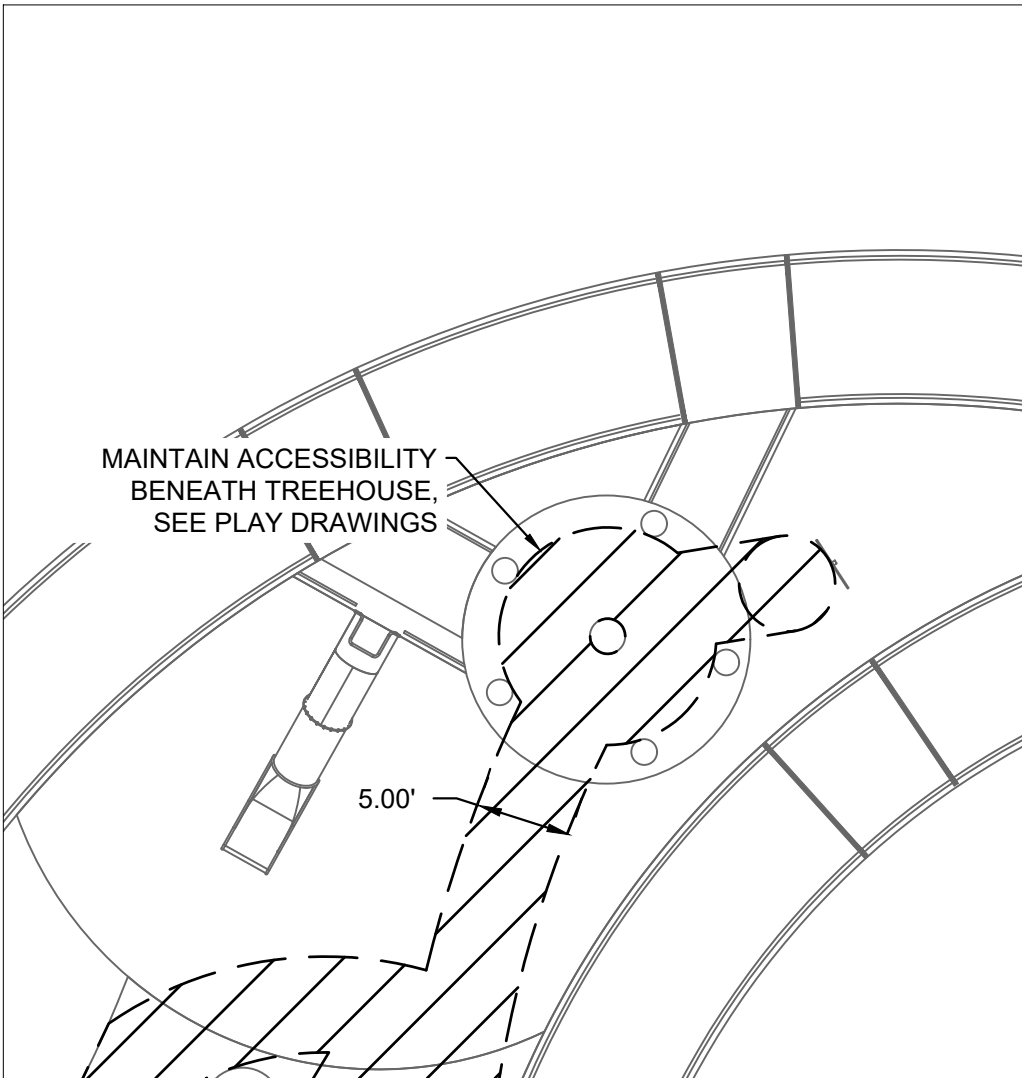
04	100% CONSTRUCTION DOCUMENTS	09/27/2023
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01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

CONCRETE JOINT LAYOUT PLAN

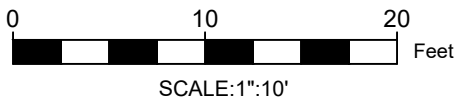
JOB NO:	0222032	DRAWING NO:	C-320
SCALE:	1" = 10'-0"		
DESIGNED:	MMS		
CHECKED:	EDC		
FILENAME:	C-320 CONCRETE JOINT PLAN.DWG		
DATE:	06/02/2023		



PARKING LOT RESTRIPIING PLAN



INSET A -
UNDER TREEHOUSE

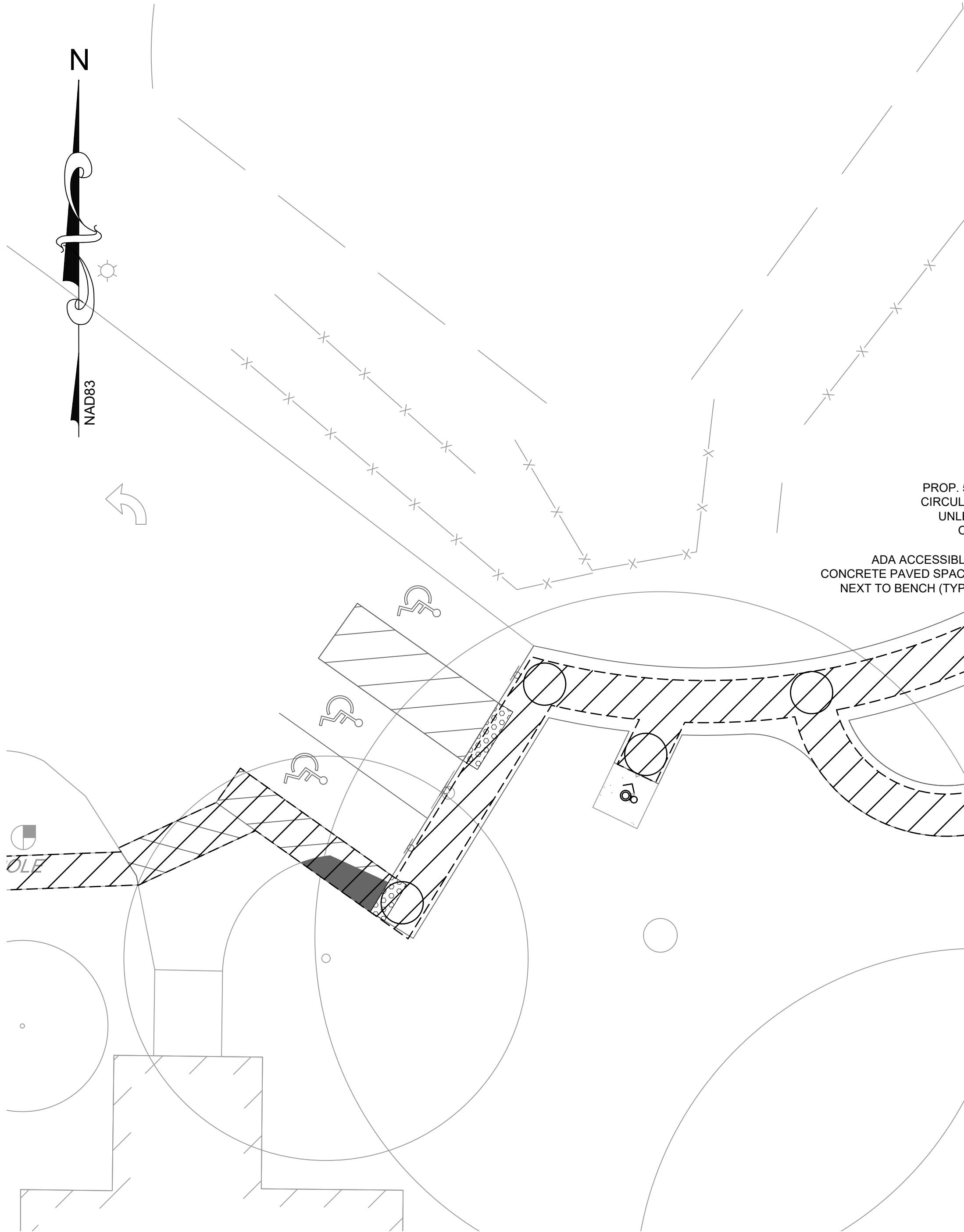


ADA COMPLIANCE NOTES:

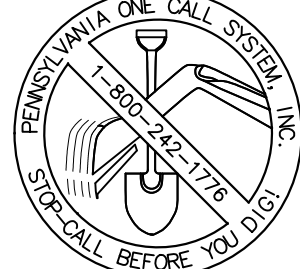
1. THE INTENT OF THIS PLAN IS TO INDICATE ACCESSIBLE ROUTE LOCATIONS PER REQUIREMENTS OF THE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN".
2. CONTRACTOR TO VERIFY:
 - 2.1. CROSS SLOPES ON ACCESSIBLE ROUTES DO NOT EXCEED 2%.
 - 2.2. RUNNING SLOPES ON ACCESSIBLE ROUTES DO NOT EXCEED 5%.
 - 2.3. SURFACE SLOPES IN AREAS REQUIRING TURNING MANEUVERS DO NOT EXCEED 2% IN ANY DIRECTION SEE GRADING PLAN FOR PROPOSED SURFACE ELEVATIONS.

LEGEND:

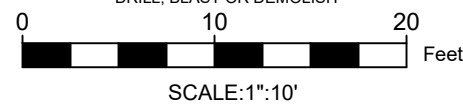
- RIGHT-OF-WAY
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING TREE
- EXISTING POLE-MOUNTED LIGHT
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- PROP. CURB
- PROP. HANDRAIL
- PROP. STRAIGHT WOODEN BENCH
- PROP. CURVED WOODEN BENCH
- PROP. DRINKING FOUNTAIN
- PROP. CONCRETE WALL
- PROP. DETECTABLE WARNING SURFACE
- PROP. CHAIN LINK FENCE
- PROP. PLANTING FENCE
- PROP. SIGN
- ADA CIRCULATION PATH
- WHEELCHAIR TURNING MANEUVER AREA



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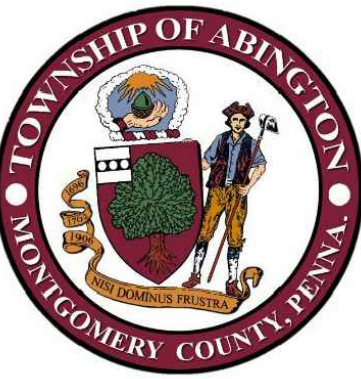


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NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

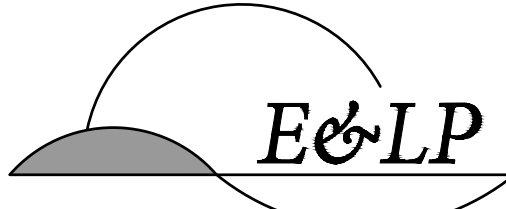


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ABINGTON INCLUSIVE
PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023

DATE

Edward D. Confair, Jr.
EDWARD D. CONFAIR JR.
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



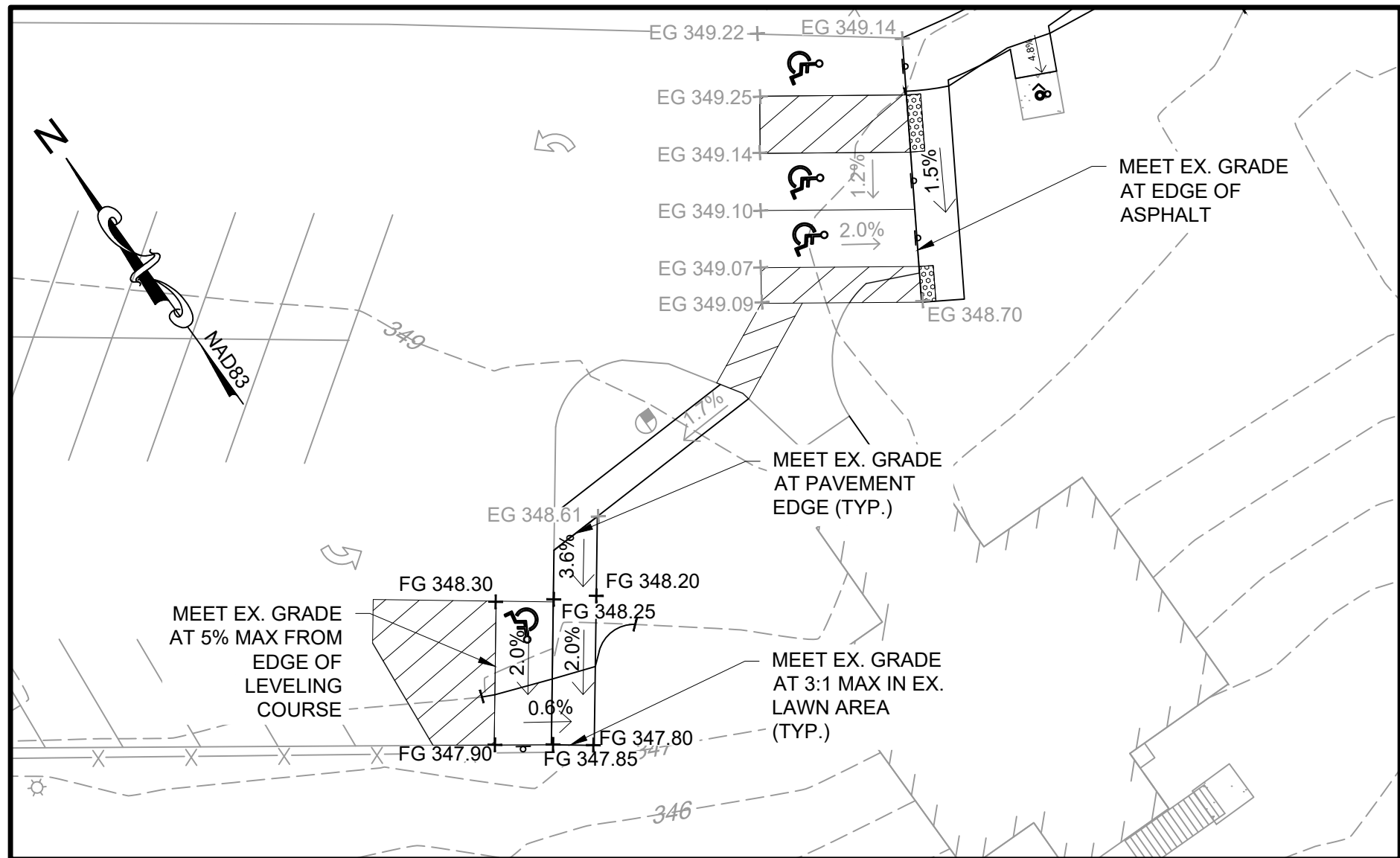
ABINGTON INCLUSIVE
PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
04	100% CONSTRUCTION DOCUMENTS	09/27/2023
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01	100% DESIGN DEVELOPMENT	06/05/23

ADA CIRCULATION PLAN

JOB NO.:	0222032	DRAWING NO.:	C-320
SCALE:	1" = 10'		
DESIGNED:	MMS		
CHECKED:	EDC		
FILENAME:	C-330 ADA CIRCULATION		
DATE:	06/02/2023		



PARKING LOT RESTRIPIING PLAN

0 20 40
SCALE: 1"=20' Feet

GRADING NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER. CONTRACTOR SHALL STAKE ALL ELEVATIONS TO BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.
2. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL ESTABLISH PERMANENT BENCHMARKS AND BOUNDS AND REPLACE ANY WHICH ARE DESTROYED OR DISTURBED.
3. THE WORDS 'FINISHED GRADE' (F.G.) SHALL MEAN THE REQUIRED FINAL GRADE ELEVATIONS INDICATED ON THE DRAWINGS.
4. SPOT ELEVATIONS SHALL GOVERN OVER PROPOSED CONTOURS.
5. CONTRACTOR SHALL ENSURE CONSISTENT SLOPE BETWEEN SPOT ELEVATIONS.
6. AT RIDGE LINES, HIGH POINTS AND LOW POINTS, CONTRACTOR SHALL TRANSITION GRADE TO AVOID A POINT OR SHARP EDGE.
7. ALL WORK PERFORMED IN A PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF THE LOCAL MUNICIPALITY.
8. CONTRACTOR SHALL NOT PERFORM WORK OUTSIDE THE DESIGNATED SITE BOUNDARY. IF FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION SHALL BE OBTAINED BY CONTRACTOR FROM THE AFFECTED PROPERTY OWNERS.

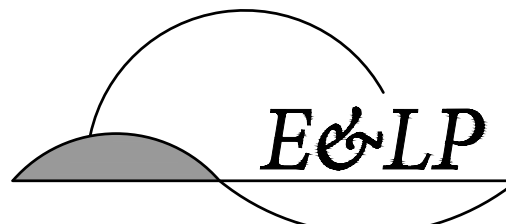
LEGEND:

- RIGHT-OF-WAY
 - EXISTING CONTOUR
 - EXISTING ASPHALT
 - EXISTING DIRT
 - EXISTING STREAM
 - EXISTING VEGETATION
 - EXISTING FENCE
 - EXISTING BUILDING
 - EXISTING POLE-MOUNTED LIGHT
 - EXISTING SEWER MANHOLE
 - EXISTING UTILITY POLE
 - PROP. CURB
 - PROP. HANDRAIL
 - PROP. STRAIGHT WOODEN BENCH
 - PROP. CURVED WOODEN BENCH
 - PROP. DRINKING FOUNTAIN
 - PROP. CONCRETE WALL
 - PROP. DETECTABLE WARNING SURFACE
 - PROP. CHAIN LINK FENCE
 - PROP. PLANTING FENCE
 - PROP. SIGN
 - PROP. CONTOUR
 - PROP. PLAY SURFACE RAMP
 - PROP. FINISHED GRADE
 - PROP. TOP OF CURB
 - PROP. BOTTOM OF CURB
 - PROP. TOP OF BASIN
 - PROP. BOTTOM OF BASIN
 - PROP. TOP OF WALL
 - PROP. BOTTOM OF WALL
 - PROP. TOP OF DECK
 - PROP. SLOPE
- + FG XXX.XX
+ TC XXX.XX
+ BC XXX.XX
+ TB XXX.XX
+ BB XXX.XX
+ TW XXX.XX
+ BW XXX.XX
+ TD XXX.XX
1.0%

ABINGTON INCLUSIVE
PLAYGROUND PROJECT



OWNER:
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1176 OLD YORK RD,
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE

EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

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ABINGTON INCLUSIVE
PARK AND PLAYGROUND

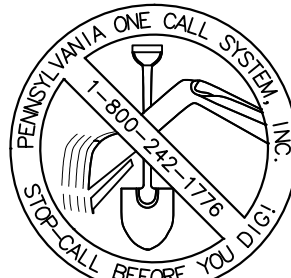
ROYCHESTER PARK
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GRADING PLAN

JOB NO.:	0222032	DRAWING NO.:	C-400
SCALE:	1" = 10'-0"		
DESIGNED:	MMS		
CHECKED:	EDC		
FILENAME:	C-400 GRADING PLAN.DWG		
DATE:	06/02/2023		

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SITE IDENTIFICATION NO.:
20222971702
925 Invin Run Road
West Mifflin, Pennsylvania
15122-1079

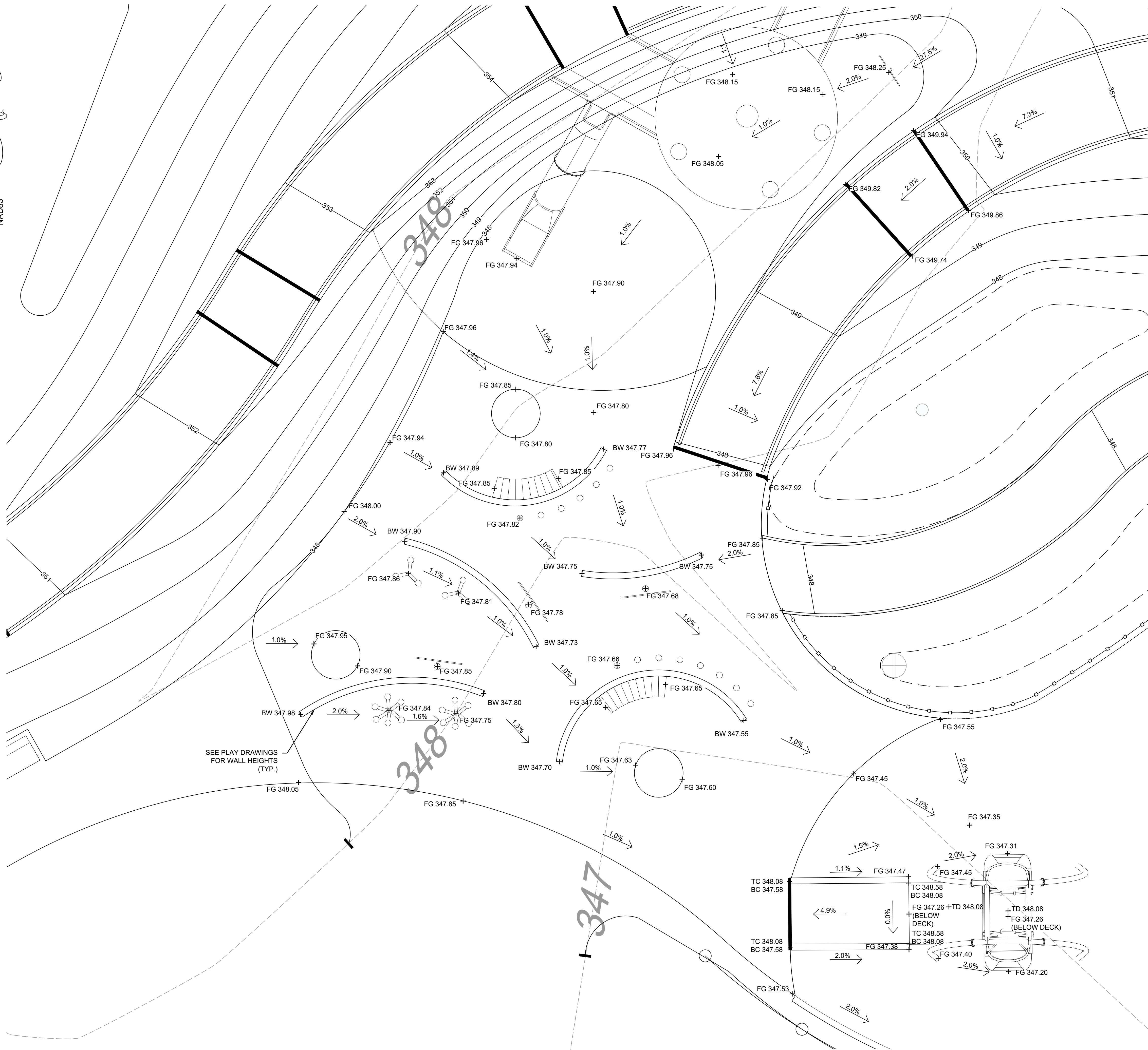


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0 10 20
SCALE: 1"=10' Feet

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NAD83



- LEGEND:**
- RIGHT-OF-WAY
 - EXISTING CONTOUR
 - EXISTING ASPHALT
 - EXISTING DIRT
 - EXISTING STREAM
 - EXISTING VEGETATION
 - EXISTING FENCE
 - EXISTING BUILDING
 - EXISTING POLE-MOUNTED LIGHT
 - EXISTING SEWER MANHOLE
 - EXISTING UTILITY POLE
 - PROP. CURB
 - PROP. HANDRAIL
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 - PROP. CURVED WOODEN BENCH
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 - PROP. CONCRETE WALL
 - PROP. DETECTABLE WARNING SURFACE
 - PROP. CHAIN LINK FENCE
 - PROP. PLANTING FENCE
 - PROP. SIGN
 - PROP. CONTOUR
 - PROP. PLAY SURFACE RAMP
 - PROP. FINISHED GRADE
 - PROP. TOP OF CURB
 - PROP. BOTTOM OF CURB
 - PROP. TOP OF BASIN
 - PROP. BOTTOM OF BASIN
 - PROP. TOP OF WALL
 - PROP. BOTTOM OF WALL
 - PROP. TOP OF DECK
 - PROP. SLOPE
- + FG XXX.XX
+ TC XXX.XX
+ BC XXX.XX
+ TB XXX.XX
+ BB XXX.XX
+ TW XXX.XX
+ BW XXX.XX
+ TD XXX.XX
1.0%

PENNSYLVANIA ONE CALL SYSTEM, INC.
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925 Invin Run Road
West Mifflin, Pennsylvania 15122-1078

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SCALE: 1"=4'

0 4 8 Feet

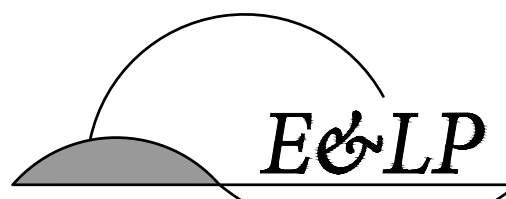
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INSET A - DETAILED GRADING

ABINGTON INCLUSIVE
PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD,
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE
EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989




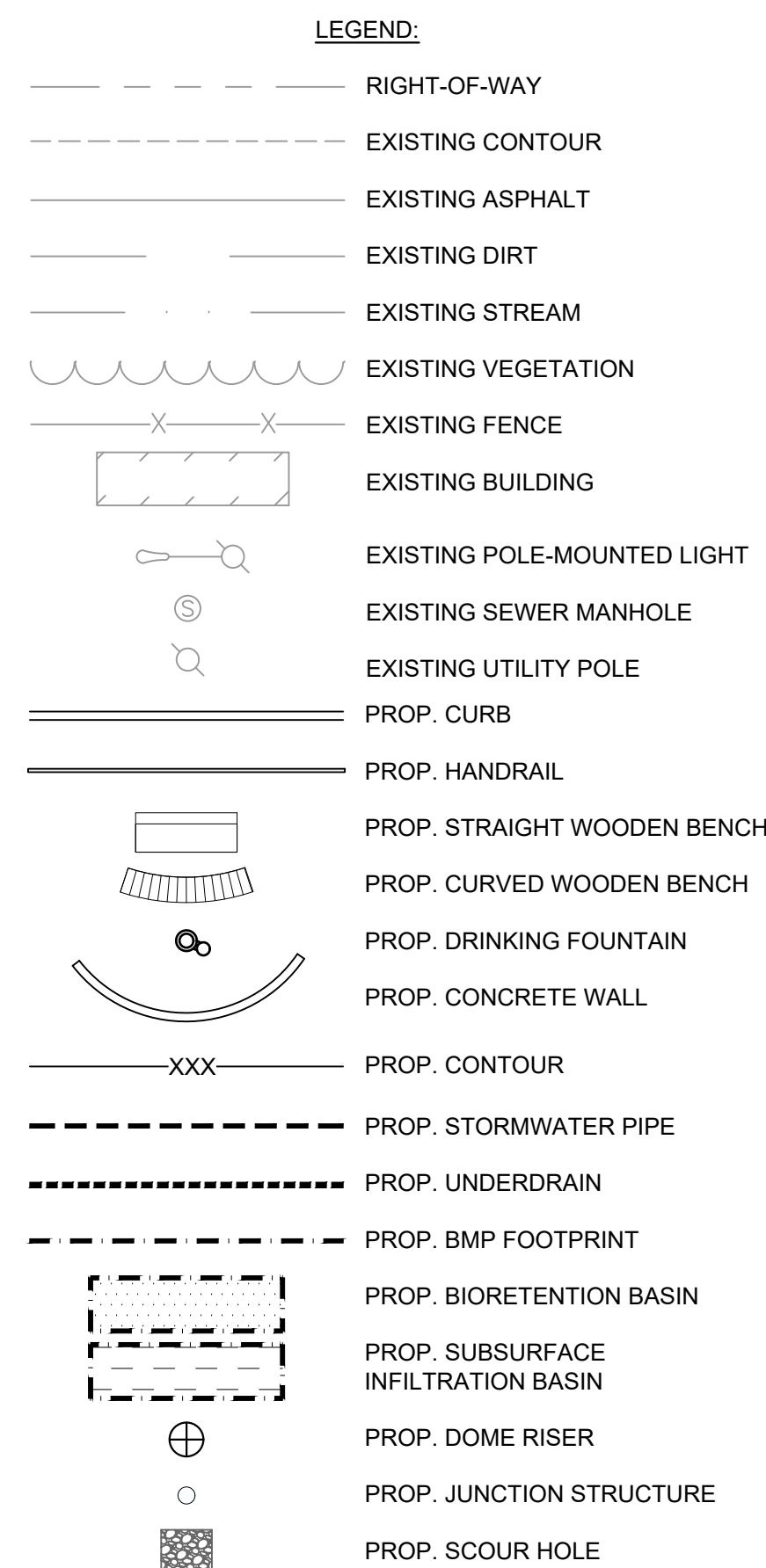
ABINGTON INCLUSIVE
PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

04	100% CONSTRUCTION DOCUMENTS	09/27/2023
03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

DETAILED GRADING
PLAN

JOB NO.:	0222032	DRAWING NO.:
SCALE:	1" = 4'-0"	C-401
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-400 GRADING PLAN.DWG	
DATE:	06/02/2023	



studioludo



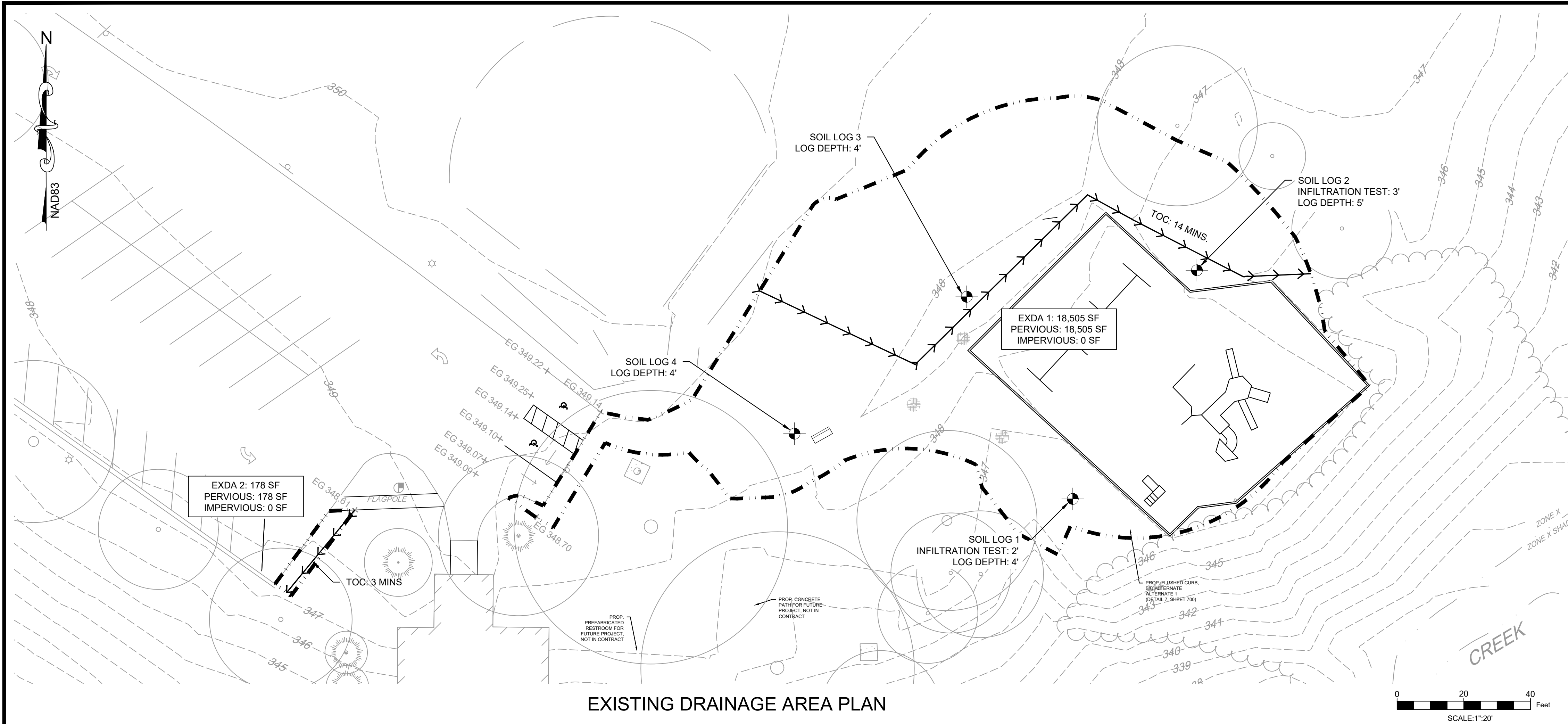
ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

DRAINAGE PLAN

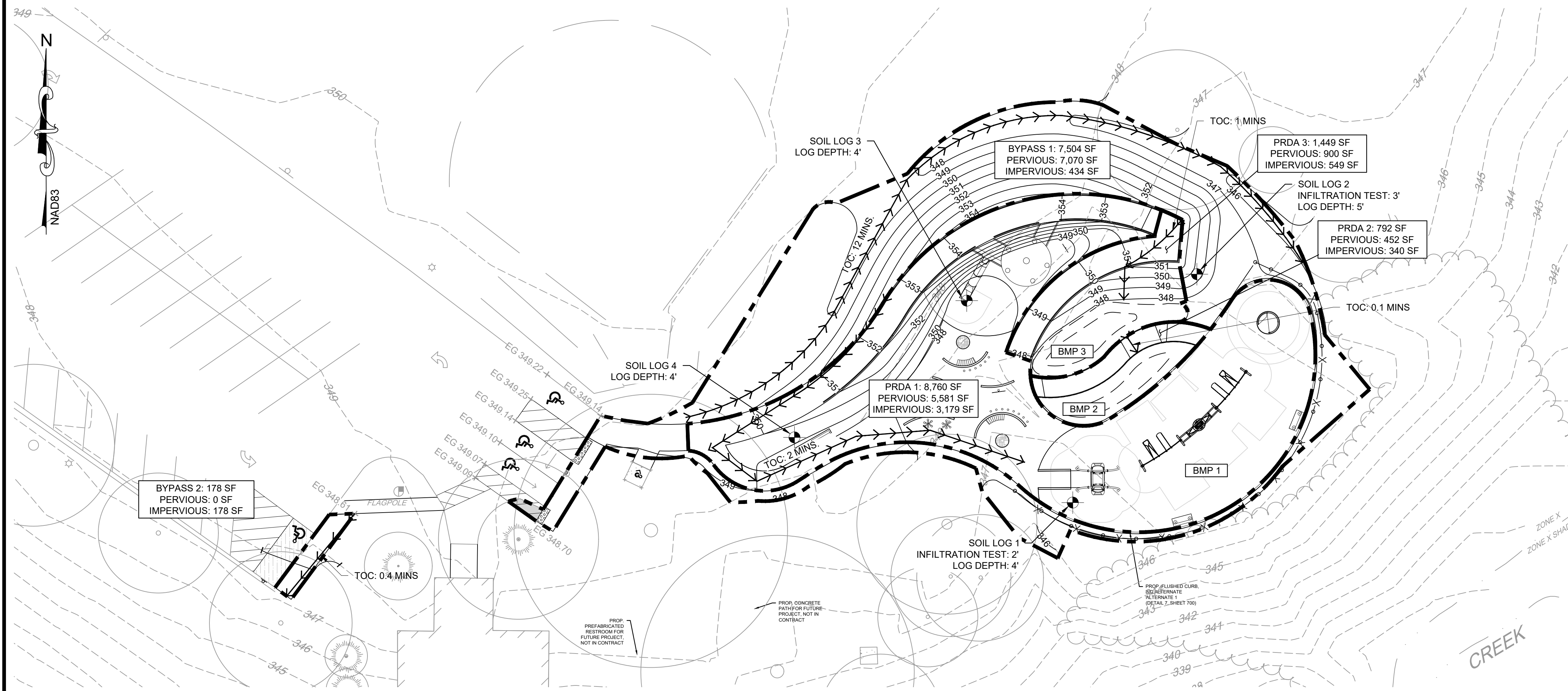
DRAWING NO.:

C-410

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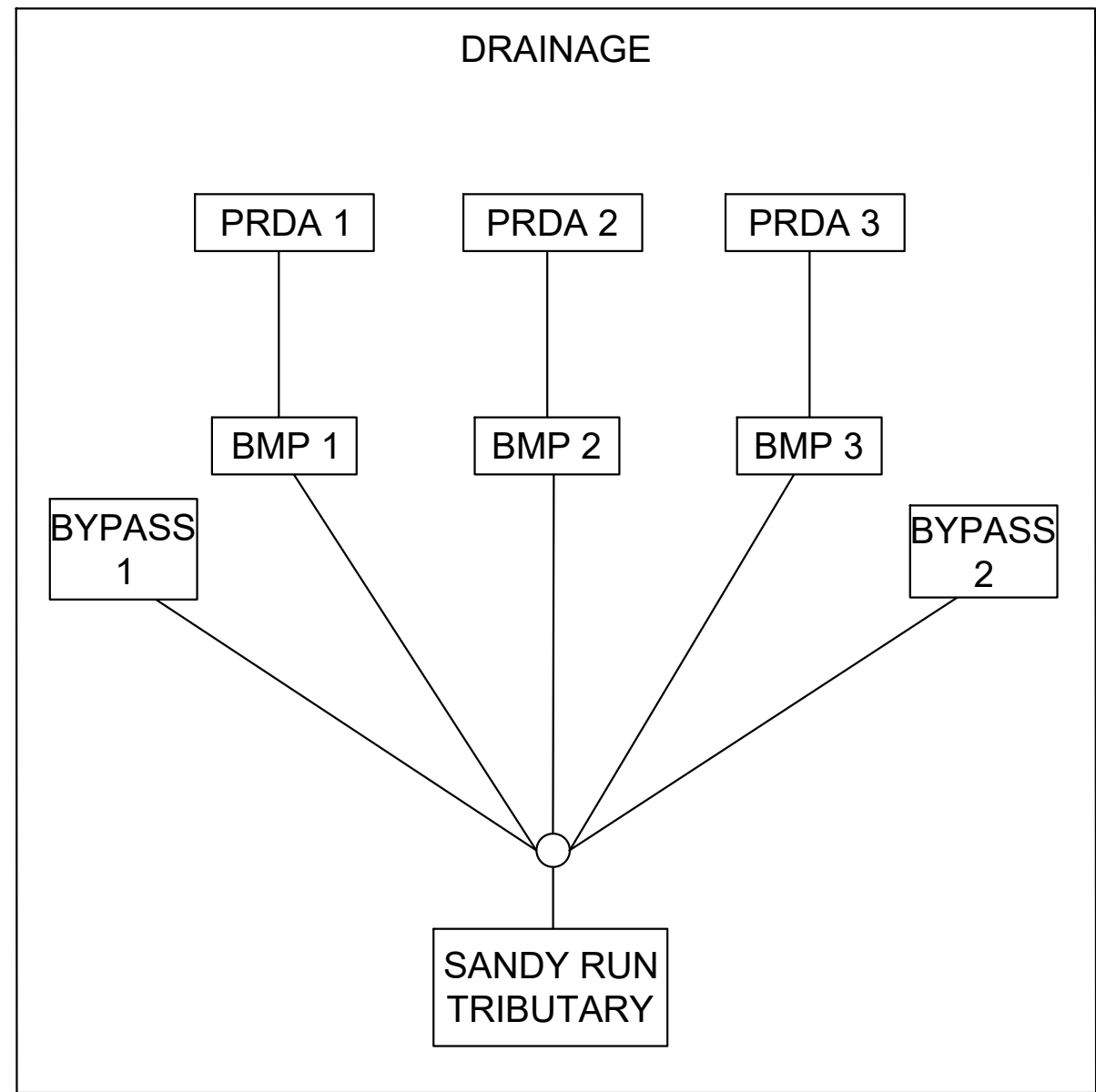


EXISTING DRAINAGE AREA PLAN



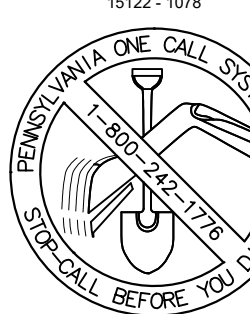
PROPOSED DRAINAGE AREA PLAN

- LEGEND:**
- RIGHT-OF-WAY
 - EXISTING CONTOUR
 - EXISTING ASPHALT
 - EXISTING DIRT
 - EXISTING STREAM
 - EXISTING VEGETATION
 - EXISTING FENCE
 - EXISTING BUILDING
 - EXISTING TREE
 - EXISTING POLE-MOUNTED LIGHT
 - EXISTING SEWER MANHOLE
 - EXISTING UTILITY POLE
 - PROP. CURB
 - PROP. HANDRAIL
 - PROP. STRAIGHT WOODEN BENCH
 - PROP. CURVED WOODEN BENCH
 - PROP. DRINKING FOUNTAIN
 - PROP. CONCRETE WALL
 - PROP. DETECTABLE WARNING SURFACE
 - PROP. CHAIN LINK FENCE
 - PROP. PLANTING FENCE
 - PROP. SIGN
 - PROP. EQUIPMENT USE AREA
 - PROP. HERBACEOUS PLANTINGS
 - PROP. CONTOUR
 - EXIST. DRAINAGE AREA
 - PROP. DRAINAGE AREA
 - EX. TIME ON CONCENTRATION PATH
 - PROP. TIME OF CONCENTRATION PATH
 - SOIL LOG LOCATION



PENNSYLVANIA ONE CALL SYSTEM, INC.
SITE IDENTIFICATION NO.: 20222971702

825 West Main Road
West Mifflin, Pennsylvania
15122 - 1078



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776

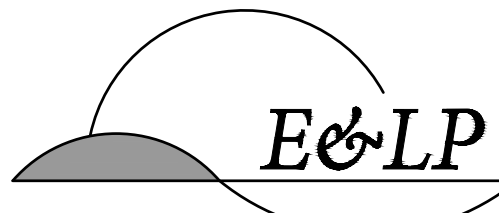
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

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ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD,
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE

EDWARD D. CONFAIR
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STUDIO LUDO
1313 S 33RD STREET
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SAS GEOSPATIAL, LLC
1432 EASTON ROAD
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WARRINGTON, PA 18976
(215) 343-5989



ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

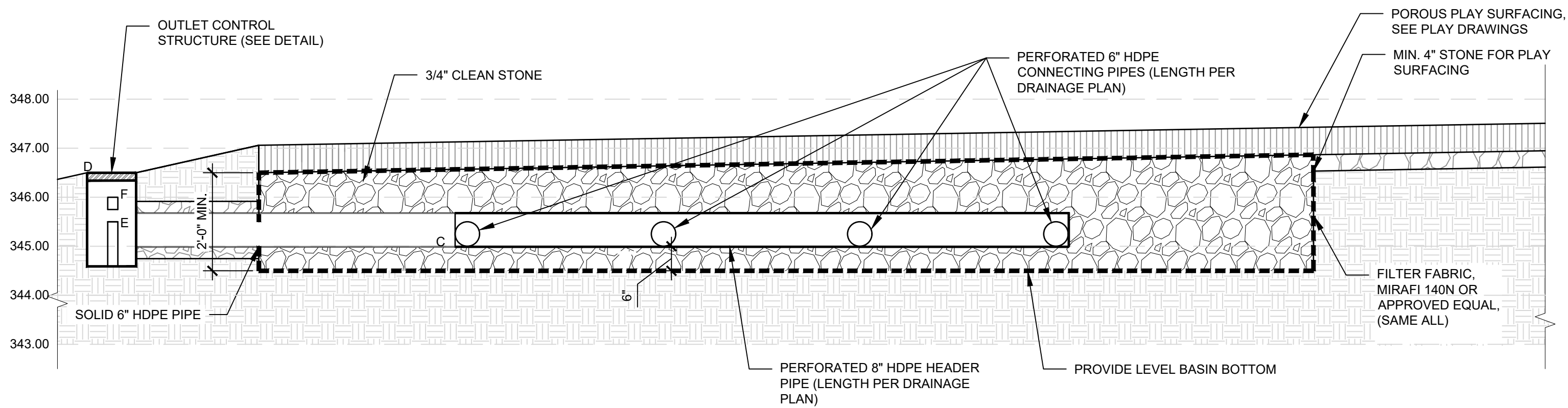
NO.	ISSUANCE	DATE
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DRAINAGE AREA PLAN

JOB NO.:	0222032	DRAWING NO.:
SCALE:	1" = 20'-0"	
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-420 DRAINAGE AREA PLAN.DWG	
DATE:	06/02/2023	

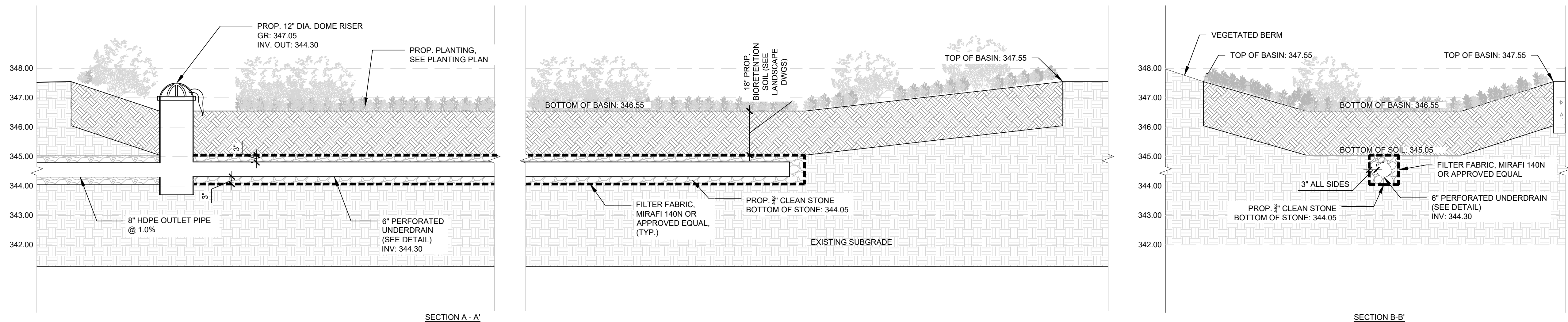
C-420

	BOTTOM OF BASIN	TOP OF BASIN	INVERT OUT	RIM	RECTANGULAR WEIR	ORIFICE	WATER QUALITY ELEVATION
	A	B	C	D	E	F	
BMP 1	344.50	346.50	344.83	346.50	345.75	345.30	345.13



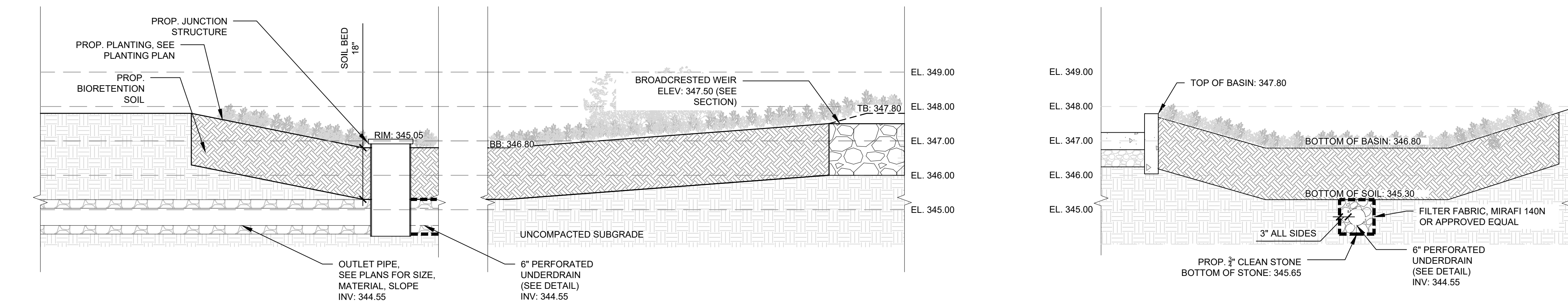
1 SUBSURFACE INFILTRATION BASIN DETAIL (BMP 1)

1/2"=1'-0"



2 BIORETENTION BASIN DETAIL (BMP 2)

1/2"=1'-0"



3 BIORETENTION BASIN DETAIL (BMP 3)

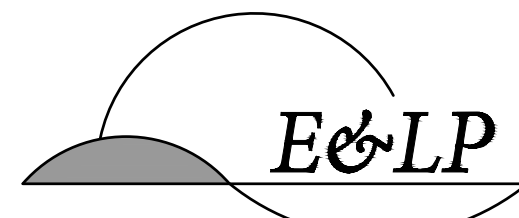
1/2"=1'-0"

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ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
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09/27/2023
DATE

Edward D. Confair, Jr.
EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
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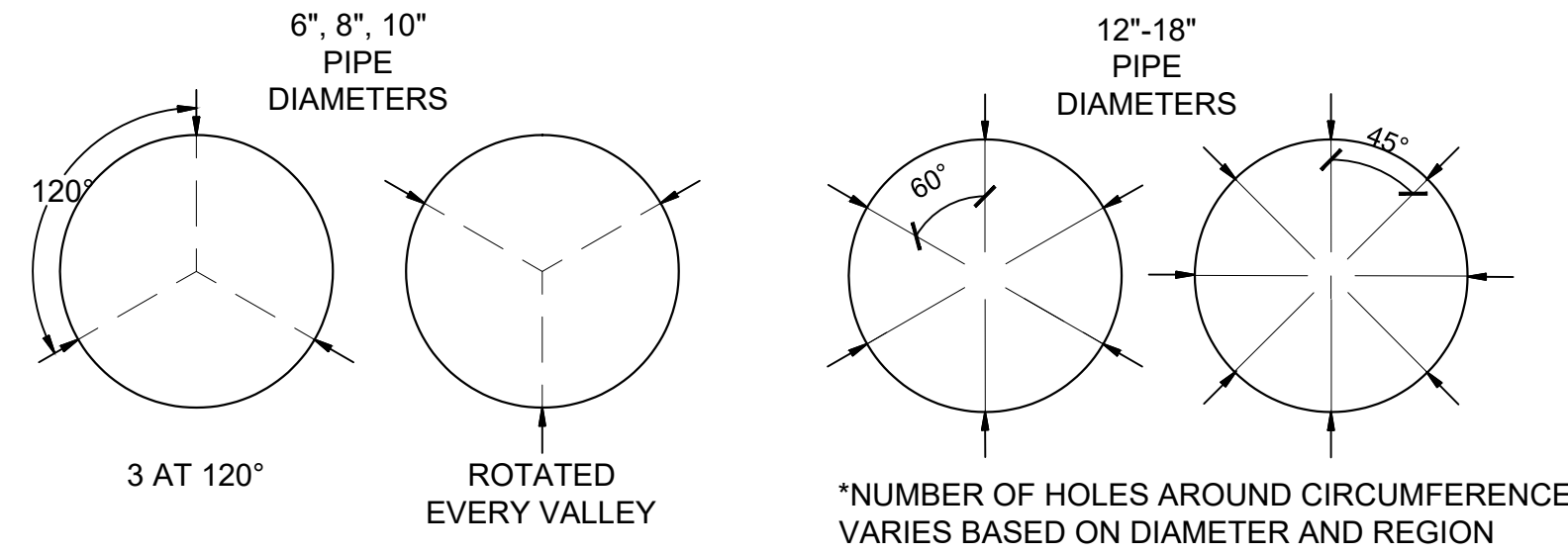
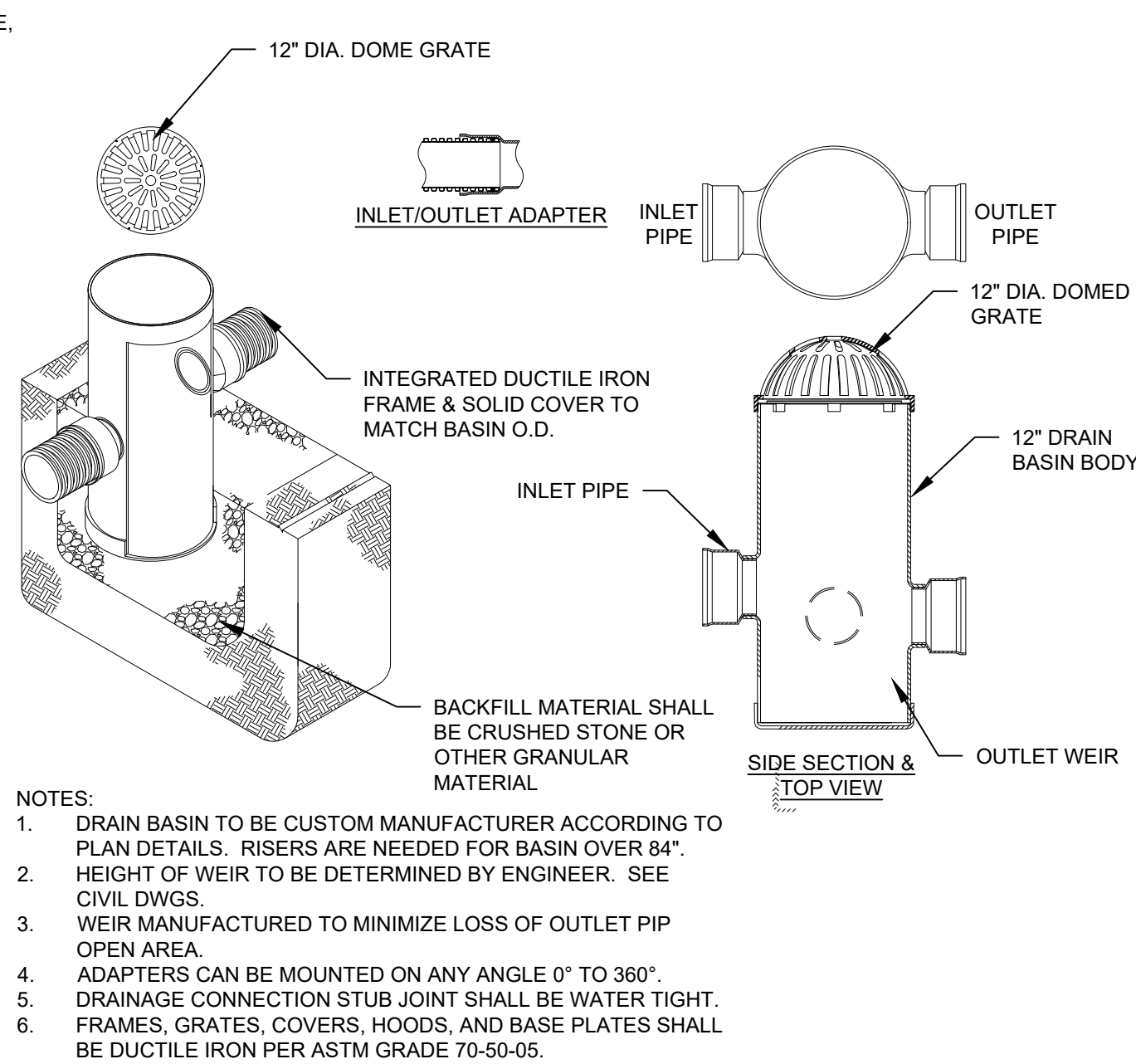
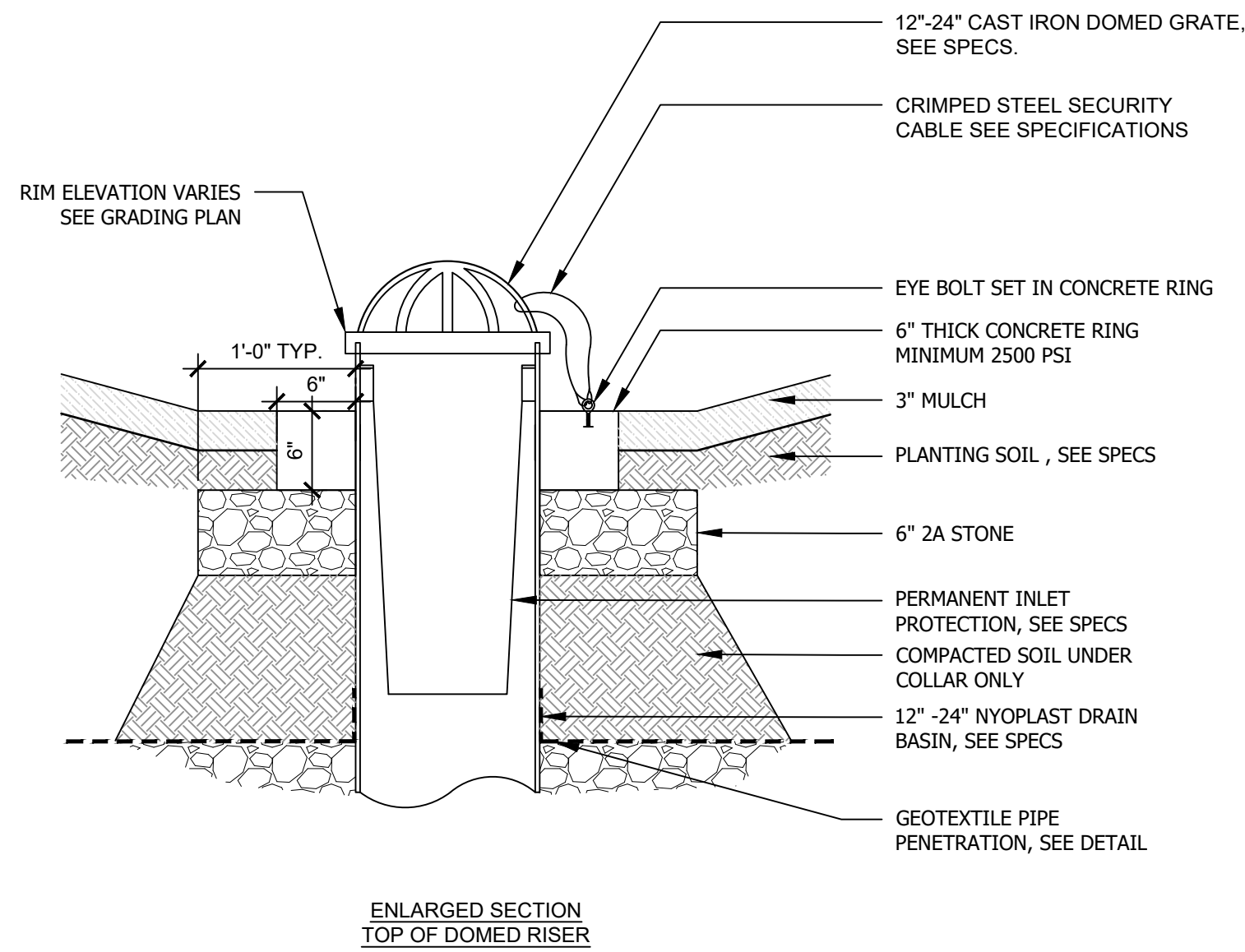
ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

04	100% CONSTRUCTION DOCUMENTS	09/27/2023
03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

TITLE: DRAINAGE DETAILS		
JOB NO.:	0222032	DRAWING NO.:
SCALE:	AS SHOWN	
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-430 DRAINAGE DETAILS.DWG	
DATE:	06/02/2023	

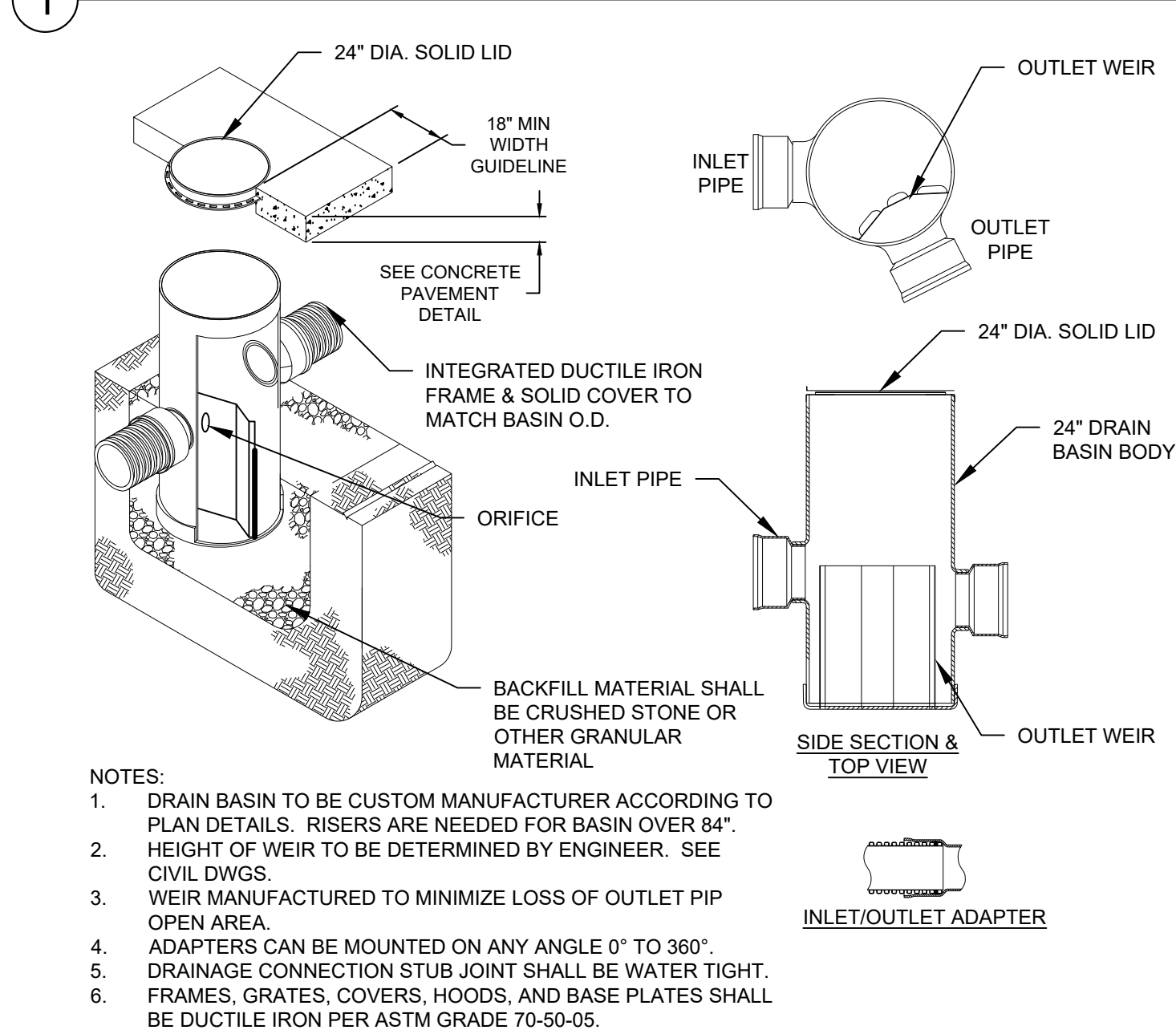
C-430



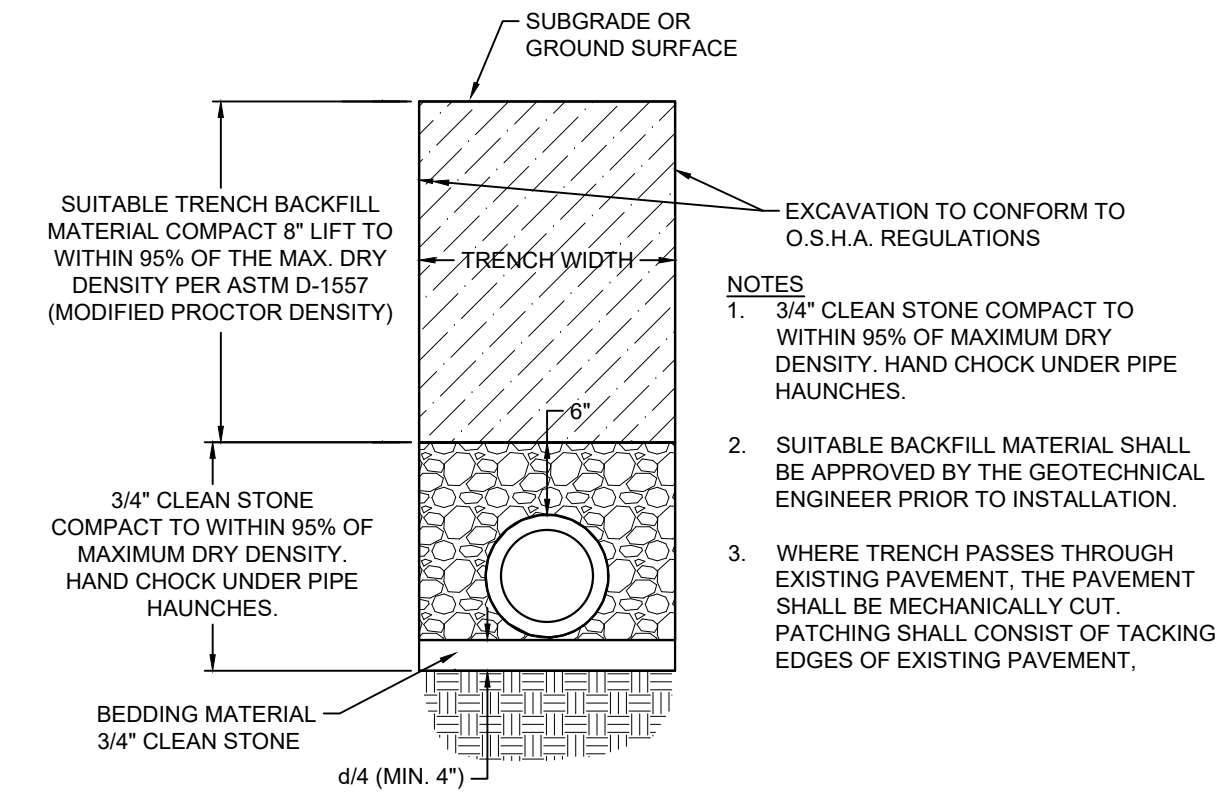
- NOTES:
1. ACTUAL PATTERN MAY VARY BY REGION, HOWEVER ALL PATTERNS MEET THE AASHTO AND ASTM MINIMUM REQUIREMENTS FOR THE OPEN INLET AREA

AASHTO CLASS II PERFORATION				
NOMINAL I.D. (INCHES)	PERFORATION TYPE	MAXIMUM SLOT LENGTH (INCHES)	MAXIMUM SLOT WIDTH (INCHES)	MINIMUM INLET AREA (IN ² /FT)
6	SLOT	0.875	0.125	1.0
8	SLOT	1.18	0.125	1.0
10	SLOT	1.18	0.125	1.0
12	CIRCULAR	0.313	-	1.5

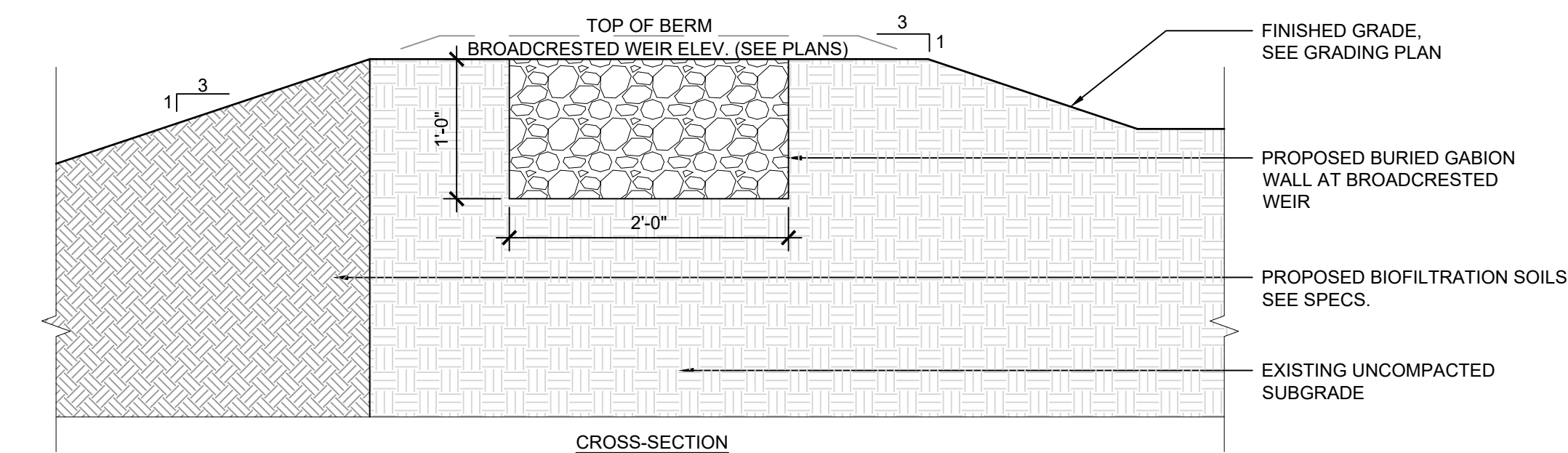
1 DOME RISER DETAIL



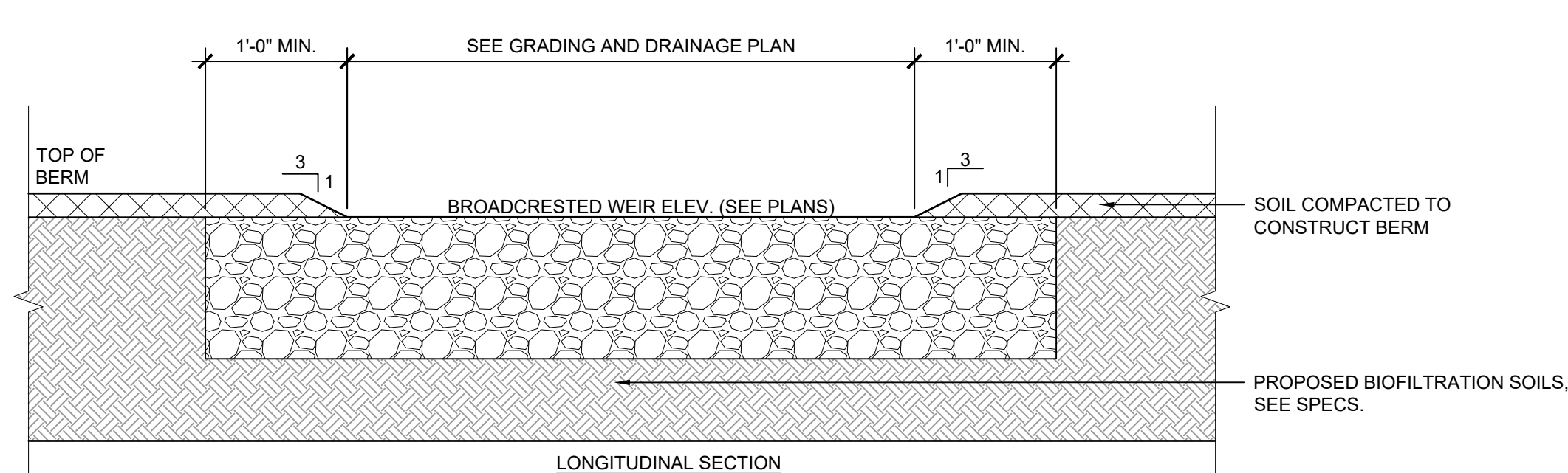
3 OUTLET CONTROLS STRUCTURE DETAIL



4 HDPE PIPE TRENCH DETAIL



6 STONE WEIR DETAIL

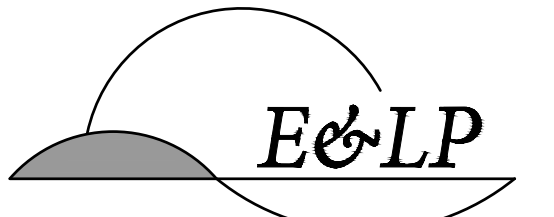


5 JUNCTION STRUCTURE DETAIL

ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE
EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
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01	100% DESIGN DEVELOPMENT	06/05/23

DRAINAGE DETAILS

JOB NO.:	0222032	DRAWING NO.:	C-431
SCALE:	AS SHOWN		
DESIGNED:	MMS		
CHECKED:	EDC		
FILENAME:	C-430 DRAINAGE DETAILS.DWG		
DATE:	06/02/2023		

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BASE BID PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
BeNi	6	Betula Nigra	River Birch	1.5" - 2" Cal.	PER PLAN	B+B
MaVi	3	Magnolia Virginiana	Sweetbay Magnolia	1.5" - 2" Cal.	PER PLAN	B+B
CeCa	4	Cercis Canadensis	Eastern Redbud	1.5" - 2" Cal.	PER PLAN	B+B
SHRUBS						
CIAI	3	Clethra alnifolia 'Pink Spire'	Summersweet Clethra	3 Gal	PER PLAN	Cont
HyAr	9	Hydrangea arborescens 'Annabelle'	Smooth Hydrangea	3 Gal	PER PLAN	Cont
PERENNIALS/GRASSES						
Bioretention Mix	197	Carex Vulpinoidea	Brown Fox Sedge	PLUG, 2.25" DEEP, 1.52" WIDTH MIN.	18" o.c.	Basis of Design for landscape plugs: Northcreek nursery 388 N Creek Rd Landenberg, PA 19350 HTTPS://WWW.NORTHCREEKNURSERIES.COM/ Tel.: (610) 255-0100
	74	Iris Veriscolor	Northern Blue Flag	PLUG, 2.25" DEEP, 1.52" WIDTH MIN.	18" o.c.	
	148	Carex Grayi	Gray Sedge	PLUG, 2.25" DEEP, 1.52" WIDTH MIN.	18" o.c.	
	74	Helopsis Helianthoides	Early Sunflower	PLUG, 2.25" DEEP, 1.52" WIDTH MIN.	18" o.c.	

BIORETENTION SEED OVERLAY:
BASIS FOR DESIGN:
RETENTION BASIN WILDLIFE MIX
ITEM NUMBER: ERNMX-127
ERNST SEEDS
8884 MERCER PIKE
MEADVILLE, PA 16335
TEL: (800) 873-3321
SALES@ERNSTSEED.COM

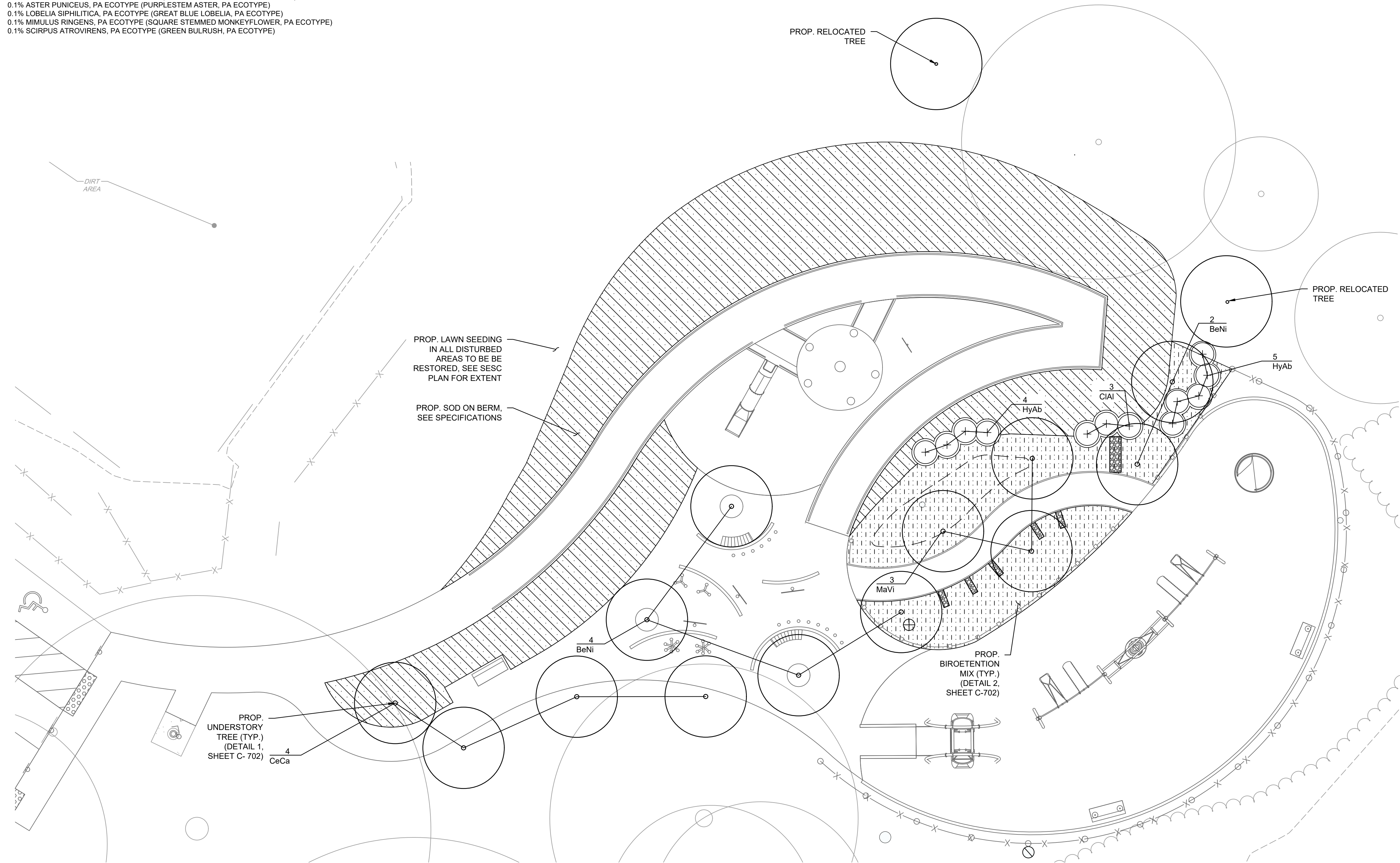
30.0% PANICUM CLANDESTINUM, TIOGA (DEERTONGUE, TIOGA)
29.5% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
20.0% ELYMUS VIRGINICUS, MADISON-NY ECOTYPE (VIRGINIA WILDRYE, MADISON-NY ECOTYPE)
7.0% CAREX LURIDA, PA ECOTYPE (LURID SEDGE, PA ECOTYPE)
7.0% CAREX SCOPARIA, PA ECOTYPE (BLUNT BROOM SEDGE, PA ECOTYPE)
3.0% VERBENA HASTATA, PA ECOTYPE (BLUE VERVAIN, PA ECOTYPE)
1.5% JUNCUS EFFUSUS (SOFT RUSH)
0.5% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE)
0.5% ASCLEPIAS INCARNATA, PA ECOTYPE (SWAMP MILKWEED, PA ECOTYPE)
0.2% HELENIUM AUTUMNALE, PA ECOTYPE (COMMON SNEEZEWEED, PA ECOTYPE)
0.2% SCIRPUS CYPERINUS, PA ECOTYPE (WOOLGRASS, PA ECOTYPE)
0.1% ASTER LANCEOLATUS (LANCE LEAVED ASTER)
0.1% ASTER NOVAE-ANGLIAE, PA ECOTYPE (NEW ENGLAND ASTER, PA ECOTYPE)
0.1% ASTER PUNICEUS, PA ECOTYPE (PURPLESTEM ASTER, PA ECOTYPE)
0.1% LOBELIA SIPHILITICA, PA ECOTYPE (GREAT BLUE LOBELIA, PA ECOTYPE)
0.1% MIMULUS RINGENS, PA ECOTYPE (SQUARE STEMMED MONKEYFLOWER, PA ECOTYPE)
0.1% SCIRPUS ATROVIRENS, PA ECOTYPE (GREEN BULRUSH, PA ECOTYPE)

LANDSCAPE NOTES:

- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
- COORDINATE ALL TREE LOCATIONS WITH STRUCTURAL SLAB DESIGN AND DRAINAGE STRUCTURES.
- DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARTING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT FINISHED WORK.
- PLANT MATERIALS SHALL BE MAINTAINED BEFORE, DURING AND AFTER IN THE BEST HORTICULTURAL CONDITION. CONTRACTOR SHALL PRUNE ALL DEAD OR DISEASED LIMBS, BRANCHES AND CANES FROM EXISTING DECIDUOUS AND CONIFEROUS TREES. METHODS SHALL REFLECT BEST HORTICULTURAL PRACTICES AS OUTLINED IN THE AMERICAN NURSERYMEN ASSOCIATION CERTIFICATION AND STANDARDS LATEST EDITION.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
- THE CONTRACTOR SHALL REMOVE ALL DEAD AND BROKEN CANES AND BRANCHES.
- ALL PLANTING SOIL SHALL BE PER SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIALS WITHIN ONE GROWING SEASON FOR PLANT MATERIALS THAT ARE NO LONGER VIABLE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPING ASSOCIATION (ANLA 2000).
- CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.

LEGEND:

- RIGHT-OF-WAY
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING TREE
- EXISTING POLE-MOUNTED LIGHT
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- PROP. CURB
- PROP. HANDRAIL
- PROP. STRAIGHT WOODEN BENCH
- PROP. CURVED WOODEN BENCH
- PROP. DRINKING FOUNTAIN
- PROP. CONCRETE WALL
- PROP. DETECTABLE WARNING SURFACE
- PROP. CHAIN LINK FENCE
- PROP. PLANTING FENCE
- PROP. SIGN
- PROP. BIORETENTION SEED MIX
- PROP. HERBACEOUS MIX 1
- PROP. HERBACEOUS MIX 2
- PROP. SOD
- PROP. TREE
- PROP. SHRUBS



PENNSYLVANIA ONE CALL SYSTEM, INC.
SITE IDENTIFICATION NO.: 20222971702
655 West Main Road
West Mifflin, Pennsylvania 15122-1078

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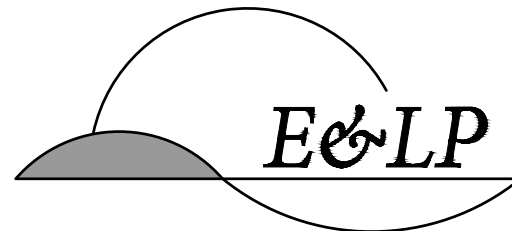
SCALE: 1"=20'

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ABINGTON INCLUSIVE
PLAYGROUND PROJECT



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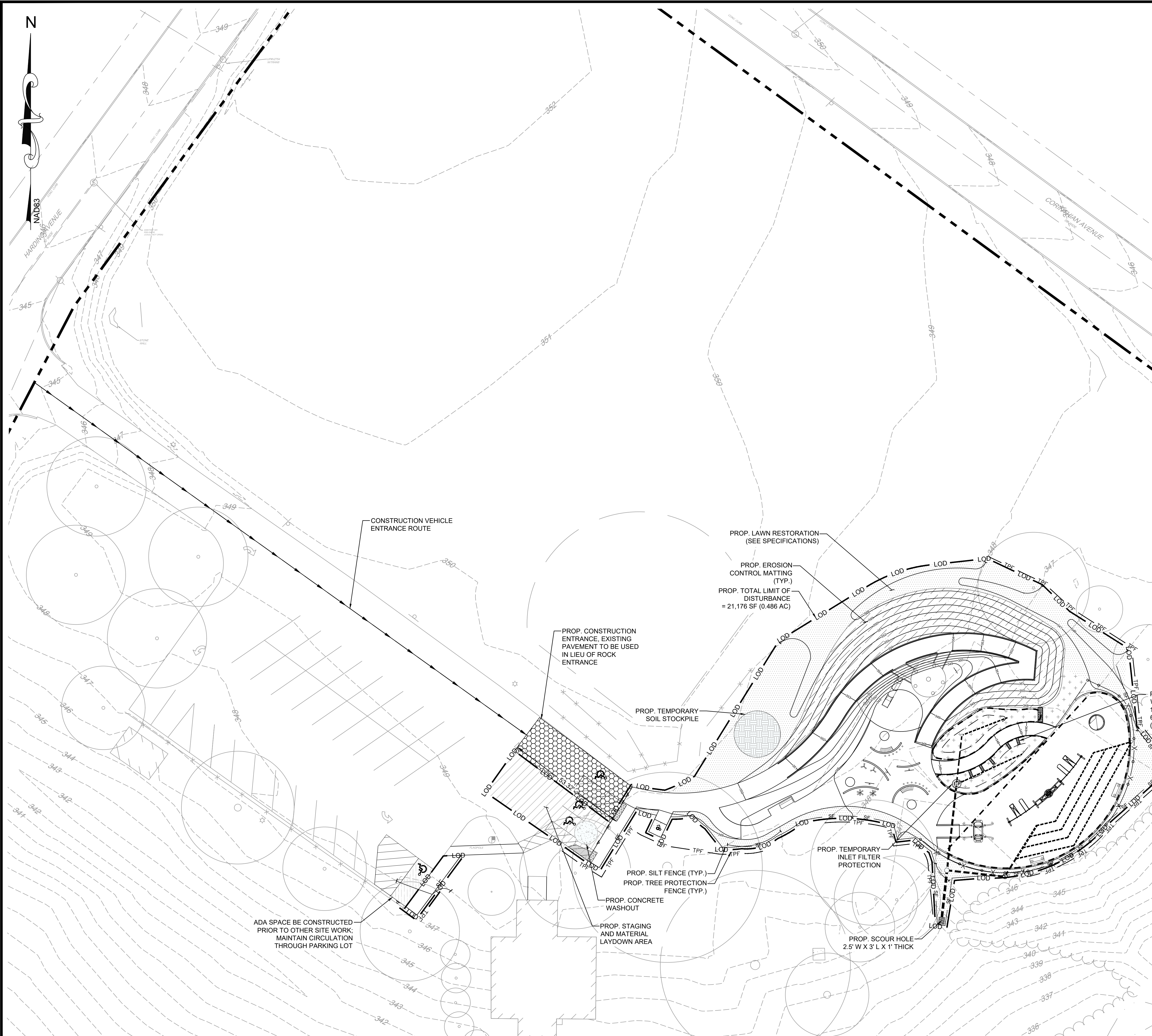


ABINGTON INCLUSIVE
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TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
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02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

PLANTING PLAN		
JOB NO.:	0222032	DRAWING NO.:
SCALE:	1" = 10'	C-500
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-500 PLANTING PLAN	
DATE:	06/02/2023	



LEGEND:

- RIGHT-OF-WAY
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING DIRT
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING TREE
- EXISTING POLE-MOUNTED LIGHT
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- PROP. CURB
- PROP. HANDRAIL
- PROP. STRAIGHT WOODEN BENCH
- PROP. CURVED WOODEN BENCH
- PROP. DRINKING FOUNTAIN
- PROP. CONCRETE WALL
- PROP. DETECTABLE WARNING SURFACE
- PROP. CHAIN LINK FENCE
- PROP. PLANTING FENCE
- PROP. SIGN
- PROP. CONTOUR
- PROP. STORMWATER PIPE
- PROP. UNDERDRAIN
- PROP. BMP FOOTPRINT
- PROP. CONSTRUCTION ENTRANCE
- LOD
- SF
- TPF
- PROP. LIMIT OF DISTURBANCE
- PROP. SILT FENCE
- PROP. TREE PROTECTION FENCING
- PROP. TEMPORARY SOIL STOCKPILE
- PROP. CONCRETE WASHOUT
- PROP. INLET FILTER PROTECTION
- PROP. EROSION CONTROL MATTING
- PROP. LAWN RESTORATION
- PROP. STAGING AND MATERIAL LAYDOWN AREA

PENNSYLVANIA ONE CALL SYSTEM, INC.
SITE IDENTIFICATION NO.: 20222971702
625 West River Road
West Mifflin, Pennsylvania 15122-1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

0 20 40 Feet
SCALE: 1"=20'

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ABINGTON INCLUSIVE PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE

EDWARD D. CONFAIR, JR.
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
04	100% CONSTRUCTION DOCUMENTS	09/27/2023
03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23

TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

JOB NO.:	0222032	DRAWING NO.:
SCALE:	1" = 20'	C-600
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-600 SESC PLAN	
DATE:	06/02/2023	

MONTGOMERY COUNTY CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THESE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THESE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REGRADING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT

- FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
29. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
33. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

CONSTRUCTION SEQUENCE

1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE MONTGOMERY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPS AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE MONTGOMERY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
5. CONSTRUCTION BEGINS.
6. THE EXISTING DRIVEWAY IS TO ACT AS THE CONSTRUCTION ENTRANCE DURING CONSTRUCTION. THIS ENTRANCE MUST BE UTILIZED BY ALL CONSTRUCTION VEHICLES ENTERING/EXITING THE SITE. STREET SEEDING AT THE CONSTRUCTION ENTRANCE SHALL BE PERFORMED AT THE END OF THE DAY AND AS NEEDED THROUGHOUT THE LIFE OF THE PROJECT. A PILE OF BALLASTS SHALL BE KEPT ON SITE TO REFRESH THE ENTRANCE AS NEEDED.
7. INSTALL TREE PROTECTION FENCING AS INDICATED ON PLAN. TREE PROTECTION FENCING MUST BE IN PLACE AND APPROVED PRIOR TO ANY DISTURBANCE. THE LIMIT OF DISTURBANCE SHALL BE CLEARLY MARKED. ALL DISTURBANCE SHALL BE CONTAINED TO THE DELINEATED LIMIT OF CONSTRUCTION.
8. INSTALL SILT FENCE AS INDICATED ON PLAN. SILT FENCE SHALL BE INSTALLED UP-SLOPE OF CONSTRUCTION FENCING. NOTE: ADDITIONAL SEDIMENT BARRIERS SHALL BE INSTALLED DOWNGRADE OF ANY DISTURBANCE AREAS AS NEEDED THROUGHOUT THE ENTIRE PROJECT.
9. INSTALL ORANGE CONSTRUCTION FENCING AROUND AREAS OF PROPOSED INFILTRATION PRIOR TO ANY EARTH DISTURBANCE TO PREVENT POTENTIAL COMPACTION. BED AREAS TO BE PROTECTED THROUGHOUT EARTHWORK ACTIVITIES.
10. PRIOR TO COMMENCEMENT OF EARTH WORK OR GROUND DISTURBANCE ACTIVITY, ALL EROSION CONTROL FACILITIES REQUIRED PURSUANT TO THE APPROVED PERMIT PLAN MUST BE INSTALLED. ALL MEASURES NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE TAKEN BY THE APPLICANT AND BUILDER/CONTRACTOR THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION UNTIL THE SITE IS PERMANENTLY STABILIZED, REGARDLESS OF WHETHER OR NOT SUCH MEASURES ARE SPECIFICALLY SHOWN ON THE PERMIT/PLAN. SEDIMENT FROM THIS SITE MAY NOT CONTAMINATE ON-SITE OR OFF-SITE WATERWAYS.
11. CLEAR AND GRUB THE AREAS AS NECESSARY WITHIN THE LIMITS OF DISTURBANCE OF EXISTING VEGETATION. STRIP TOPSOIL AND STOCKPILE SUITABLE MATERIAL FOR FUTURE USE. UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SURROUND STOCKPILE WITH SILT FENCE. TEMPORARILY SEED ALL STOCKPILED TOPSOIL.
12. GRADE AND CONSTRUCT PROPOSED SOUTHERN ADA PARKING SPOT TO PROVIDE AN ACCESSIBLE SPOT PRIOR TO THE REST OF THE CONSTRUCTION.
13. ROUGH GRADE THE SITE TO ENABLE THE CONSTRUCTION OF THE NEW IMPROVEMENTS. ANY GRADED OR DISTURBED AREA MUST BE TEMPORARILY SEEDED IF NO EARTH MOVING IS ANTICIPATED FOR MORE THAN 4 DAYS.
14. AS SOON AS ANY DISTURBED AREA IS BROUGHT TO FINAL GRADE THE AREA MUST BE STABILIZED. NO MORE THAN 15,000 SF OF DISTURBED AREA SHALL REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
15. INSTALL THE NEW INLETS, SUMP BOXES, AND ASSOCIATED CONVEYANCE PIPING AS SHOWN ON THE PLANS. ALL INLETS SHALL BE COMPLETELY SEALED OFF UNTIL THE CONTRIBUTORY AREA TO THE INLETS ARE PERMANENTLY STABILIZED AS SHOWN ON THE "INLET BLOCKING DETAIL" ON THE PLANS.
16. STABILIZE AND INSTALL TEMPORARY GROUND COVER VEGETATION ON GRADED AREAS THAT REMAIN UNDISTURBED DURING BUILDING CONSTRUCTION. ANY GRADED OR DISTURBED AREAS MUST BE TEMPORARILY SEEDED IF NO FURTHER EARTH MOVING IS ANTICIPATED IMMEDIATELY.
17. INSPECT SEDIMENT BARRIERS WEEKLY AND AFTER EACH RAINFALL EVENT GREATER THAN 0.25 INCHES. WRITTEN DOCUMENTATION OF THESE INSPECTIONS SHOULD BE MAINTAINED ON THE PROJECT SITE AND BE AVAILABLE UPON REQUEST. NOTE: E&S CONTROLS ARE NOT TO BE REMOVED UNTIL UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES OVER THE ENTIRE DISTURBED AREA. (SEE CONSTRUCTION SEQUENCE NOTE #22 FOR STABILIZATION CRITERIA).
18. REPLACE AND REPAIR SEDIMENT BARRIERS AS NECESSARY.

19. CRITICAL STAGE - (THE SITE'S ENGINEER OR DESIGNEE SHALL BE ON SITE TO INSPECT THE INSTALLATION OF THE PCSM FACILITIES) STABILIZE THE CONTRIBUTORY AREA. EXCAVATE FOR AND INSTALL THE PERMANENT PCSM SYSTEMS. EXCAVATE TO THE BOTTOM OF THE PERMANENT SYSTEM, AS INDICATED ON THE PLANS. INSTALL GEOTEXTILE FABRIC, PIPE BEDDING AND PIPE SYSTEM AS INDICATED ON THE PLANS. INSTALLATION OF THE STONE SHALL BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE INFILTRATION BMPS TO ENSURE THAT IT IS CLEAN WASHED STONE. IN THE EVENT THAT SEDIMENT ENTERS OR CLOGS THE INFILTRATION BMP APPROPRIATE MEASURES SHALL BE TAKEN (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE). IF GROUNDWATER OR BEDROCK IS FOUND DURING THE EXCAVATION OF THE PIPE SYSTEM, THE ENGINEER SHALL BE CONSULTED TO DETERMINE THE NECESSARY MEASURES THAT SHOULD BE TAKEN. THE BOTTOM OF ALL INFILTRATION BMPS SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE. CONNECT SYSTEMS TO THE RESPECTIVE LEVEL SPREADERS, AND CONNECT INLETS TO THE PCSM SYSTEMS AS SHOWN ON THE PLANS.
- a. ALL BED BOTTOMS SHALL BE LEVEL AFTER GRADING.
- b. PRIOR TO INFILTRATION BED GRADING AND PLACEMENT OF GEOTEXTILE, UP-GRADIENT AREAS SHALL BE SUFFICIENTLY STABILIZED TO PREVENT THE WASHING OF SEDIMENT INTO THE RECHARGE AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT THE DEPOSITION OF SEDIMENT OR SEDIMENT-LADEN WATERS INTO THE INFILTRATION STRUCTURES AFTER FINAL GRADING.
- c. IF BEDROCK IS ENCOUNTERED AT ANY TIME DURING EXCAVATION OF THE INFILTRATION BED, EXCAVATION IS TO BE DISCONTINUED IN THE AFFECTED AREA AND THE OWNER AND ENGINEER NOTIFIED AT ONCE.
- d. PLACE GEOTEXTILE IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHALL OVERLAP A MINIMUM OF TWO FEET. SECURE FABRIC AT LEAST FOUR (4) FEET OUTSIDE OF BED AND TAKE STEPS NECESSARY TO PREVENT ANY SEDIMENT FROM ENTERING TRENCH.
- e. AGGREGATE SHALL BE CLEAN WITH A WASH LOSS OF NO MORE THAN 0.5 PERCENT. INSTALLATION OF THE STONE SHOULD BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE INFILTRATION BMP TO ENSURE THAT IT IS CLEAN WASHED STONE. AGGREGATE THAT DOES NOT MEET THIS CRITERION WILL BE REMOVED AT NO EXTRA COST TO THE OWNER AND THE BEDS RESTORED TO THE OWNER'S SATISFACTION.
- f. FOLLOWING PLACEMENT OF BED AGGREGATE, THE GEOTEXTILE SHALL BE FOLDED OVERTOP THE BED, WITH APPROPRIATE FABRIC OVERLAP, TO PROTECT FROM SEDIMENT WASHOUT ALONG BED EDGES. TOPSOIL (OR APPROPRIATE MATERIAL SPECIFIED BY PARTICULAR DESIGN) WILL BE USED TO FILL ABOVE THE BED TO THE SPECIFIED HEIGHT.
21. BEGIN DEMOLITION AND REMOVAL OF THE EXISTING BUILDING AND ASPHALT DRIVEWAY AS SHOWN ON THE PLANS. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE IN AN APPROVED MANNER.
22. UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. THE SITE SHALL BE DEEMED STABILIZED WHEN VEGETATED AREAS ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREAS AND ROADWAYS/PARKING AREAS SHOULD ATLEAST HAVE A CLEAN SUBBASE IN PLACE (PAGE 10 OF THE PADEP E&SC MANUAL). MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
23. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES. HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
24. INSTALL THE NEW PAVEMENT AREAS.
25. REMOVE THE INLET BLOCKING MATERIALS FROM THE INLETS TO ALLOW RUNOFF TO ENTER THE INLETS.
26. REMOVE EXCAVATED MATERIALS NOT REQUIRED FOR FINAL CONSTRUCTION FROM SITE AND DISPOSE OF THEM IN AN APPROVED MANNER.
27. REMOVE ANY ACCUMULATED SURPLUS STORAGE MATERIALS AND STAGING AREA AND ROUGH/FINAL GRADE AREAS OF REMOVALS; AND STABILIZE
28. SPREAD STOCKPILED TOPSOIL AROUND BUILDING AND ALL DISTURBED AREAS. SEED ALL GRADED AREAS TO RE-ESTABLISH VEGETATION. STABILIZED SLOPES IN EXCESS OF 4:1 WITH SOD OR NETTING AND MULCH
29. REMOVE CONSTRUCTION FENCING AND SPREAD STOCKPILE TOPSOIL OVER REMAINING DISTURBED AREAS. SEED ALL GRADED AREAS TO RE-ESTABLISH VEGETATION. ALL SLOPES IN EXCESS OF 4:1 SHALL BE STABILIZED IMMEDIATELY. NOTE: E&S CONTROLS ARE NOT TO BE REMOVED UNTIL UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES OVER THE ENTIRE DISTURBED AREA. (SEE CONSTRUCTION SEQUENCE NOTE #22 FOR STABILIZATION CRITERIA).
30. INSTALL LANDSCAPE MATERIALS AND HARDSCAPE MATERIALS.
31. UPON THE RE-ESTABLISHMENT OF VEGETATION ON ALL DENUDED AREAS, REMOVE ALL SEDIMENT BARRIERS.
32. STABILIZE AND SEED ANY AREAS DISTURBED BY THE REMOVAL OF SEDIMENT BARRIERS.
33. CONSTRUCTION FINISHED.

DUST CONTROL NOTES

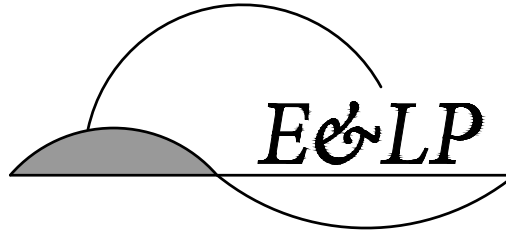
1. FUGITIVE DUST FORM CONSTRUCTION, DEMOLITION, AND EARTHWORKS ACTIVITIES MAY NOT BE VISIBLE AT THE POINT IT PASSES THE WORKSITE PROPERTY LINE.
2. USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING / CUTTING.
3. APPLICATION OF WATER OR APPROVED DUST SUPPRESSANT TO A WORKSITE WITH ONGOING EXCAVATION, LAND CLEARING, DEMOLITION, OR OTHER EARTH DISTURBANCE RELATED ACTIVITIES TO SUPPRESS DUST FORMATION.
4. GENERAL PROHIBITION AGAINST DRY ABRASIVE BLASTING OF EXTERIOR SURFACES OPEN TO THE OUTSIDE AIR WHEN TEMPERATURE IS ABOVE FREEZING.
5. COVERING AND WETTING OF STOCKPILED EARTH, SAND, GRAVEL, AND OTHER SIMILAR CONSTRUCTION MATERIALS.
6. ALL TEMPORARY PERIMETER FENCING AROUND MUST HAVE DUST CONTROL FABRIC; MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF THE FENCING.
7. A 10 MILES PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORKSITE.
8. WETTING AND SWEEPING OF ROADWAYS / ACCESS ROADS IN A WORKSITE TO PREVENT DUST FORMATION.
9. VEHICLE ACCESS POINTS MUST BE EQUIPPED WITH DUST SUPPRESSION MEASURES (I.E. WHEEL WASH SYSTEMS, RUMBLE GRATES, AND/OR GRAVEL PADS)

LAWN RESTORATION MIX, PLANTING RATES AND PLANTING DATES			
SEED MIXTURE	RATES		RECOMMENDED OPTIMUM PLANTING PERIOD
	LBS / AC.	LBS / 1000 S.F.	
TURF-TYPE TALL FESCUE (BLEND OF 3 LOCAL CULTIVARS)	350	8	08/15 - 10/15
DEERTONGUE REDTOP WILD RYE (ELYMUS) SWITCHGRASS	20 02 15 25	.45 .05 .35 .60	03/01 - 04/30

ABINGTON INCLUSIVE
PLAYGROUND PROJECT



OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD.
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE

EDWARD D. CONFAIR
PROFESSIONAL ENGINEER
PENNSYLVANIA PE092932

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SAS GEOSPATIAL, LLC
1432 EASTON ROAD
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ABINGTON INCLUSIVE
PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

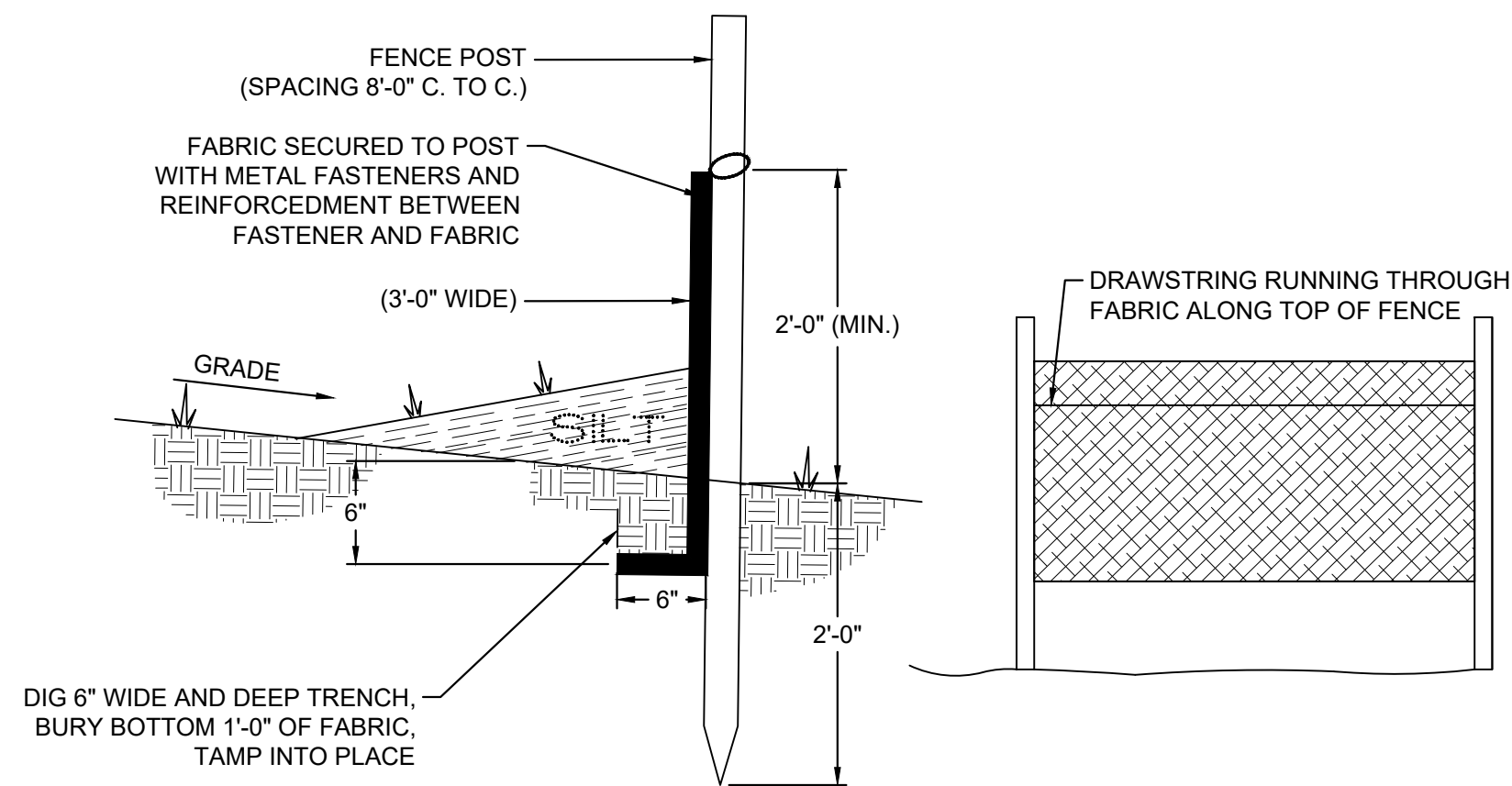
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03	50% CONSTRUCTION DOCUMENTS	08/30/2023
02	REVISED PER ENGINEER COMMENTS	07/25/2023
01	100% DESIGN DEVELOPMENT	06/05/23
NO.	ISSUANCE	DATE

TITLE:

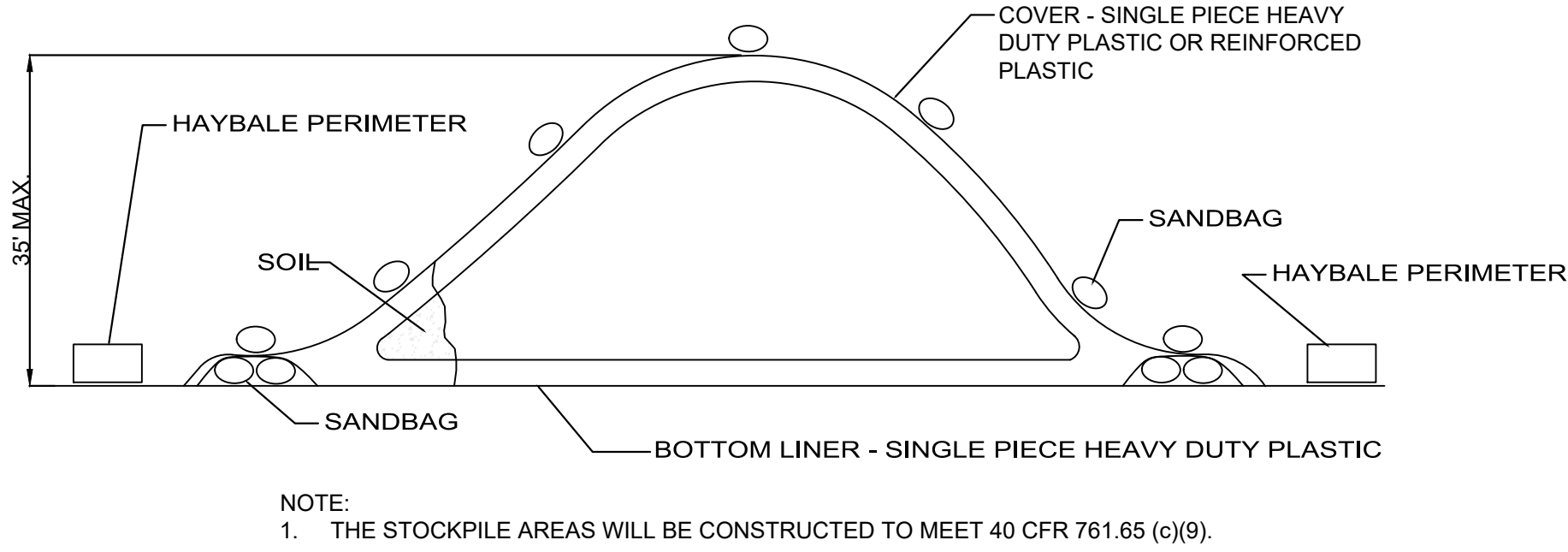
SESC NOTES & DETAILS

JOB NO.:	0222032	DRAWING NO.:
SCALE:	AS SHOWN	C-610
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-610 SESC NOTES & DETAILS.DWG	
DATE:	06/02/2023	

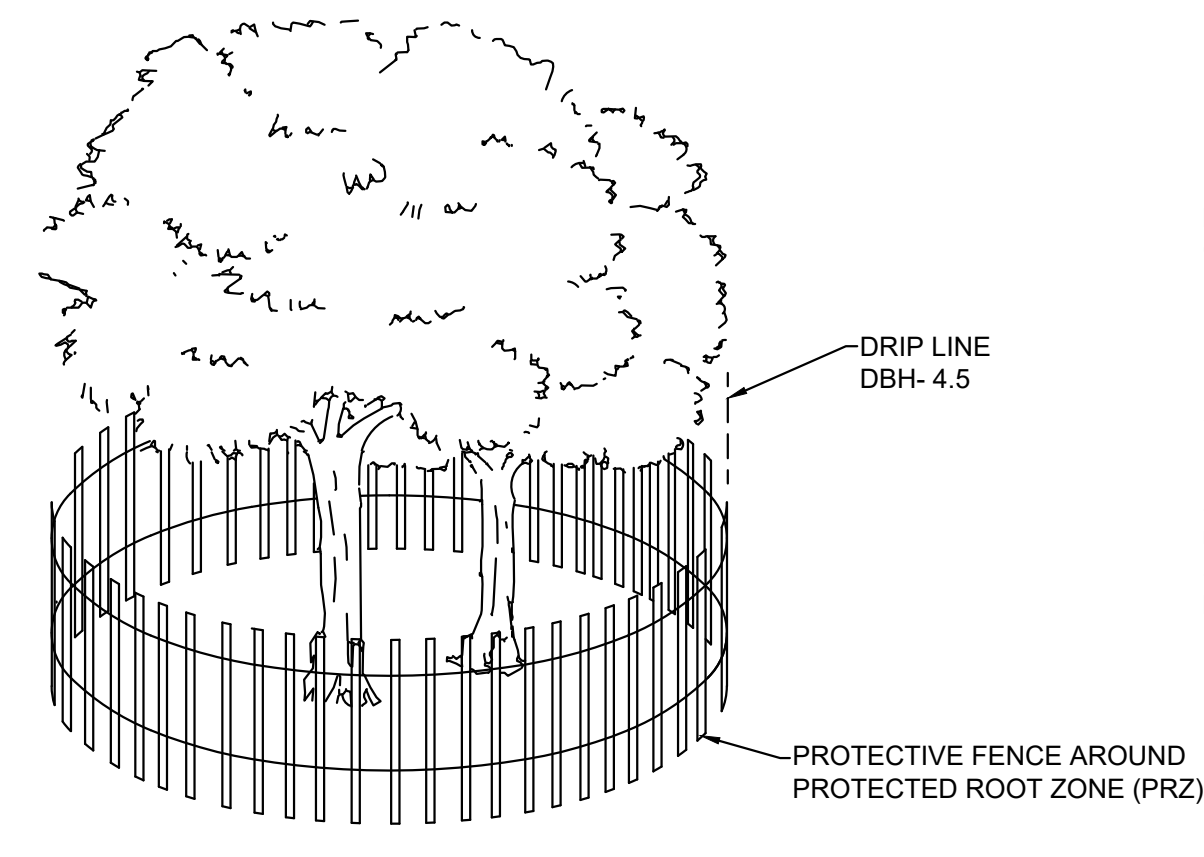
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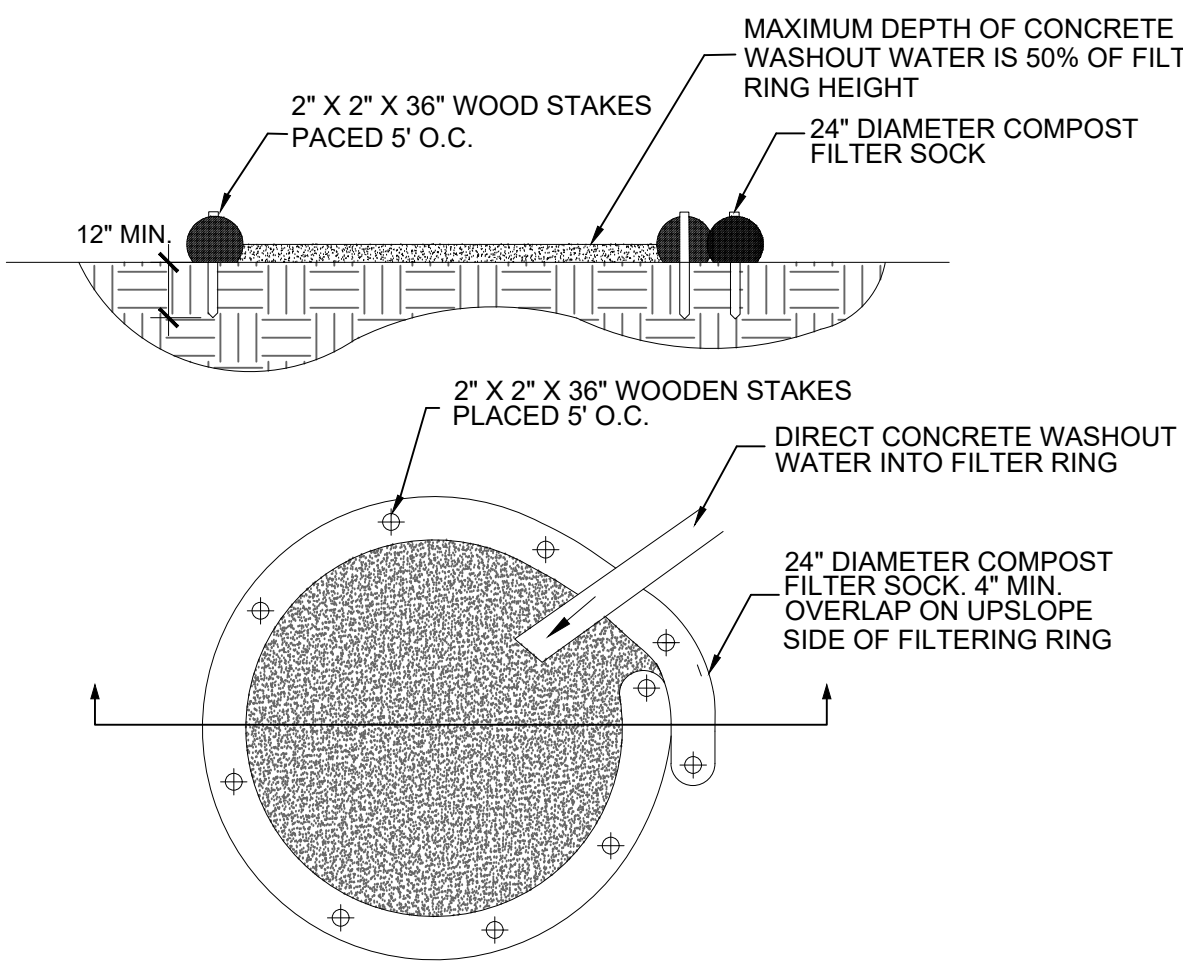
1 SILT FENCE DETAIL



2 TEMPORARY SOIL STOCKPILE DETAIL



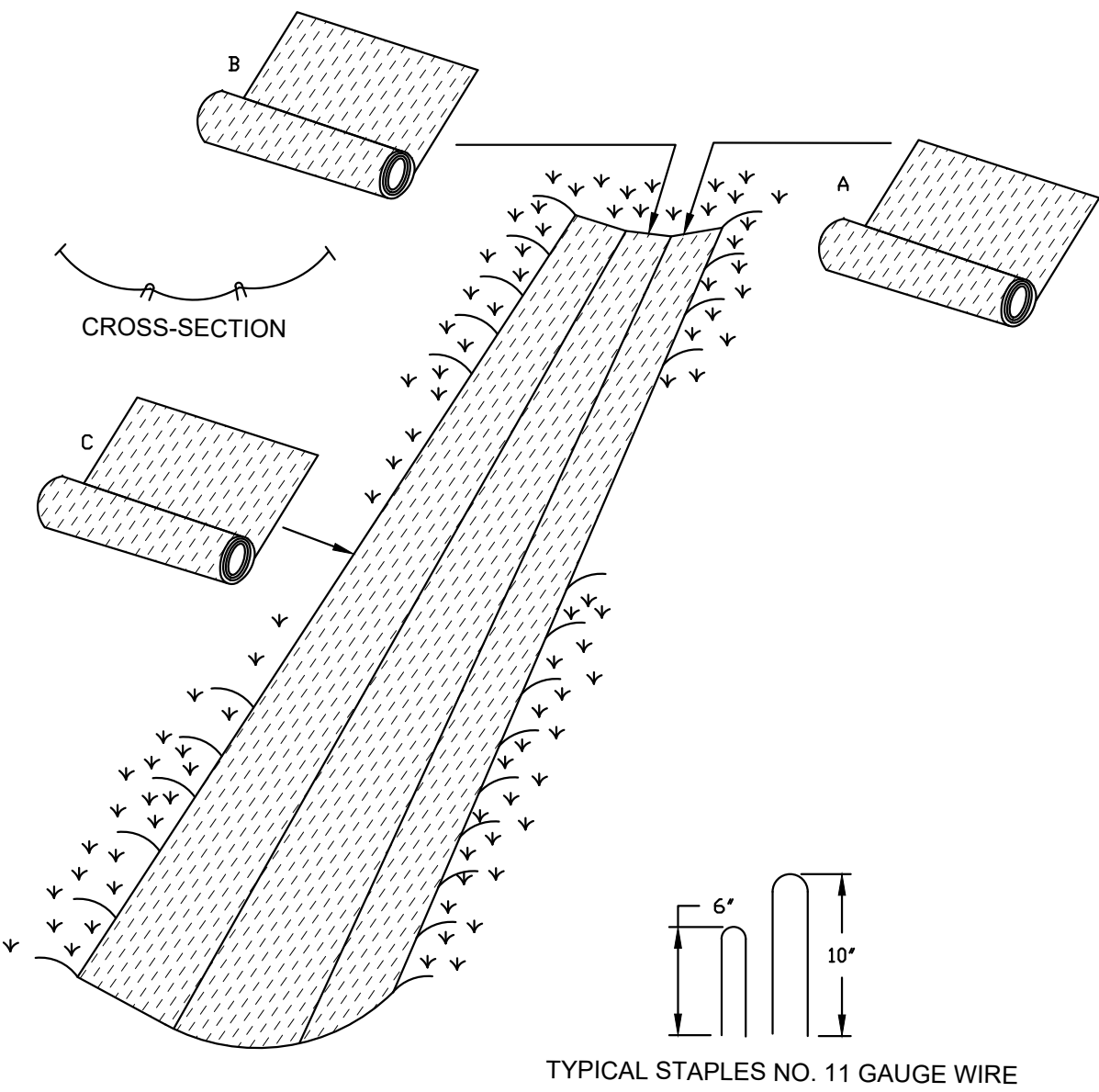
3 TREE PROTECTION DETAIL



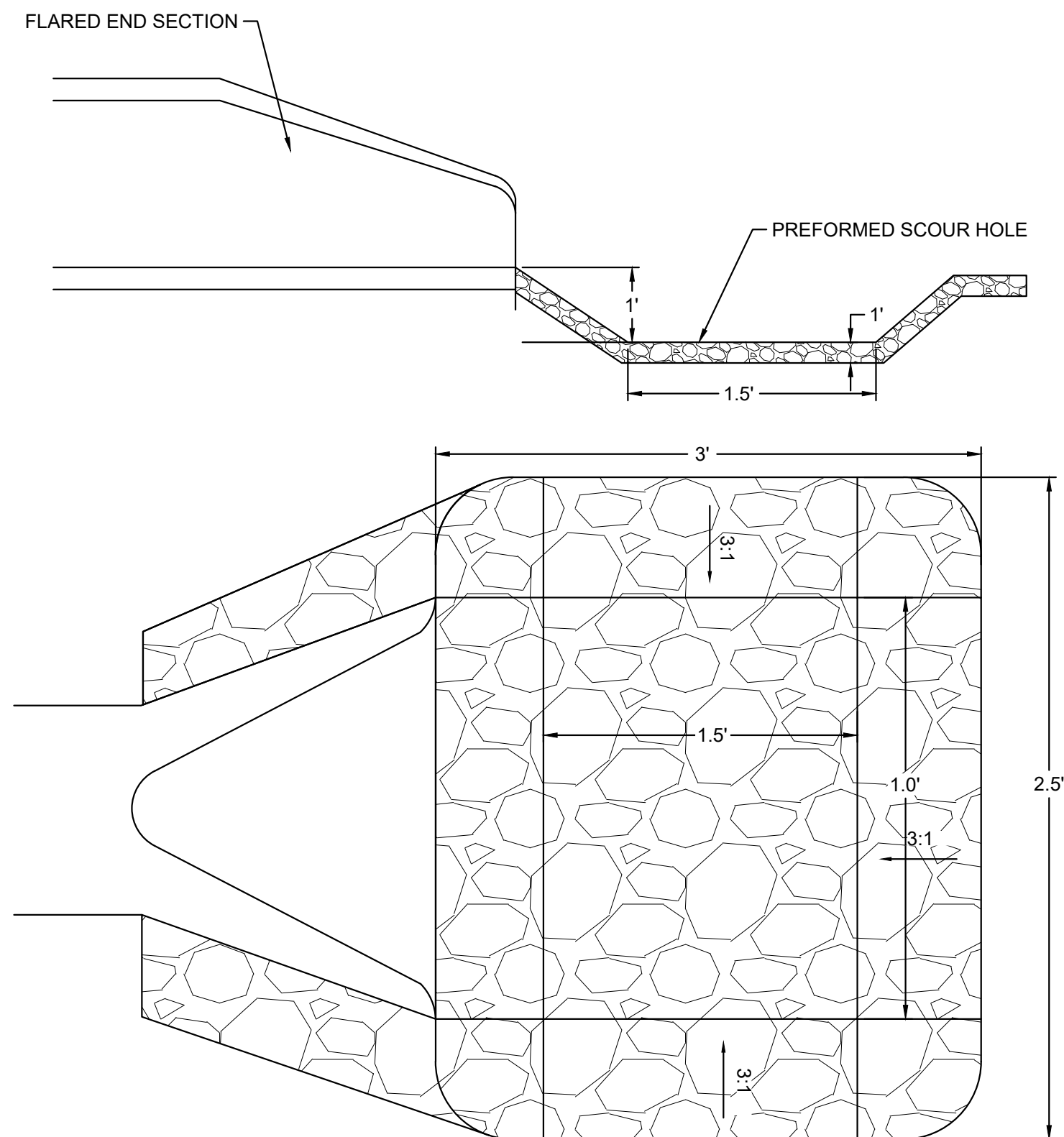
- NOTES
1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
 2. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 3. 18" DIAMETER FILTER SICK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
 4. PROVIDE PROPER SIGNAGE TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
 5. NOT TO BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
 6. MUST BE LOCATED IN A CONVENIENT LOCATION FOR THE TRUCKS BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS.

4 CONCRETE WASHOUT DETAIL

- NOTES
1. KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRNECH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SPACING BETWEEN STAPLES IS 6"
 2. STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES.
 3. BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL.
 4. STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER.
 5. WHEN ONE ROOL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LWOER STRIP BY 4". REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.
 6. THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES.
 7. IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN.



5 EROSION CONTROL MATTING DETAIL

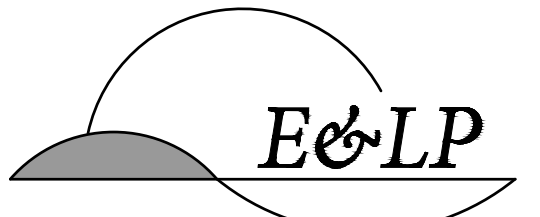


6 SCOUR HOLE DETAIL

ABINGTON INCLUSIVE PLAYGROUND PROJECT



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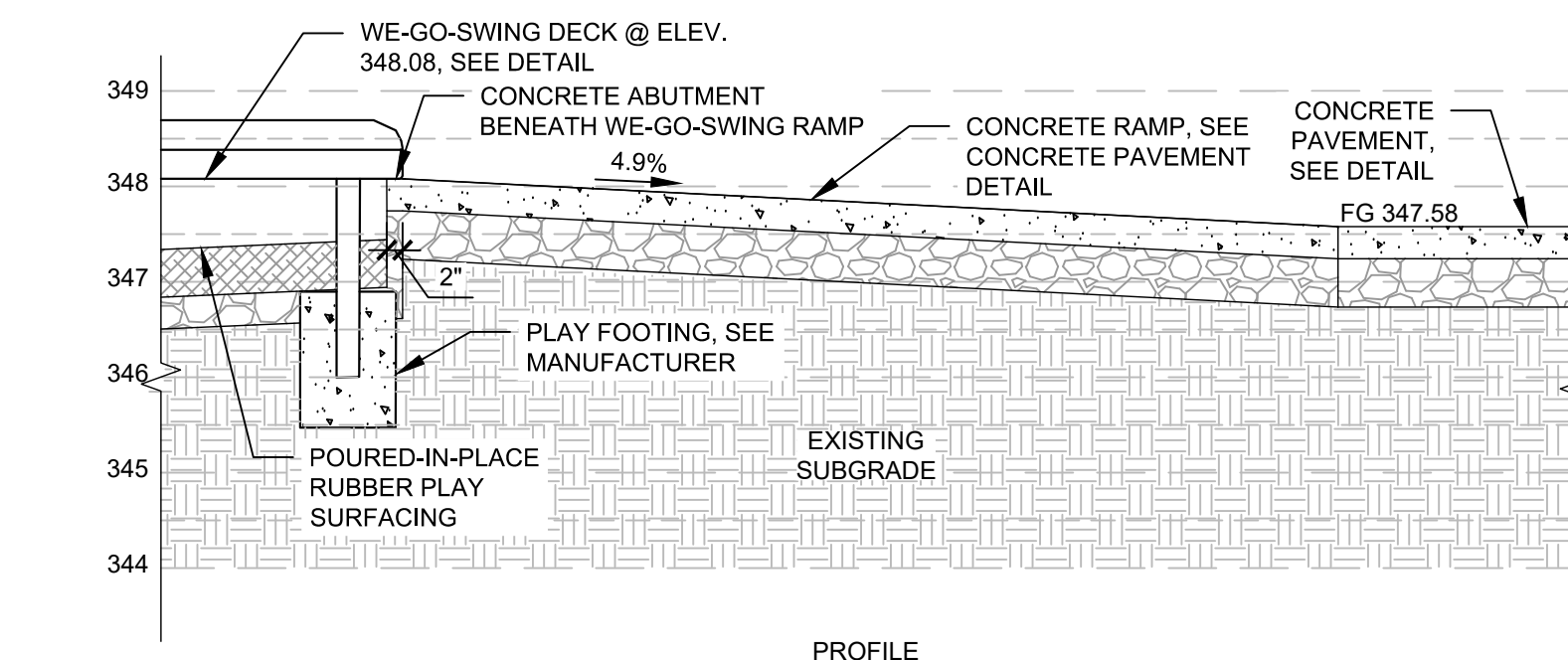
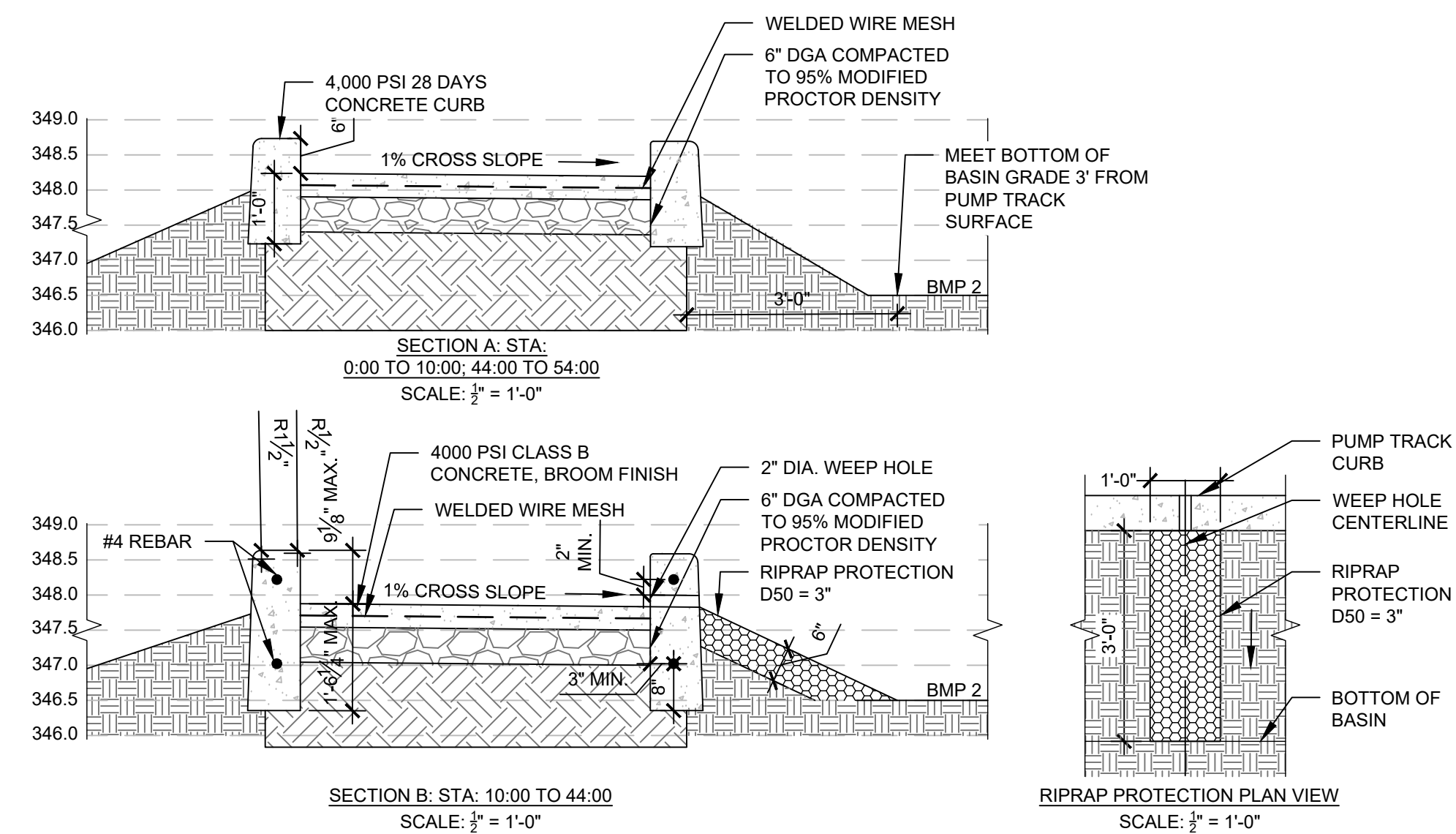
ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
04	100% CONSTRUCTION DOCUMENTS	09/27/2023
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TITLE:		
SESC DETAILS		
JOB NO.:	0222032	DRAWING NO.:
SCALE:	AS SHOWN	C-611
DESIGNED:	MMS	
CHECKED:	EDC	
FILENAME:	C-610 SESC NOTES & DETAILS.DWG	
DATE:	06/02/2023	

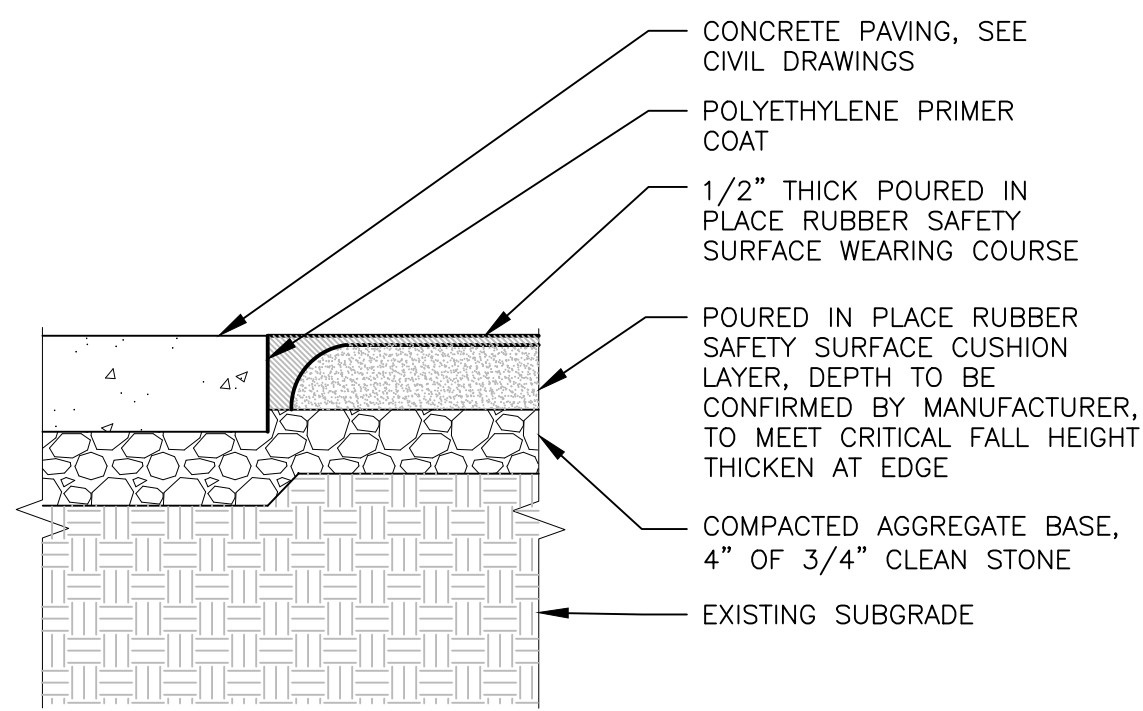
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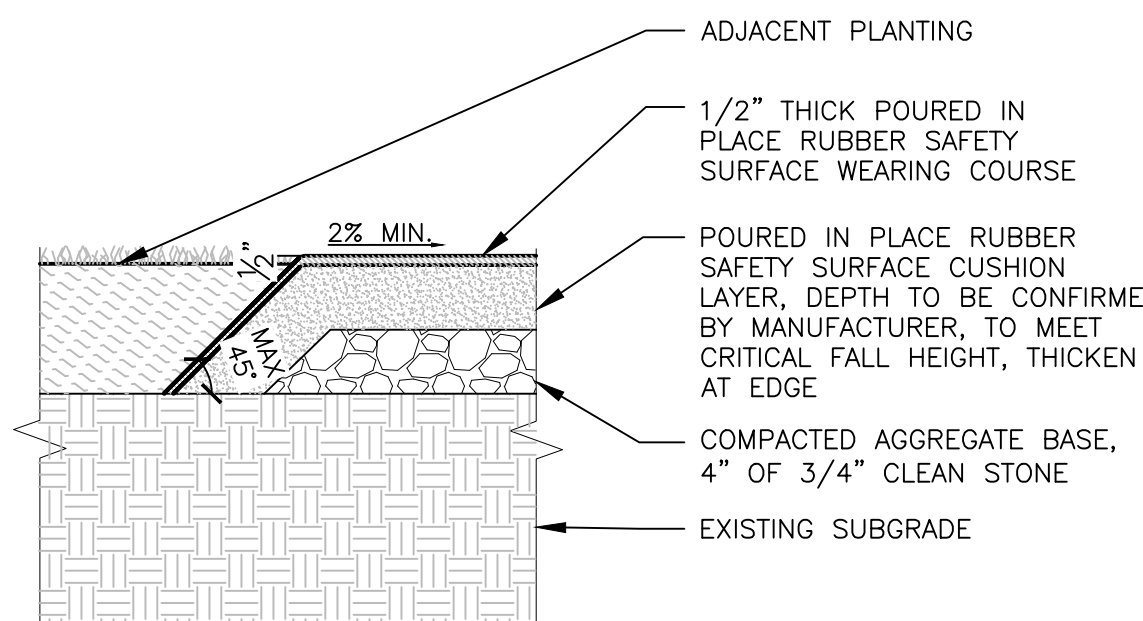
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C-700

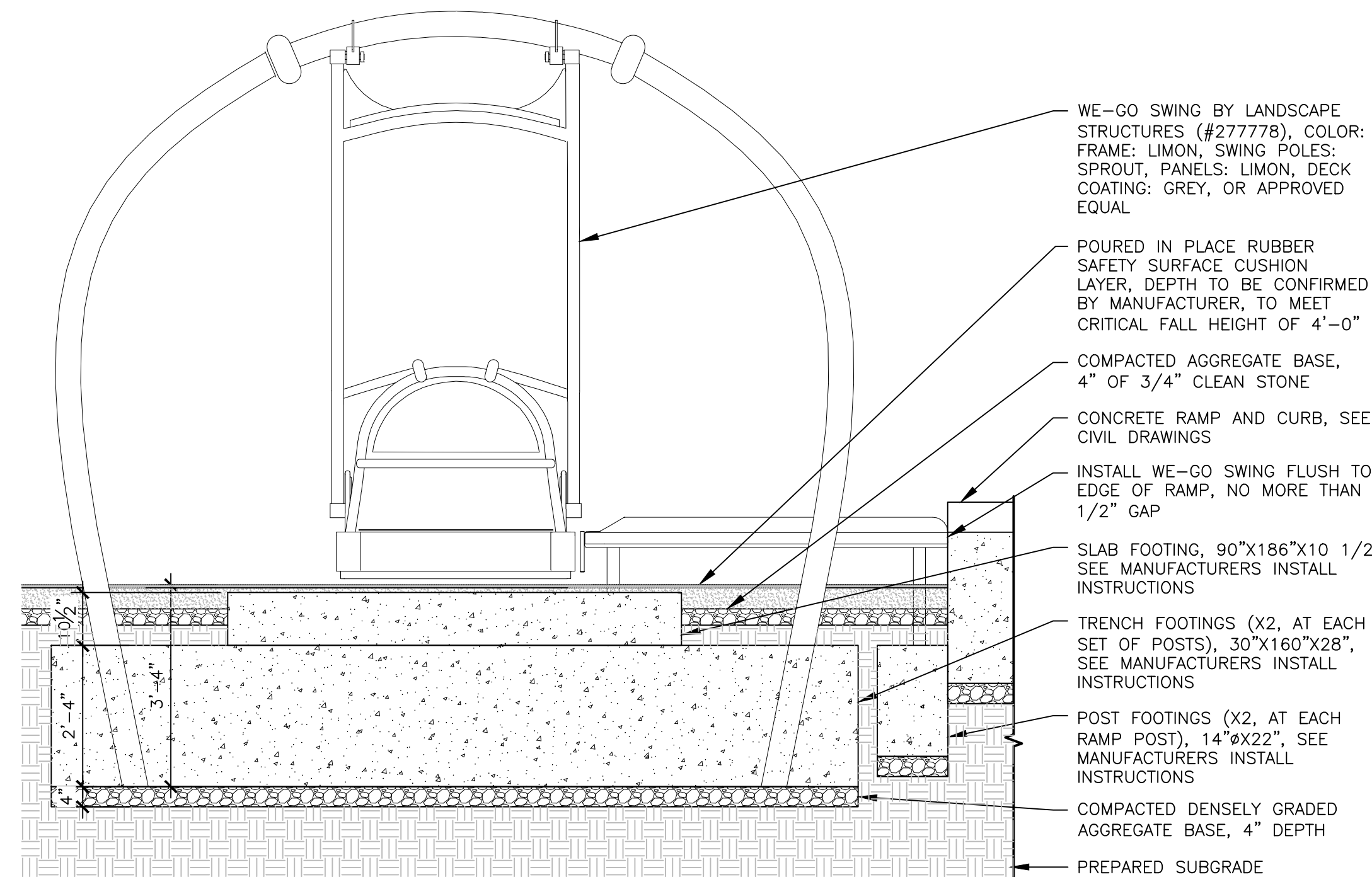
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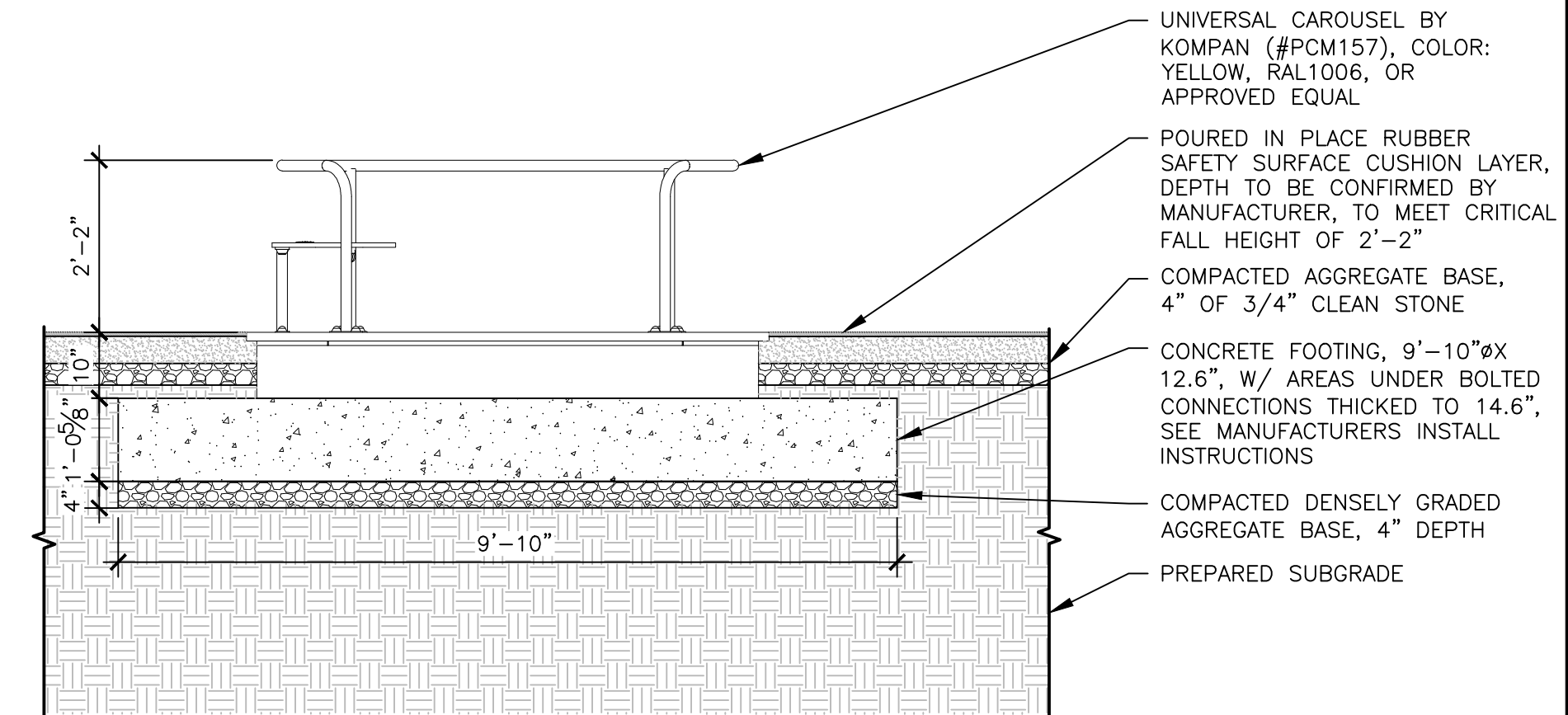
1 | PIP SAFETY SURFACE AT CONCRETE DETAIL
1"=1'-0"



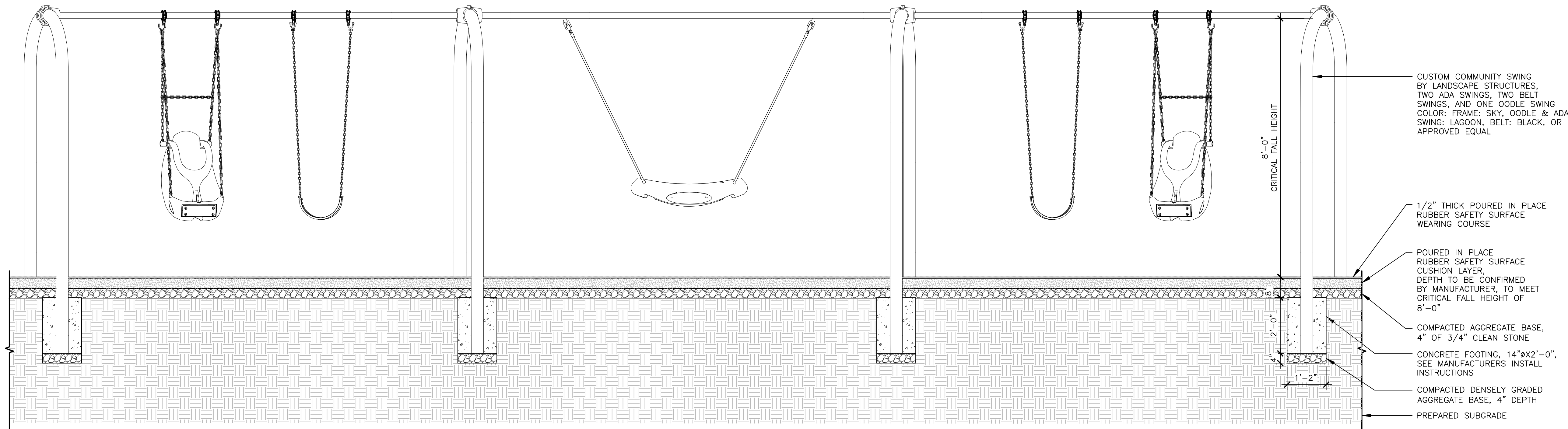
2 | PIP SAFETY SURFACE AT PLANTING DETAIL
1"=1'-0"



3 | WE-GO SWING DETAIL
1/2"=1'-0"



4 | UNIVERSAL CAROUSEL DETAIL
1/2"=1'-0"

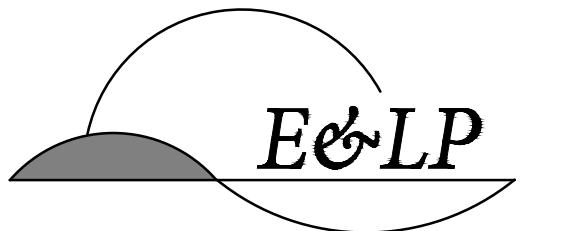


5 | COMMUNITY SWING DETAIL
1/2"=1'-0"

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09/27/2023
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LA003356

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SAS GEOSPATIAL, LLC
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ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

03	100% CONSTRUCTION DOCUMENTS	09/27/23
02	50% CONSTRUCTION DOCUMENTS	08/30/23
01	100% DESIGN DEVELOPMENT	06/02/23
NO.	ISSUANCE	DATE

TITLE: PLAY DETAILS		
JOB NO.:	DRAWING NO.:	
SCALE:	VARIES	
DESIGNED:	MT	
CHECKED:	MT	
FILENAME:	ABINGTON_SHEETS.DWG	
DATE:	09/27/23	

PL-101




MEGHAN TALAROWSKI
LA003356

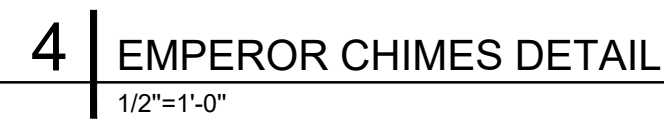
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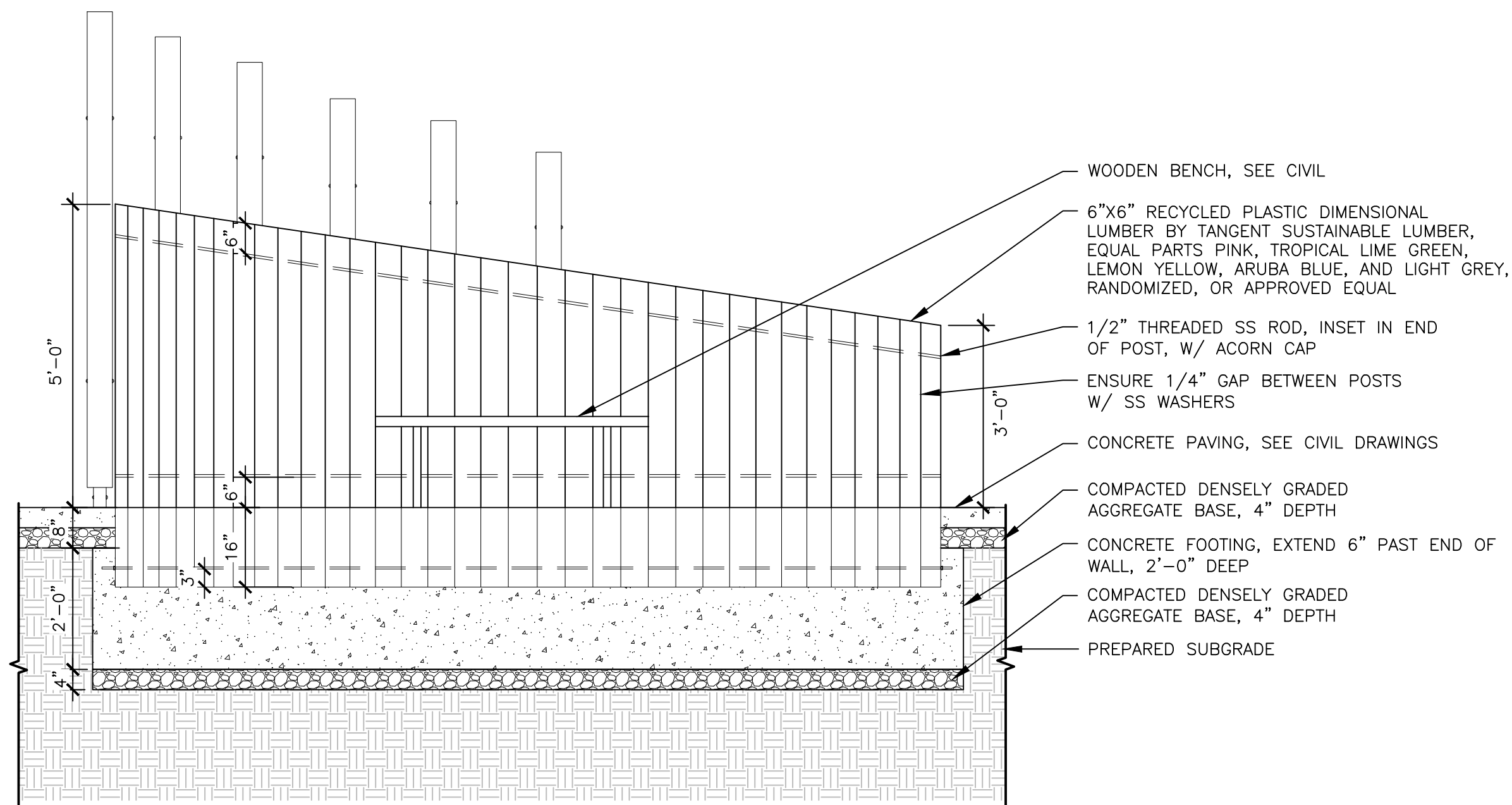


SAS
Geospatial, LLC

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

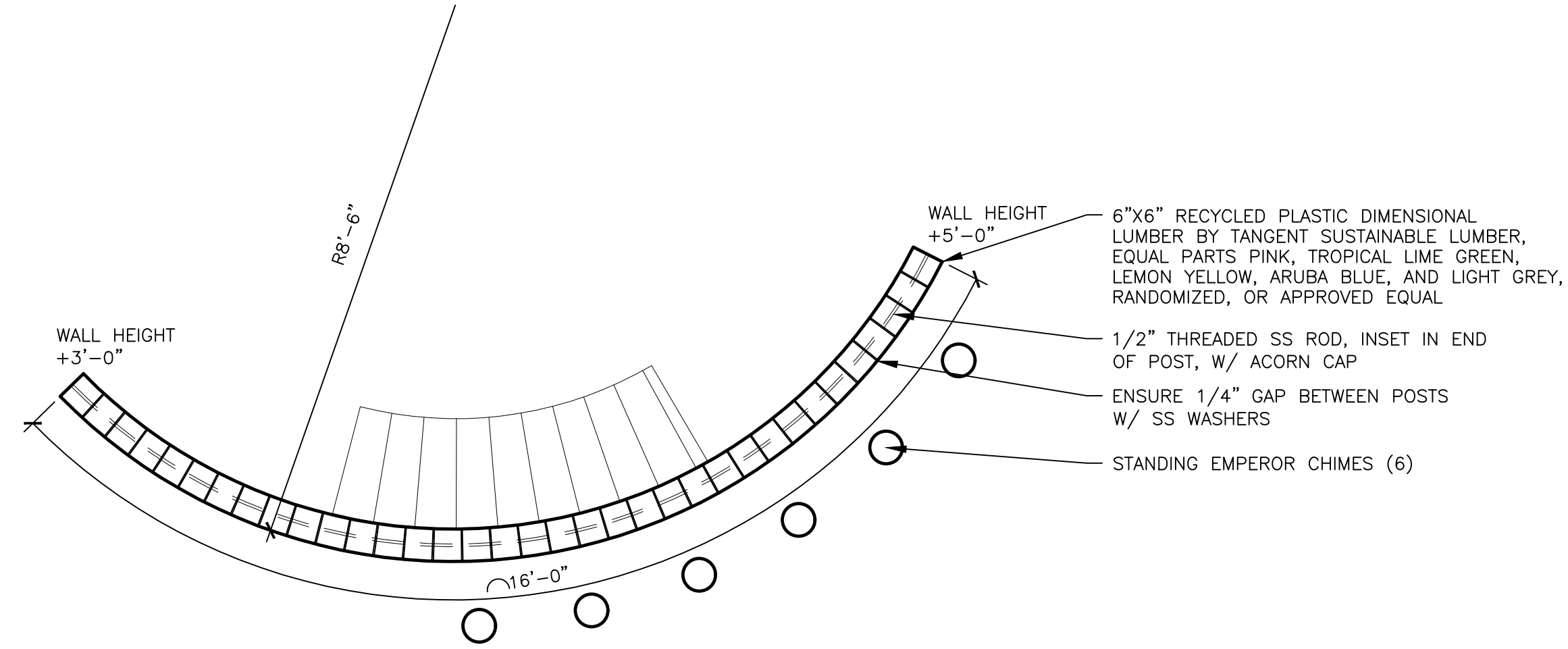
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DESIGNED: MT	
CHECKED: MT	
FILENAME: ABINGTON_SHEETS.DWG	
DATE: 09/27/23	





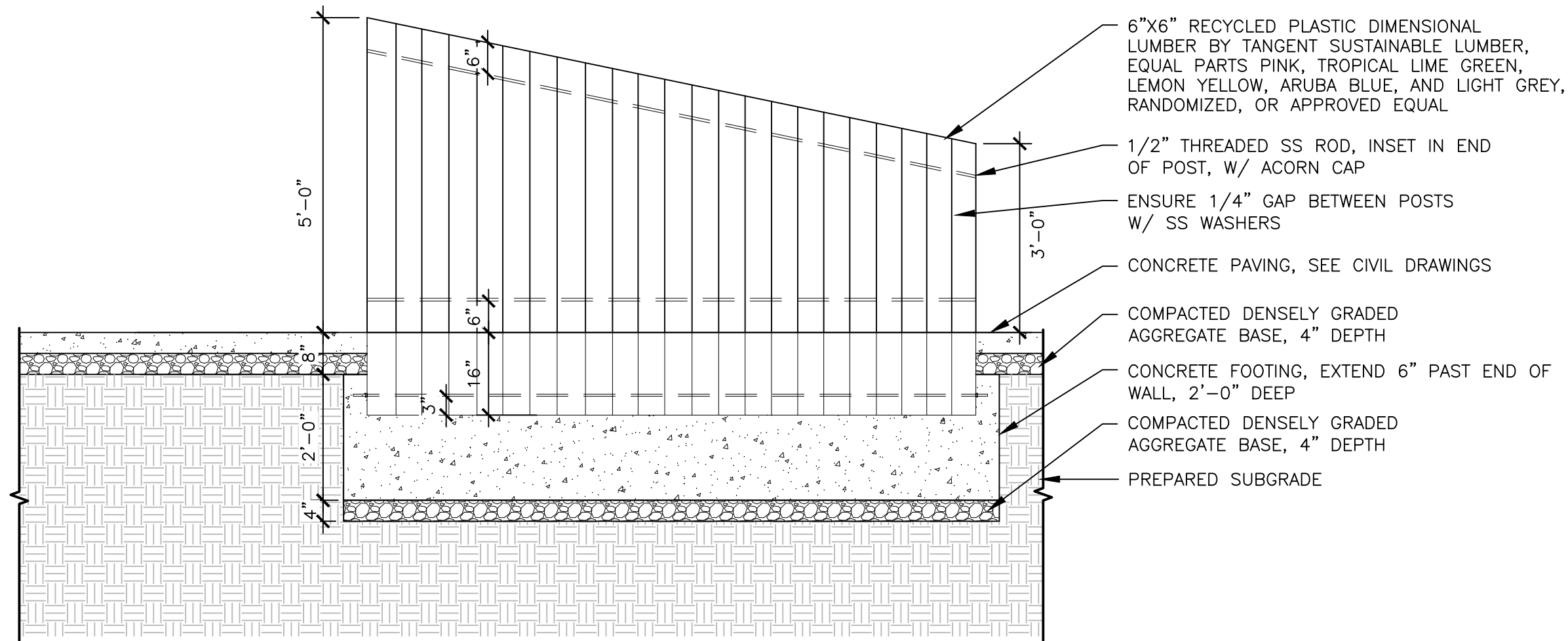
1 MAZE WALL ONE ELEVATION

1/2"=1'-0"



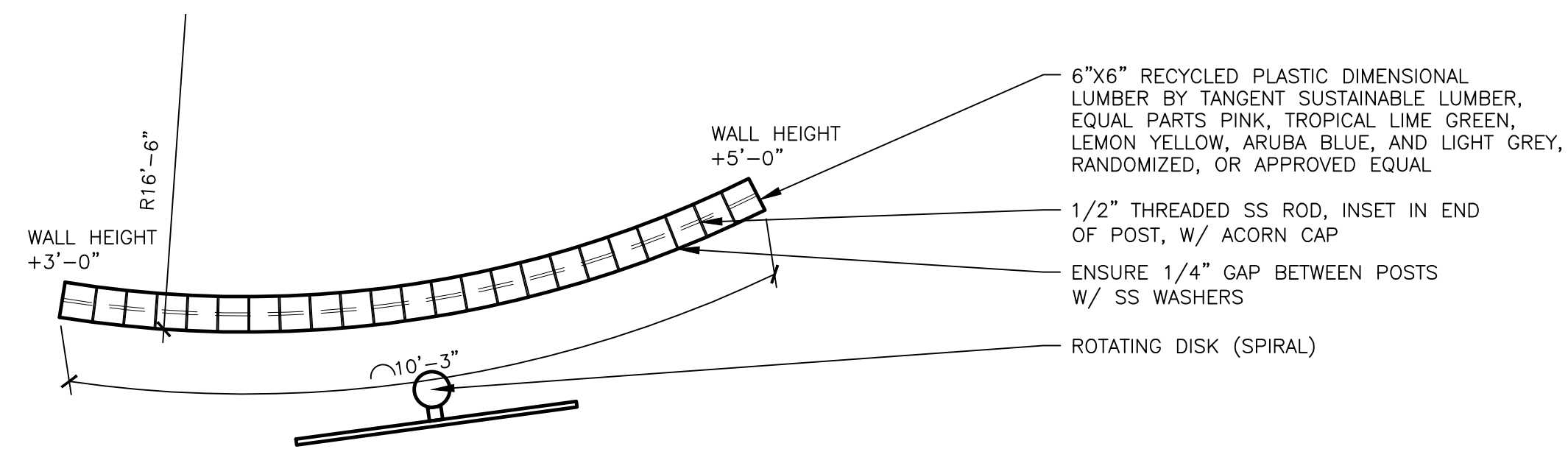
2 MAZE WALL ONE PLAN

1/2"=1'-0"



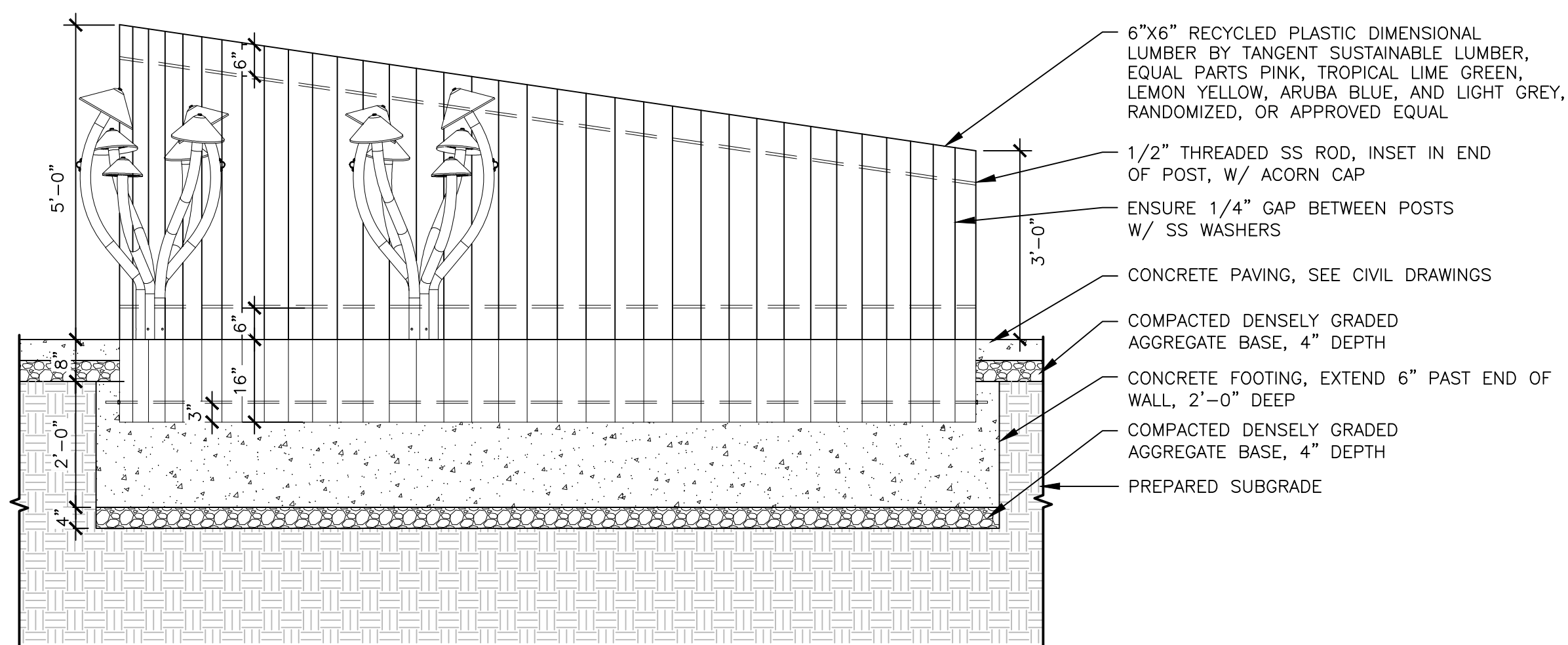
3 MAZE WALL TWO ELEVATION

1/2"=1'-0"



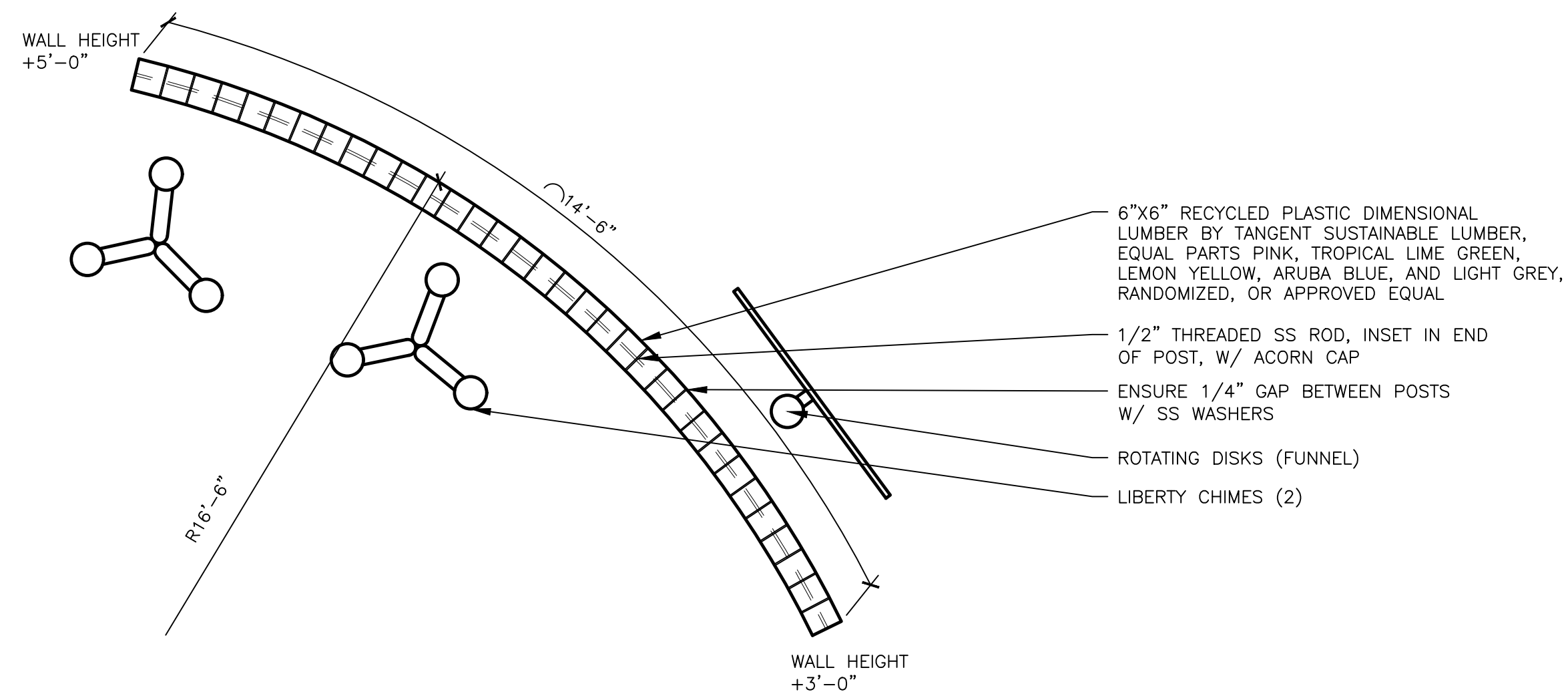
4 MAZE WALL TWO PLAN

1/2"=1'-0"



5 MAZE WALL THREE ELEVATION

1/2"=1'-0"



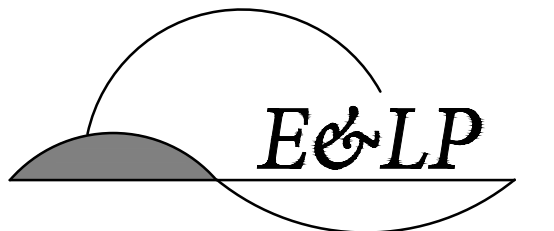
6 MAZE WALL THREE PLAN

1/2"=1'-0"

ABINGTON INCLUSIVE PLAYGROUND PROJECT



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09/27/2023
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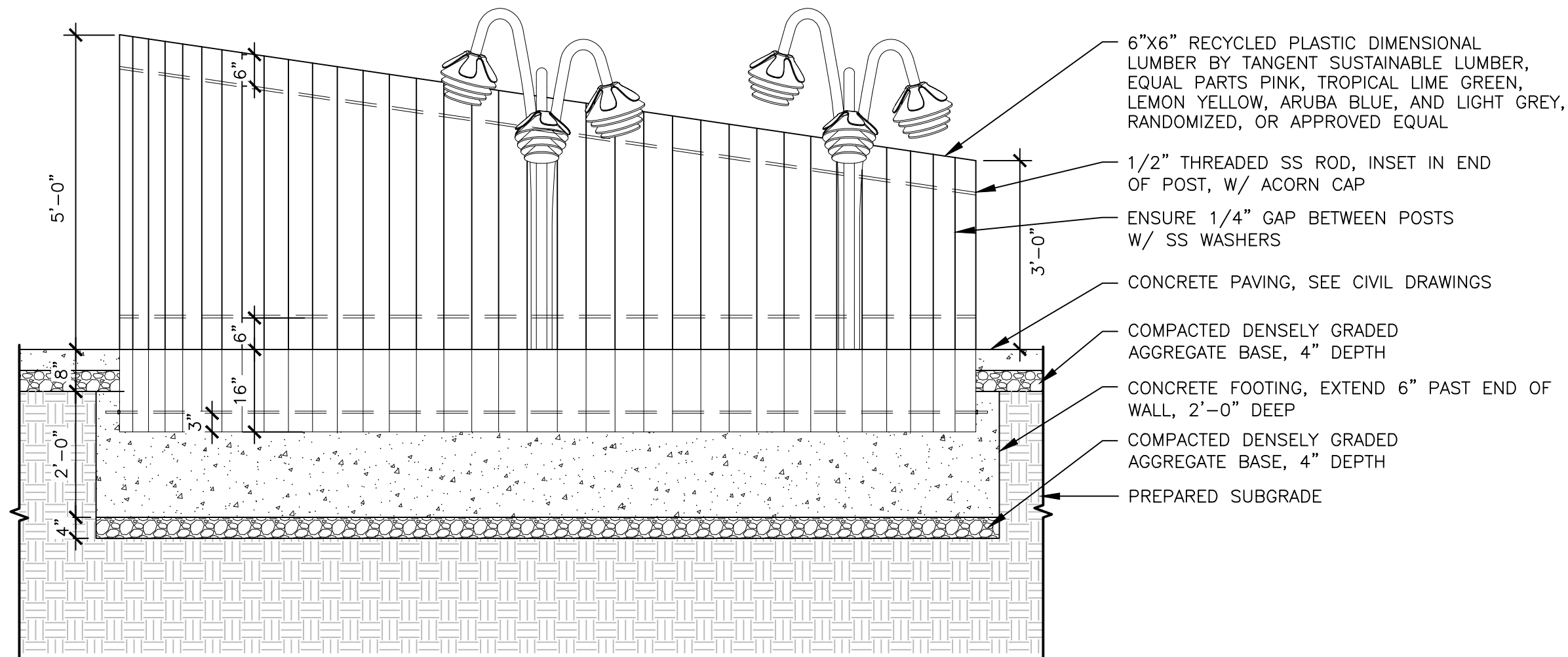
ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

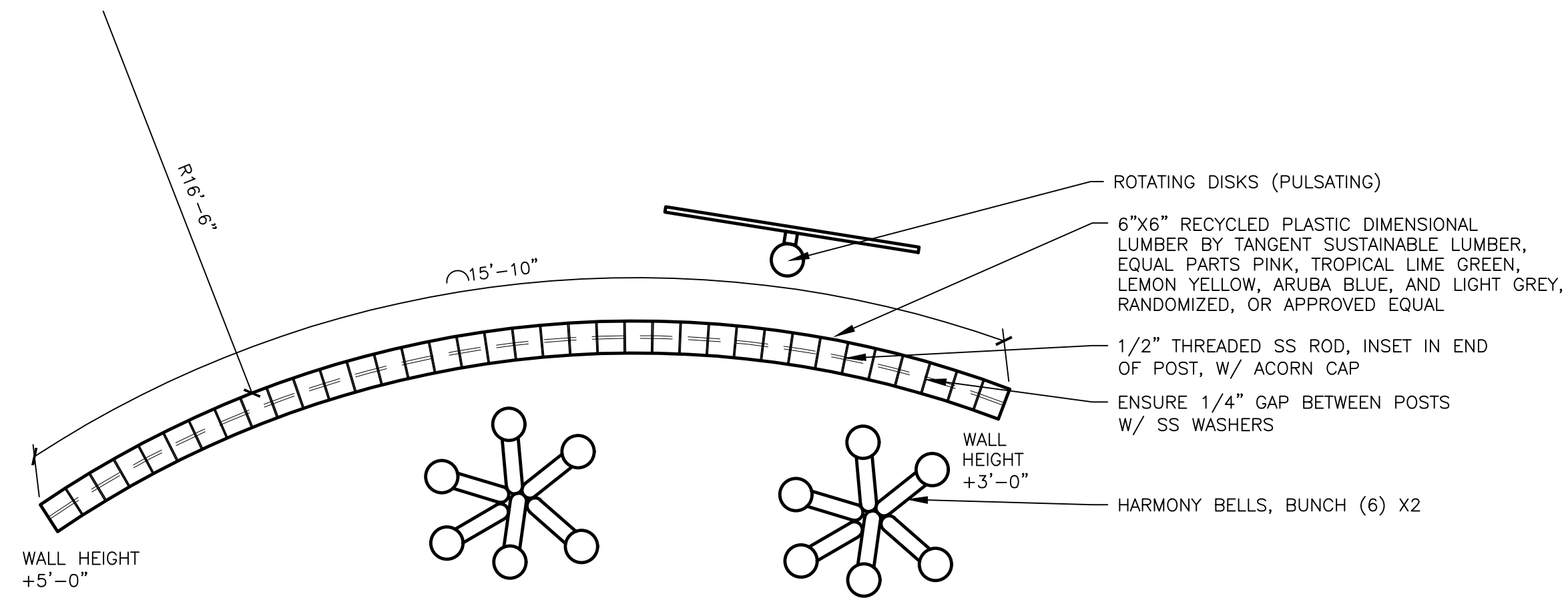
03	100% CONSTRUCTION DOCUMENTS	09/27/23
02	50% CONSTRUCTION DOCUMENTS	08/30/23
01	100% DESIGN DEVELOPMENT	06/02/23
NO.	ISSUANCE	DATE

TITLE: MAZE WALL DETAILS		
JOB NO.:	DRAWING NO.:	
SCALE:	1/2" = 1'-0"	
DESIGNED:	MT	
CHECKED:	MT	
FILENAME:	ABINGTON_SHEETS.DWG	
DATE:	09/27/23	

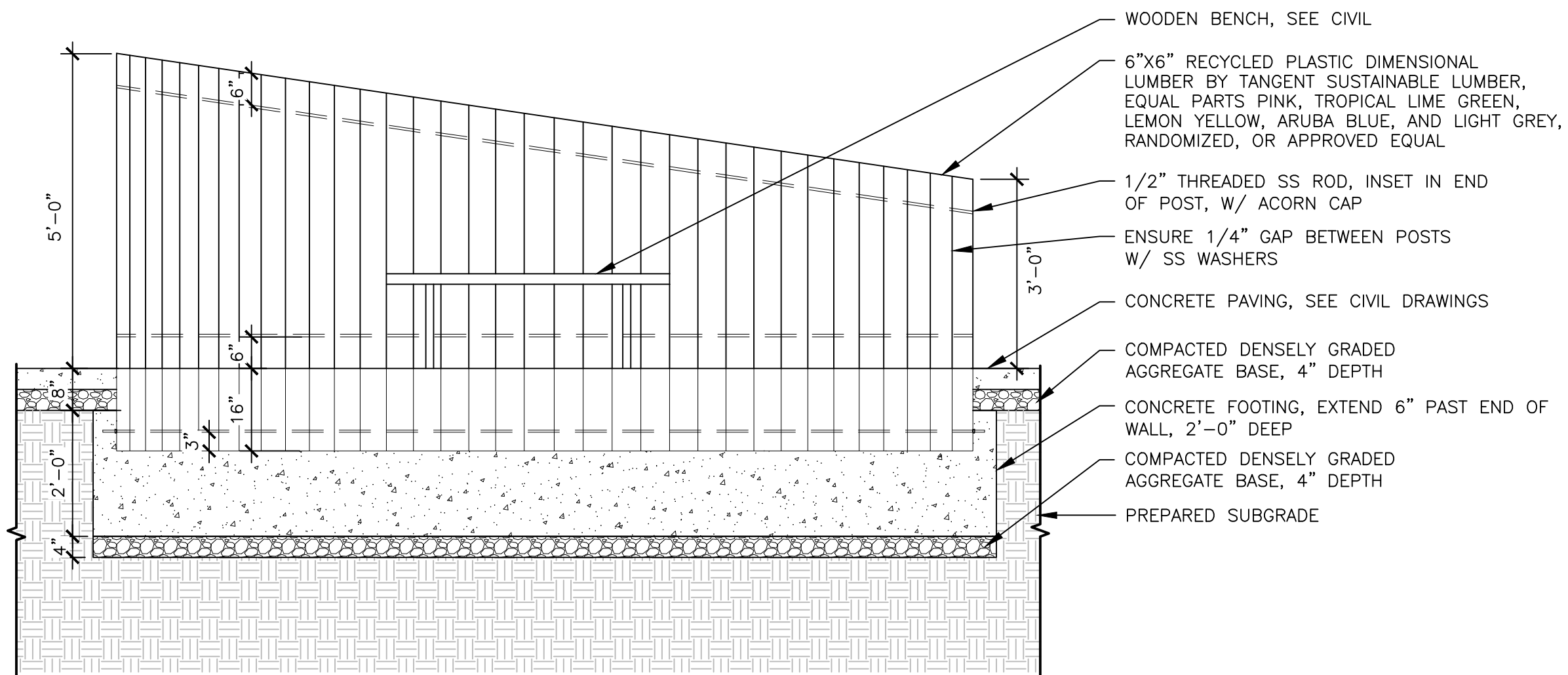
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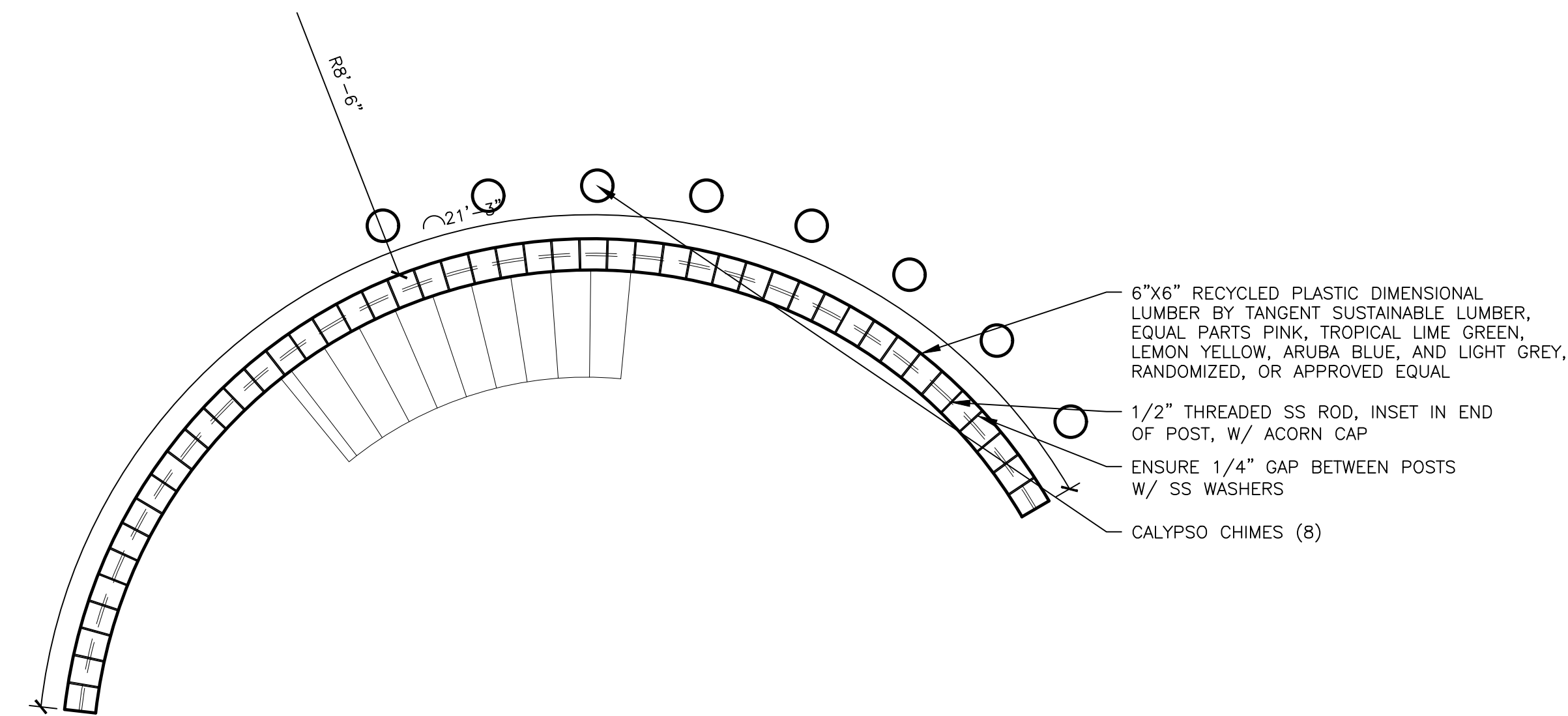
1 MAZE WALL FOUR ELEVATION
1/2"=1'-0"



2 MAZE WALL FOUR PLAN
1/2"=1'-0"



3 MAZE WALL FIVE ELEVATION
1/2"=1'-0"

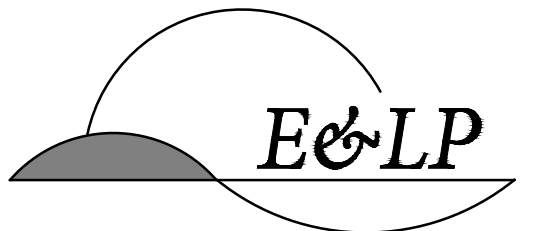


4 MAZE WALL FIVE PLAN
1/2"=1'-0"

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ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
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MONTGOMERY COUNTY, PA

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MAZE WALL DETAILS		
JOB NO.:	DRAWING NO.:	
SCALE:	1/4" = 1'-0"	
DESIGNED:	MT	
CHECKED:	MT	
FILENAME:	ABINGTON_SHEETS.DWG	
DATE:	09/27/23	

PL-104



- 84" TALL TUNNEL SLIDE BY LITTLE TIKES
COMMERCIAL (#200006984), COLOR: YELLOW,
OR APPROVED EQUAL

— CONCRETE FOOTING, 4'X4'X2', TYP. OF ALL,
SEE MANUFACTURERS INSTALL INSTRUCTIONS

9. AN APPROVED EQUAL TO WHOLE TREES IS ALLOWABLE, PROVIDED THE VENDOR AND PRODUCTS ARE MATERIALLY SIMILAR AND OF THE QUALITY DEFINED IN THE SPECIFICATION SECTION 116813

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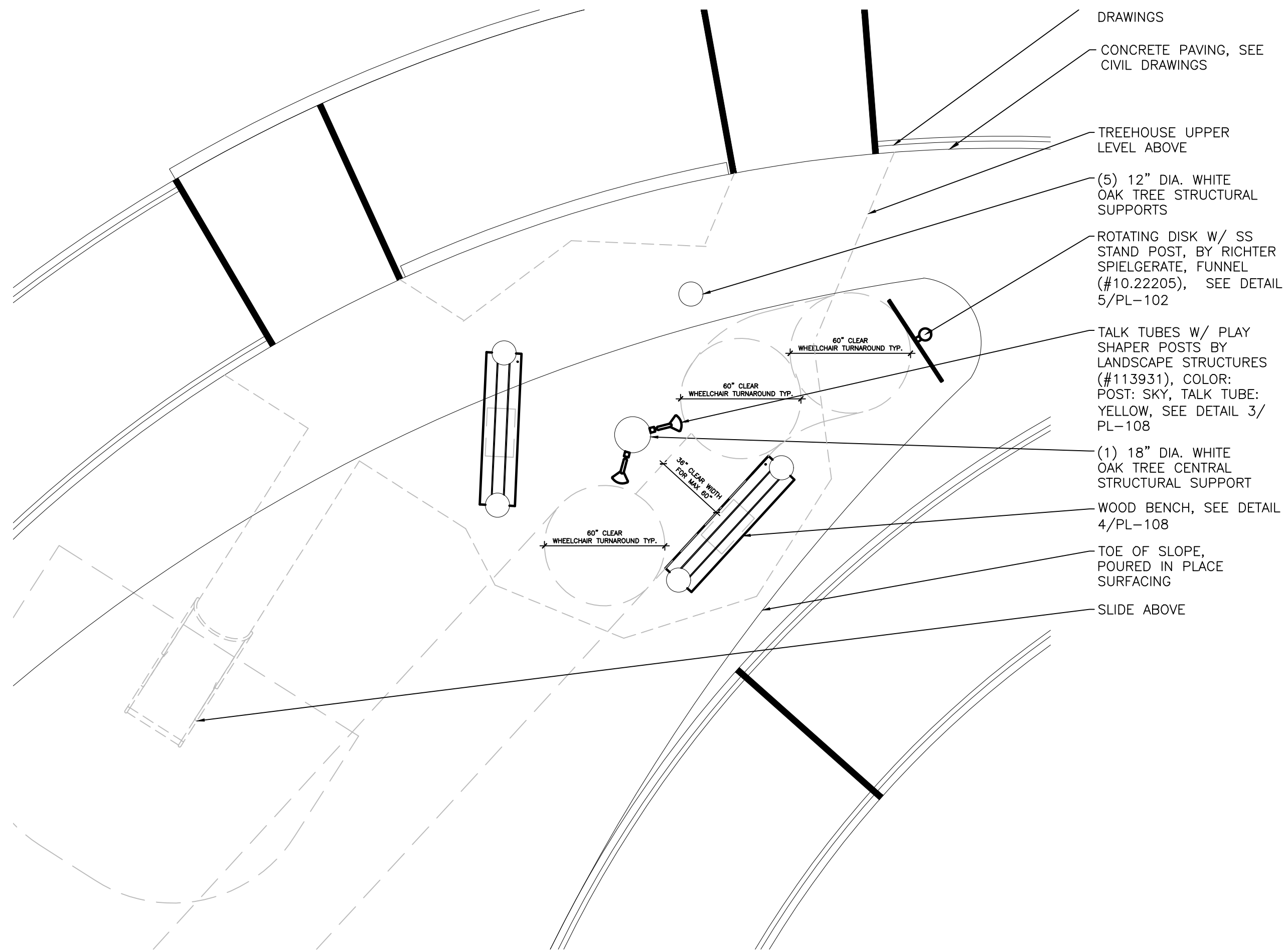
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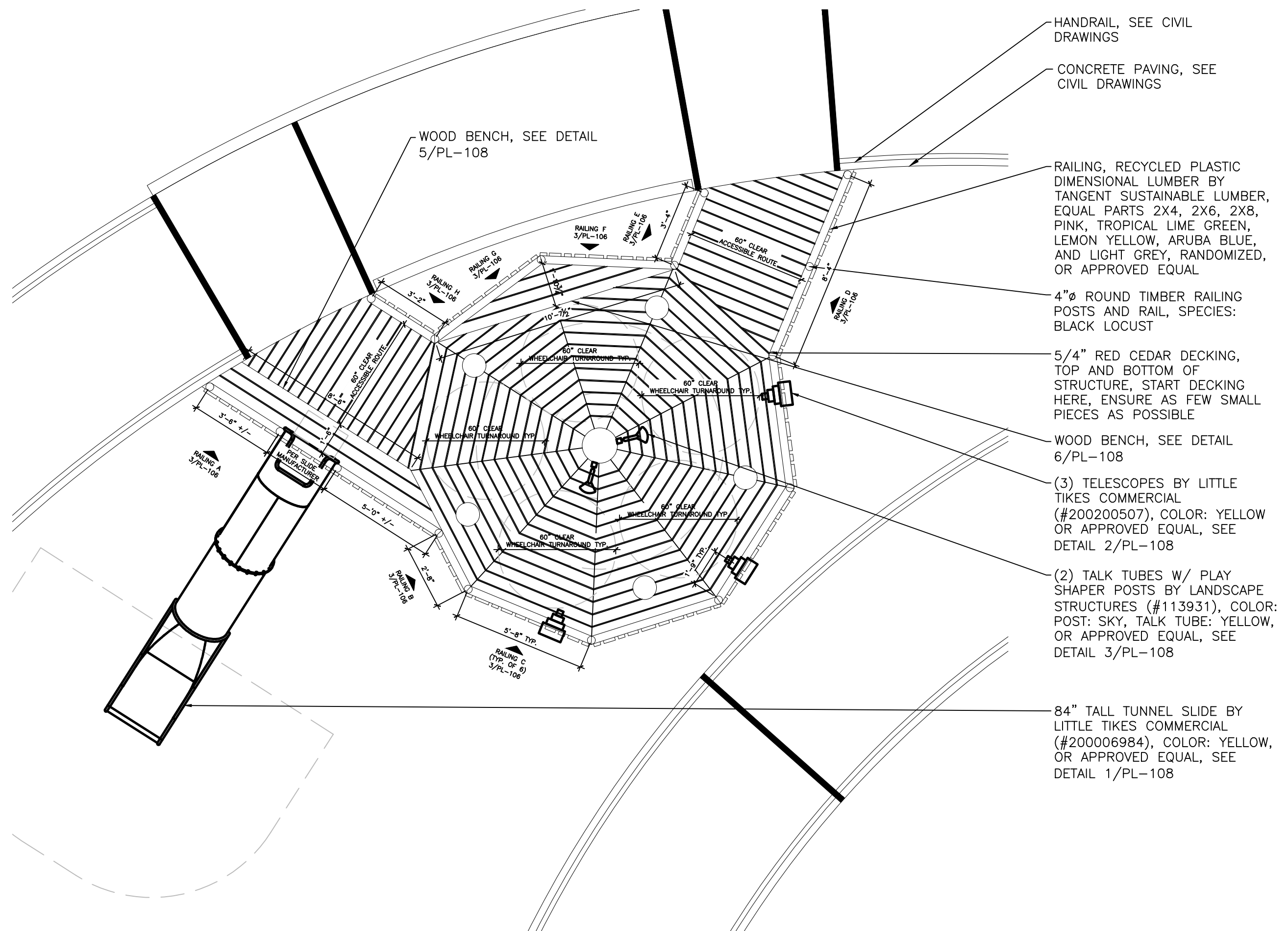
ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

JOB NO.:		DRAWING NO.:
SCALE:	1/2" = 1'-0"	
DESIGNED:	MT	
CHECKED:	MT	
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DATE:	09/27/23	PL-1

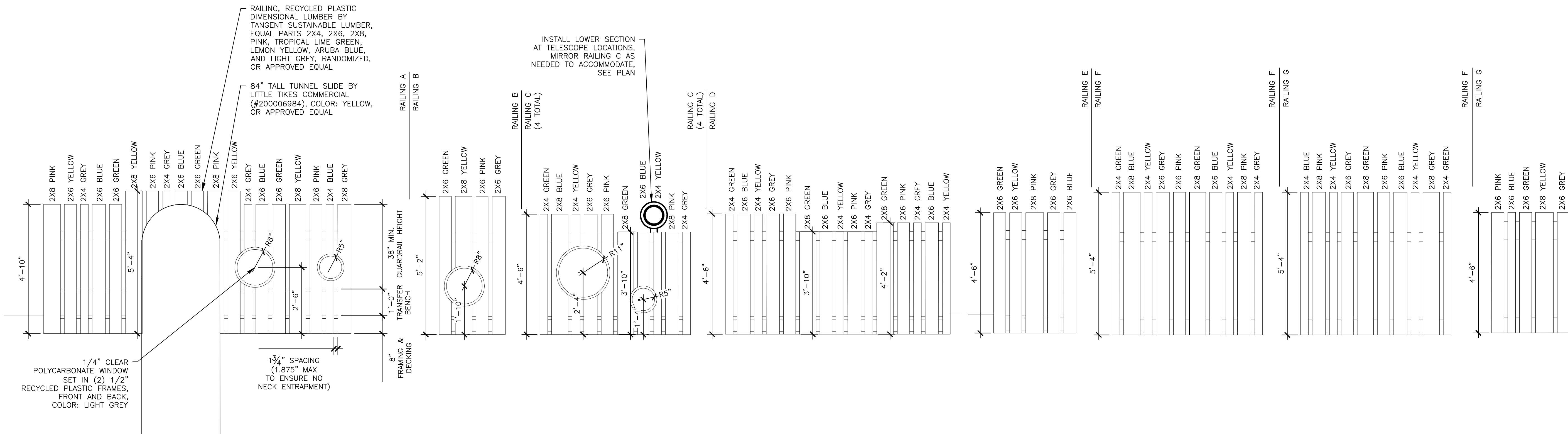
PL-105



1 TREEHOUSE LOWER LEVEL PLAN
1/4"=1'-0"



2 TREEHOUSE UPPER LEVEL PLAN
1/4"=1'-0"

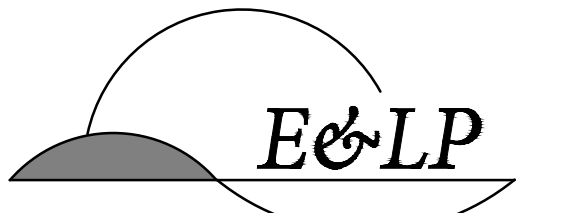


3 TREEHOUSE RAILING DETAILS
1/2"=1'-0"

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ABINGTON INCLUSIVE
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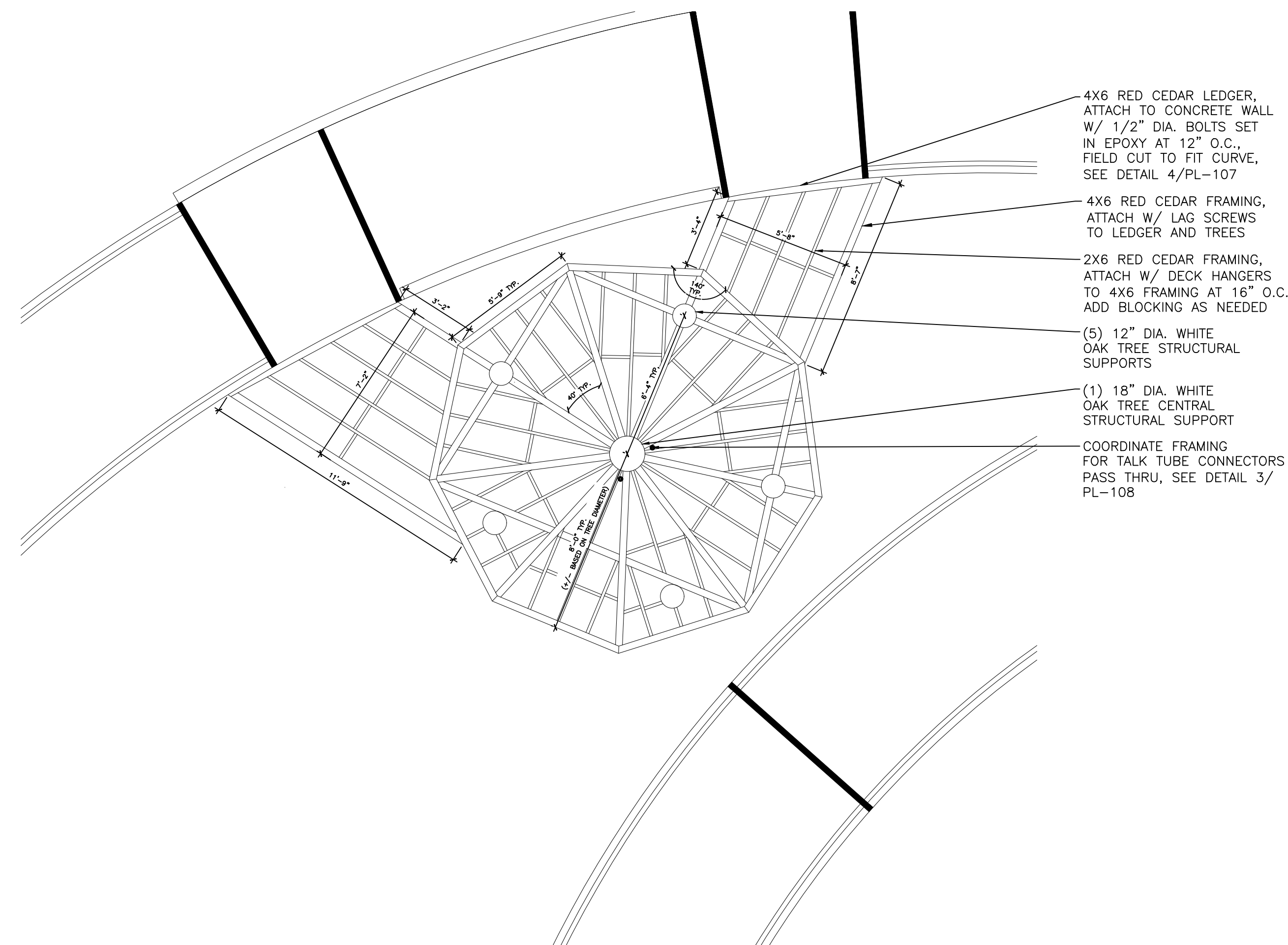
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MONTGOMERY COUNTY, PA

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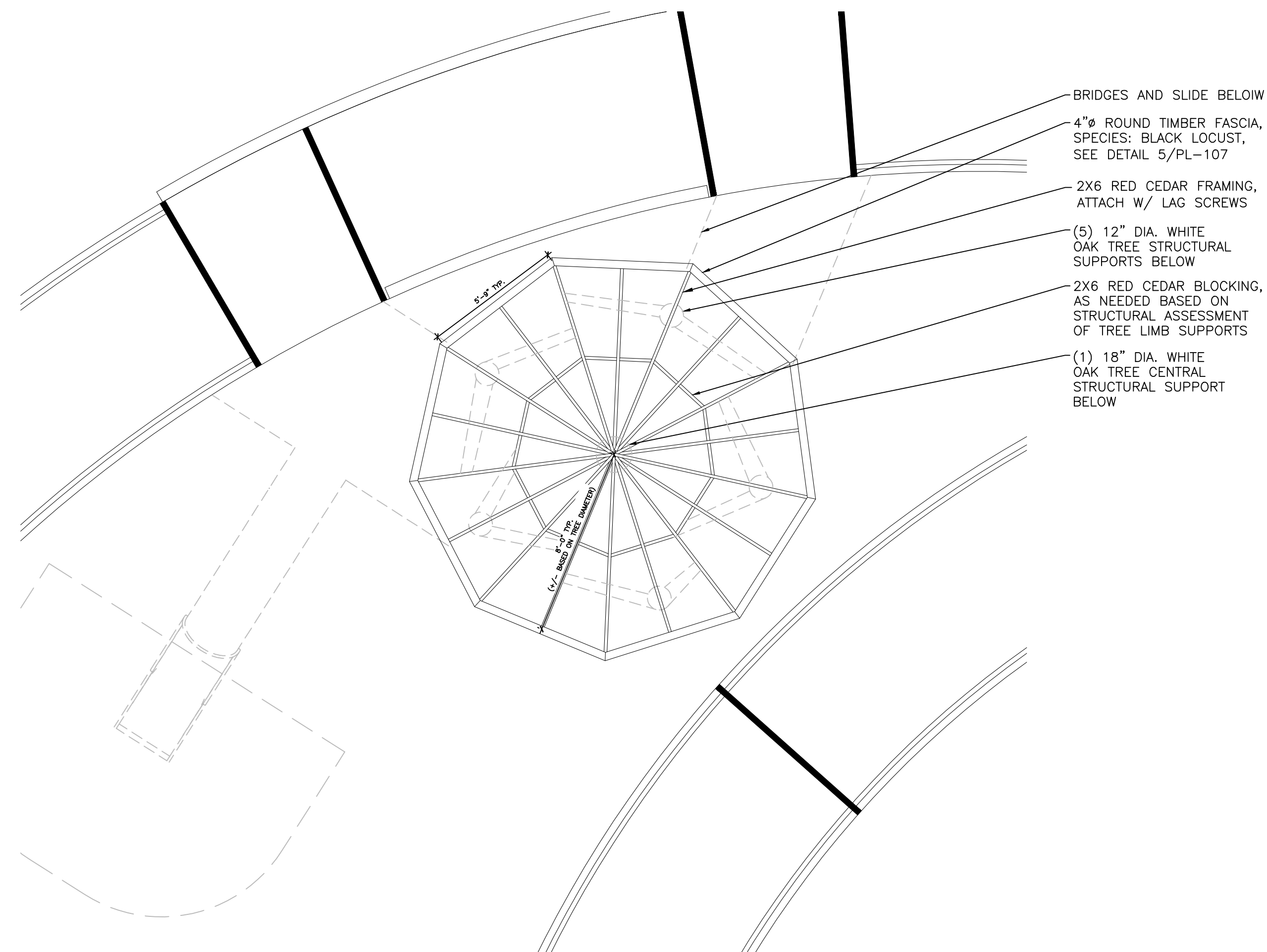
NO.	ISSUANCE	DATE
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TREEHOUSE DETAILS

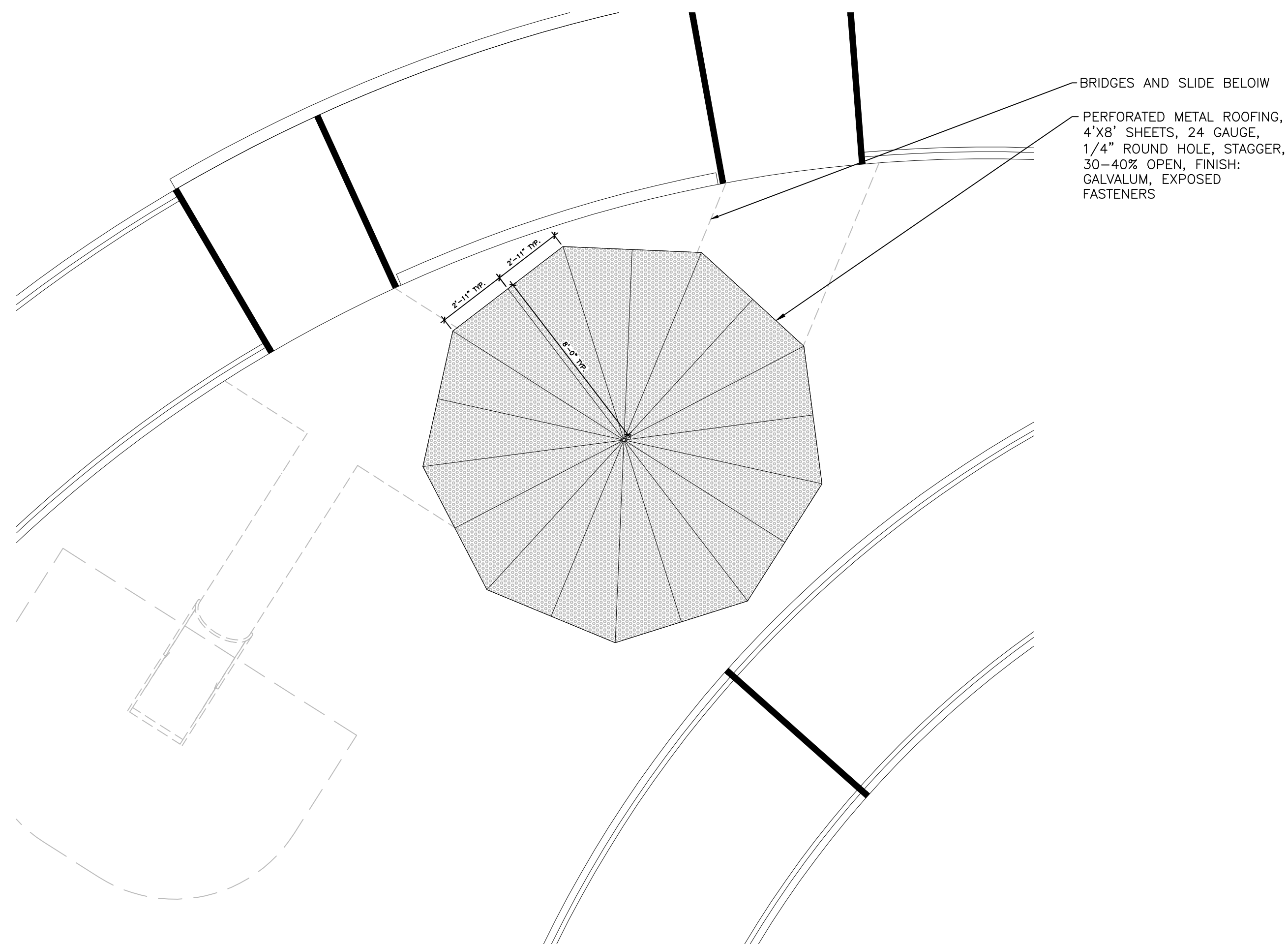
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SCALE: VARIES	PL-106
DESIGNED: MT	
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FILENAME: ABINGTON_SHEETS.DWG	
DATE: 09/27/23	



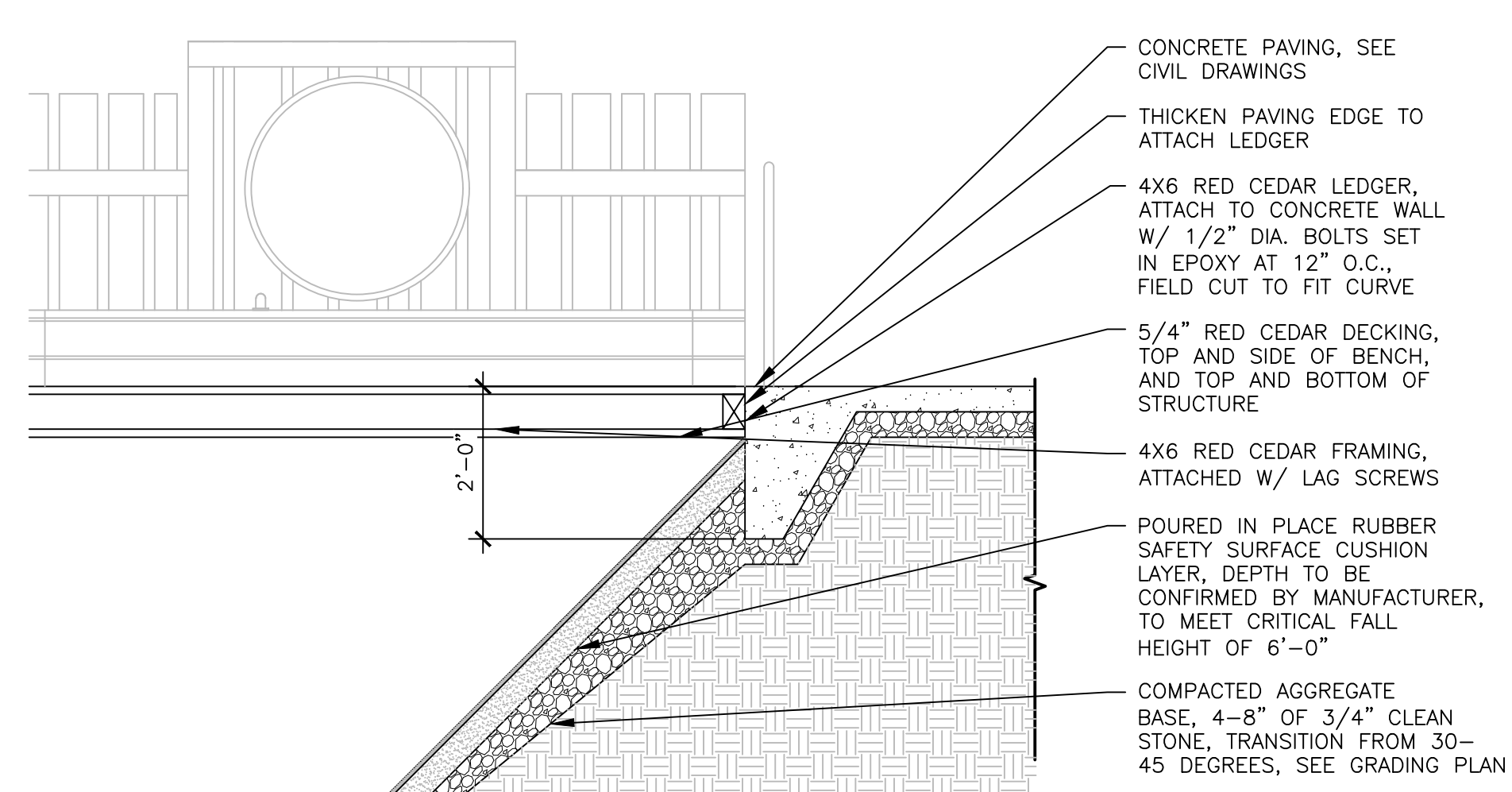
1 TREEHOUSE UPPER LEVEL FRAMING PLAN
1/4"=1'-0"



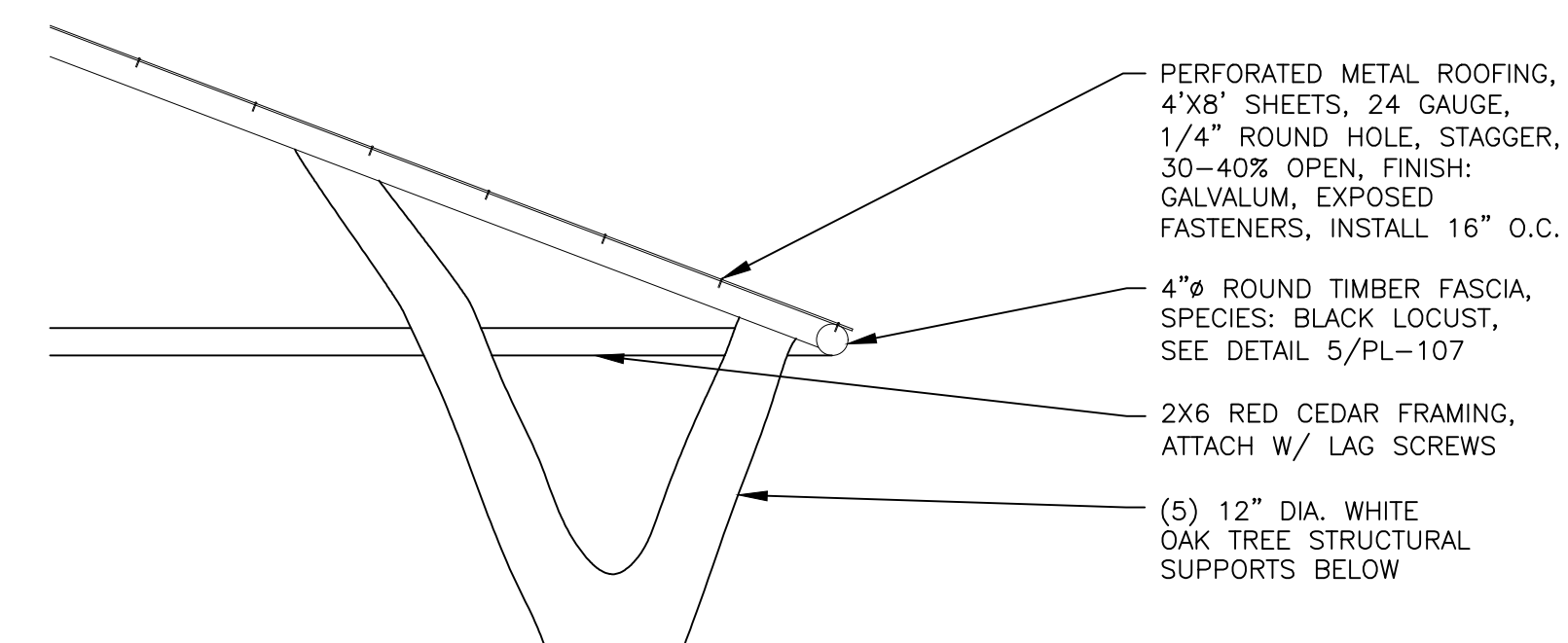
2 | TREEHOUSE ROOF FRAMING PLAN



3 TREEHOUSE ROOFING PLAN



4 | LEDGER DETAIL

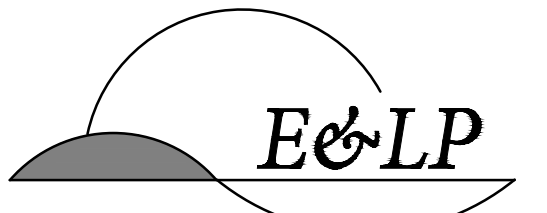


5 | ROOFING DETAIL

ABINGTON INCLUSIVE PLAYGROUND PROJECT




OWNER:
ABINGTON TOWNSHIP
1176 OLD YORK RD,
ABINGTON, PA 19001
(267) 536-1000



140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION



09/27/2023
DATE


MEGHAN TALAROWSKI

STUDIO LUDO
1313 S 33RD STREET
UNIT A
PHILADELPHIA, PA 19146
(215) 454-6780



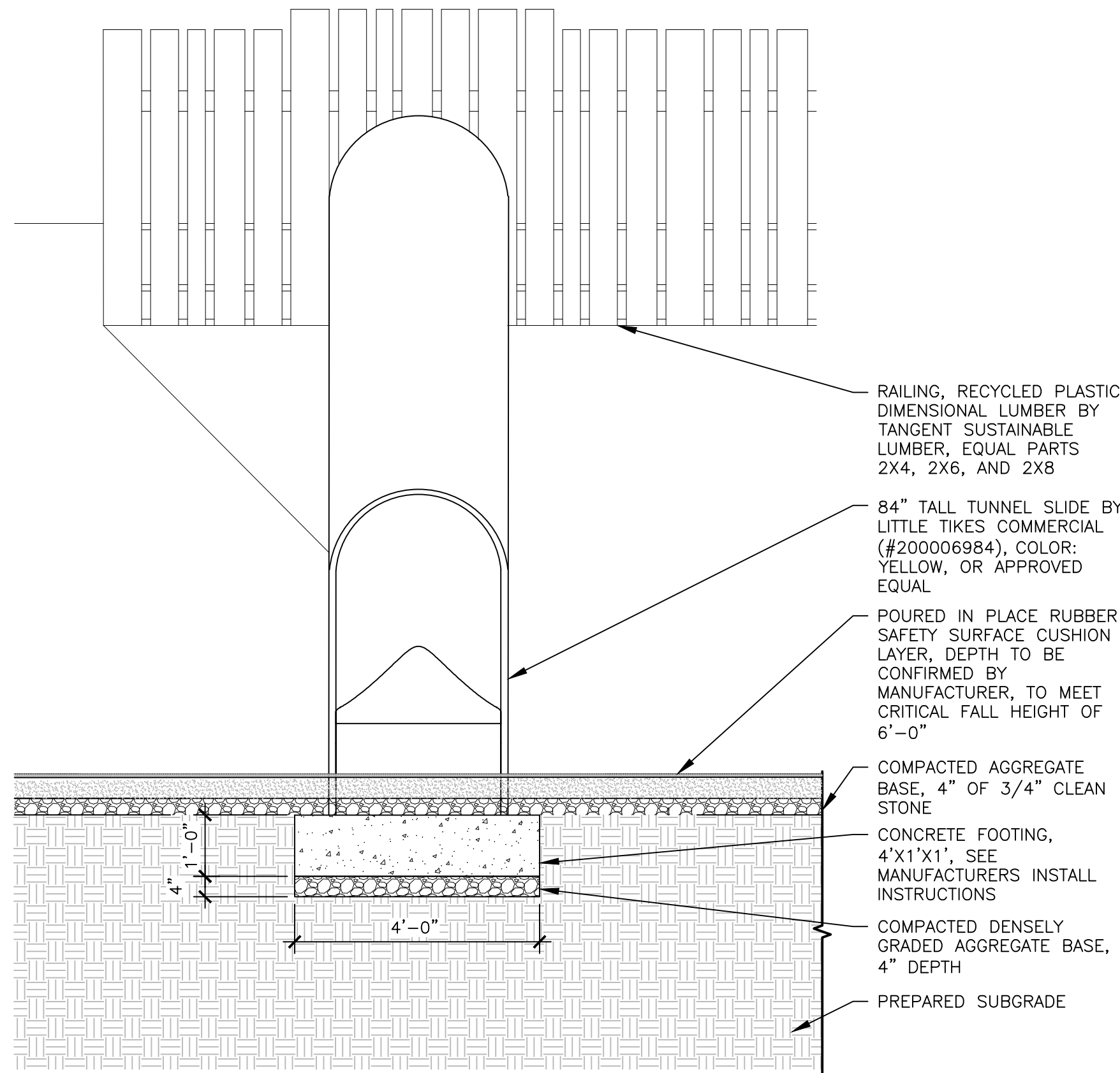
SAS GEOSPATIAL, LLC
1432 EASTON ROAD
SUITE 5F
WARRINGTON, PA 18976
(215) 343-5989



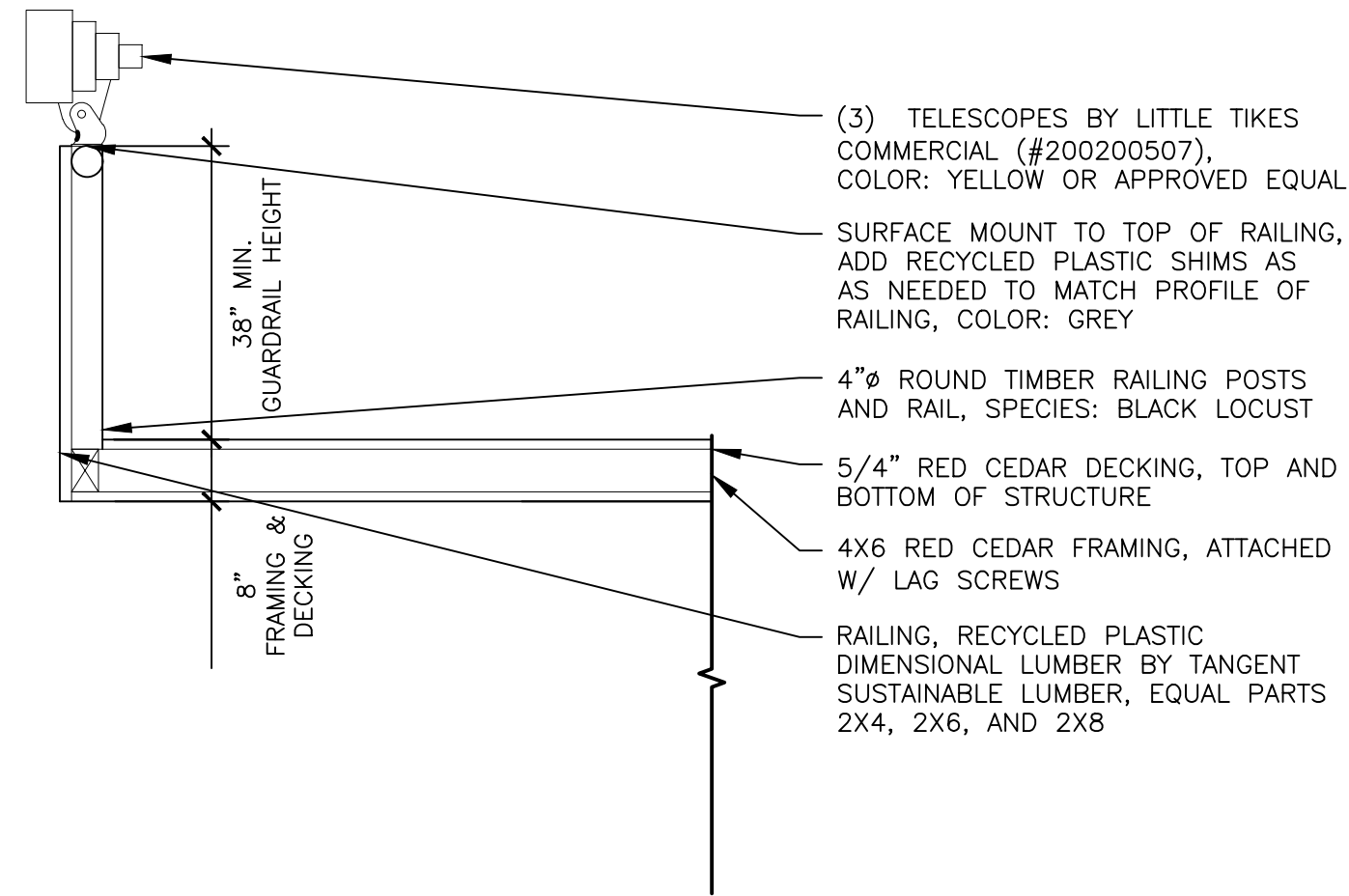
ABINGTON INCLUSIVE
PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

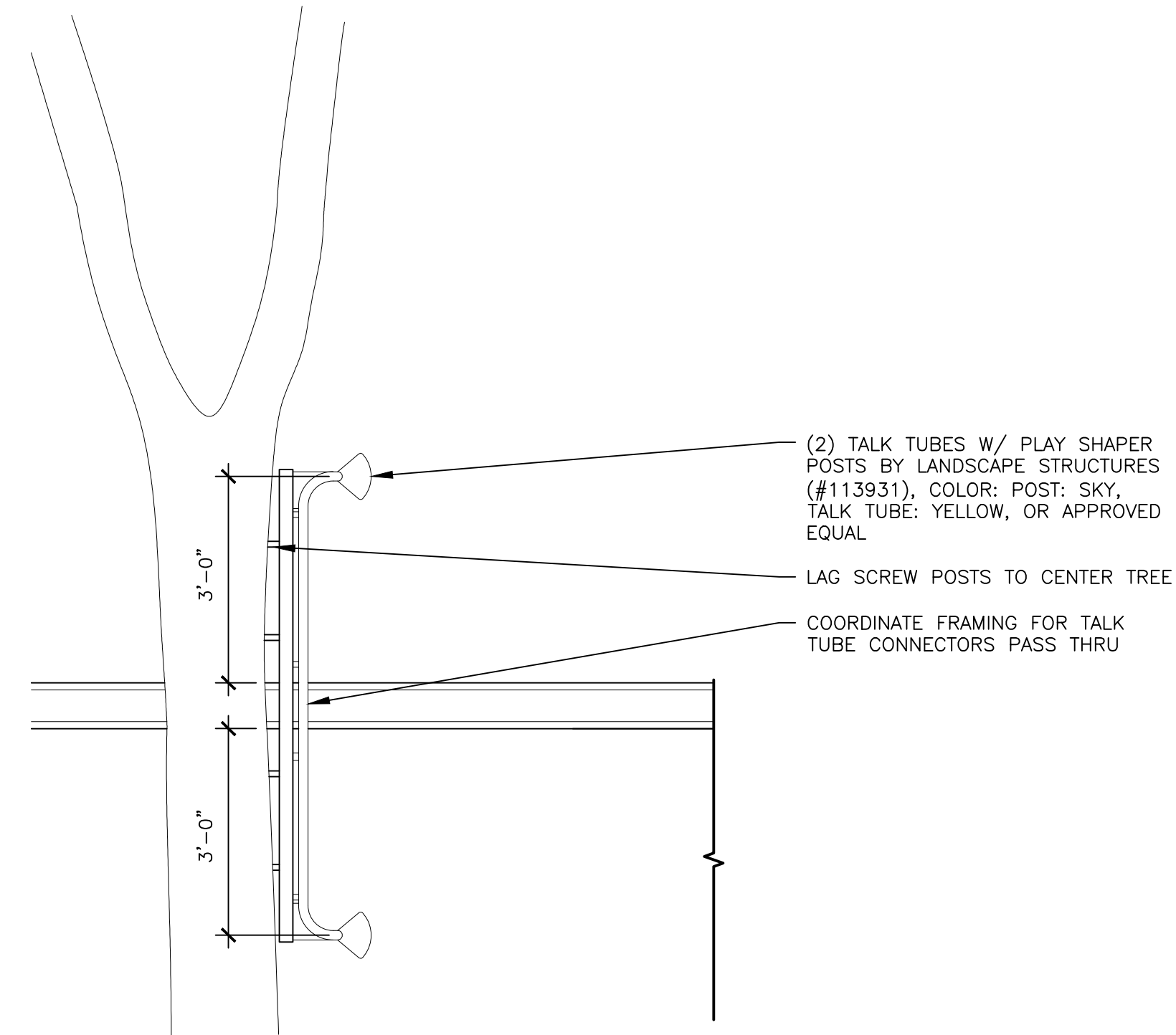
03	100% CONSTRUCTION DOCUMENTS	09/27/23
02	50% CONSTRUCTION DOCUMENTS	08/30/23
01	100% DESIGN DEVELOPMENT	06/02/23
NO.	ISSUANCE	DATE



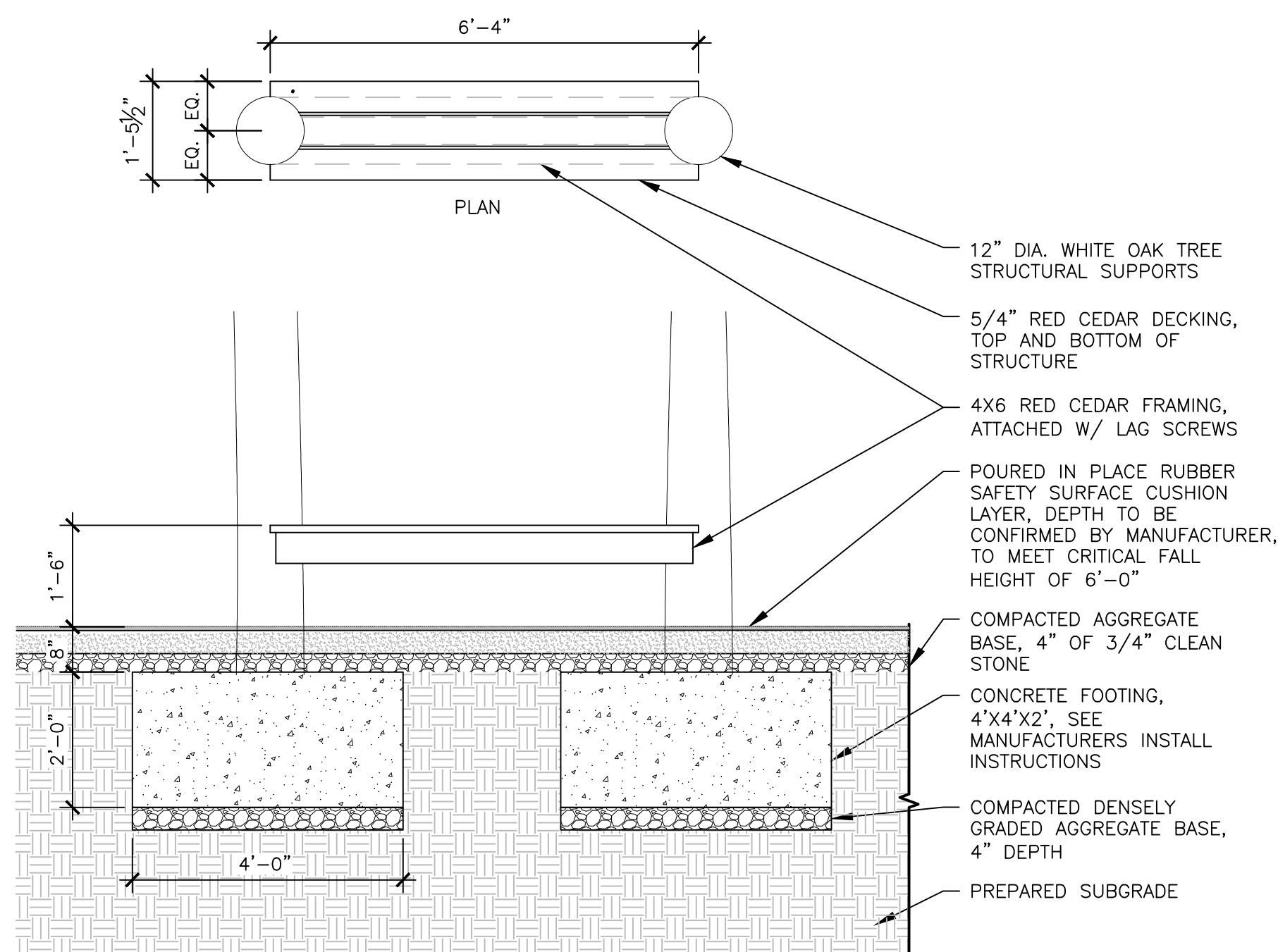
1 | TUBE SLIDE DETAIL
1/2"=1'-0"



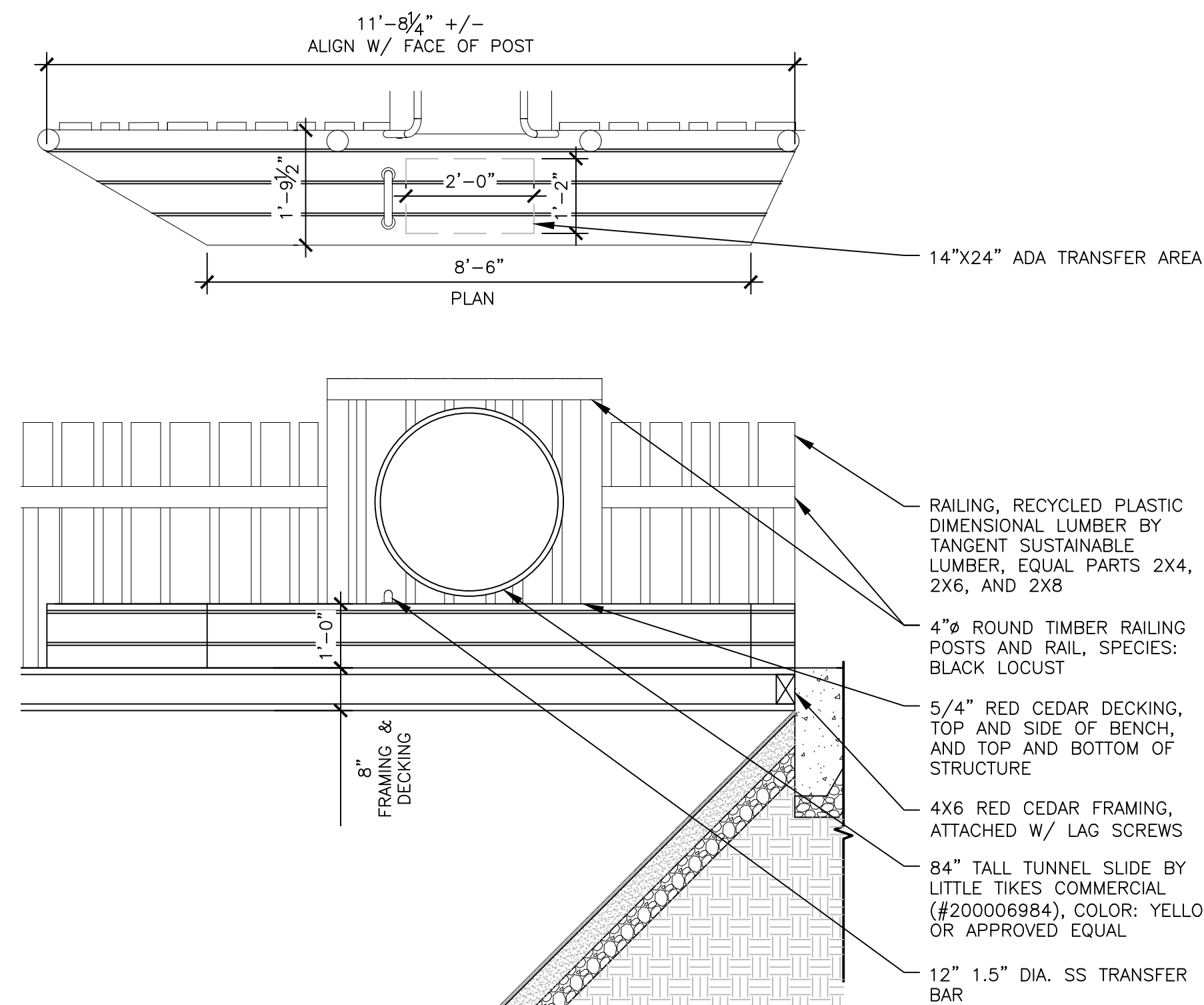
2 | TELESCOPE DETAIL
1/2"=1'-0"



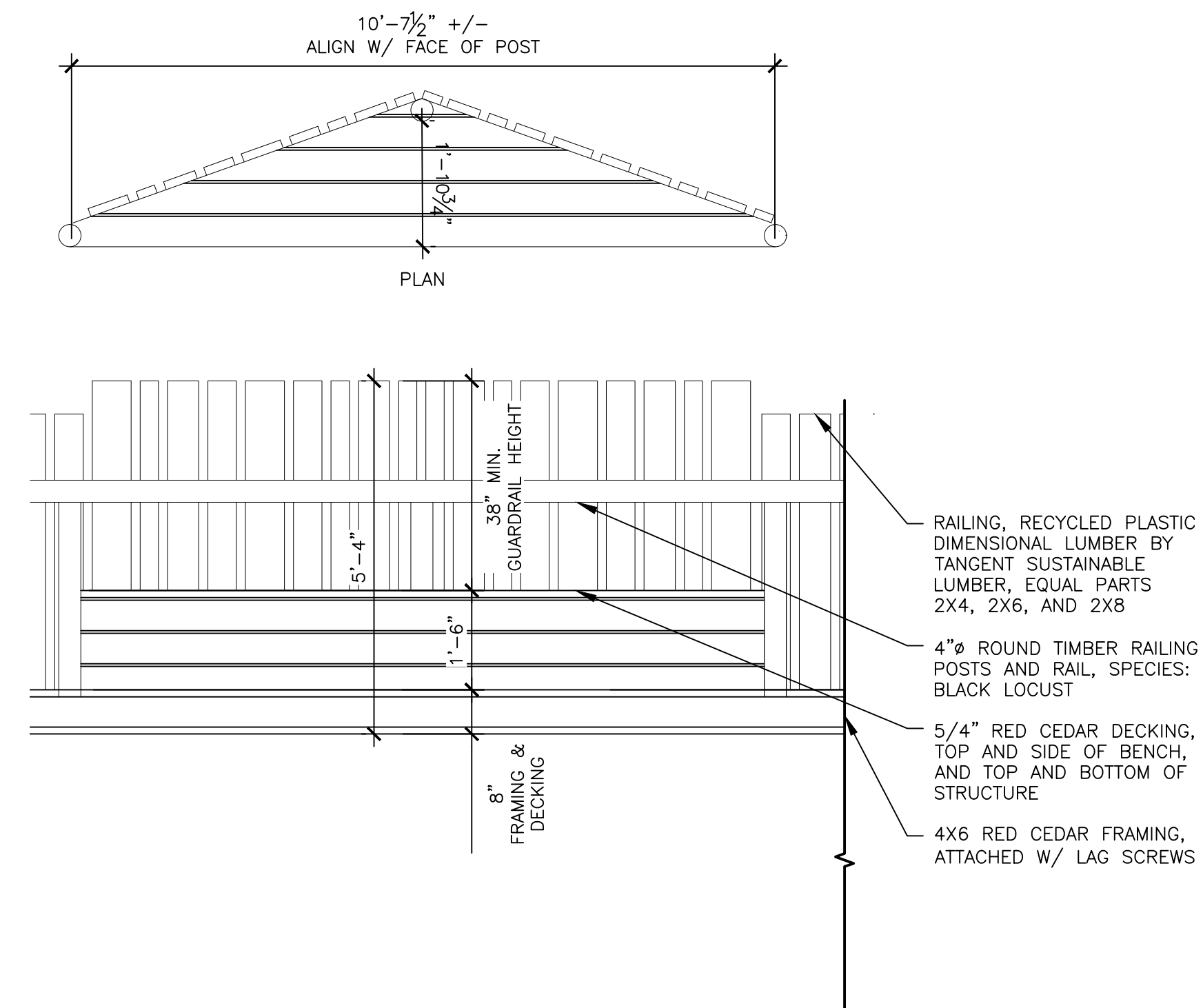
3 | TALK TUBE DETAIL
1/2"=1'-0"



4 | LOWER LEVEL BENCH DETAIL
1/2"=1'-0"



5 | UPPER LEVEL TRANSFER BENCH DETAIL
1/2"=1'-0"

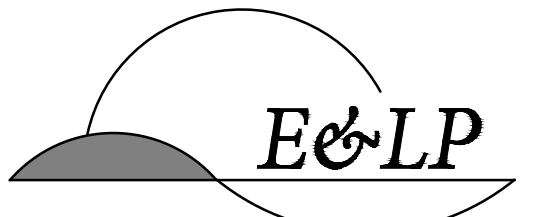


6 | UPPER LEVEL INTERIOR BENCH DETAIL
1/2"=1'-0"

ABINGTON INCLUSIVE PLAYGROUND PROJECT



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09/27/2023
DATE

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SAS GEOSPATIAL, LLC
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(215) 343-5989



ABINGTON INCLUSIVE PARK AND PLAYGROUND

ROYCHESTER PARK
TAX MAP ID 30251 013
ABINGTON TOWNSHIP,
MONTGOMERY COUNTY, PA

NO.	ISSUANCE	DATE
03	100% CONSTRUCTION DOCUMENTS	09/27/23
02	50% CONSTRUCTION DOCUMENTS	08/30/23
01	100% DESIGN DEVELOPMENT	06/02/23

TREEHOUSE DETAILS	
JOB NO.:	DRAWING NO.:
SCALE: 1/2" = 1'-0"	
DESIGNED: MT	
CHECKED: MT	
FILENAME: ABINGTON_SHEETS.DWG	
DATE: 09/27/23	

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